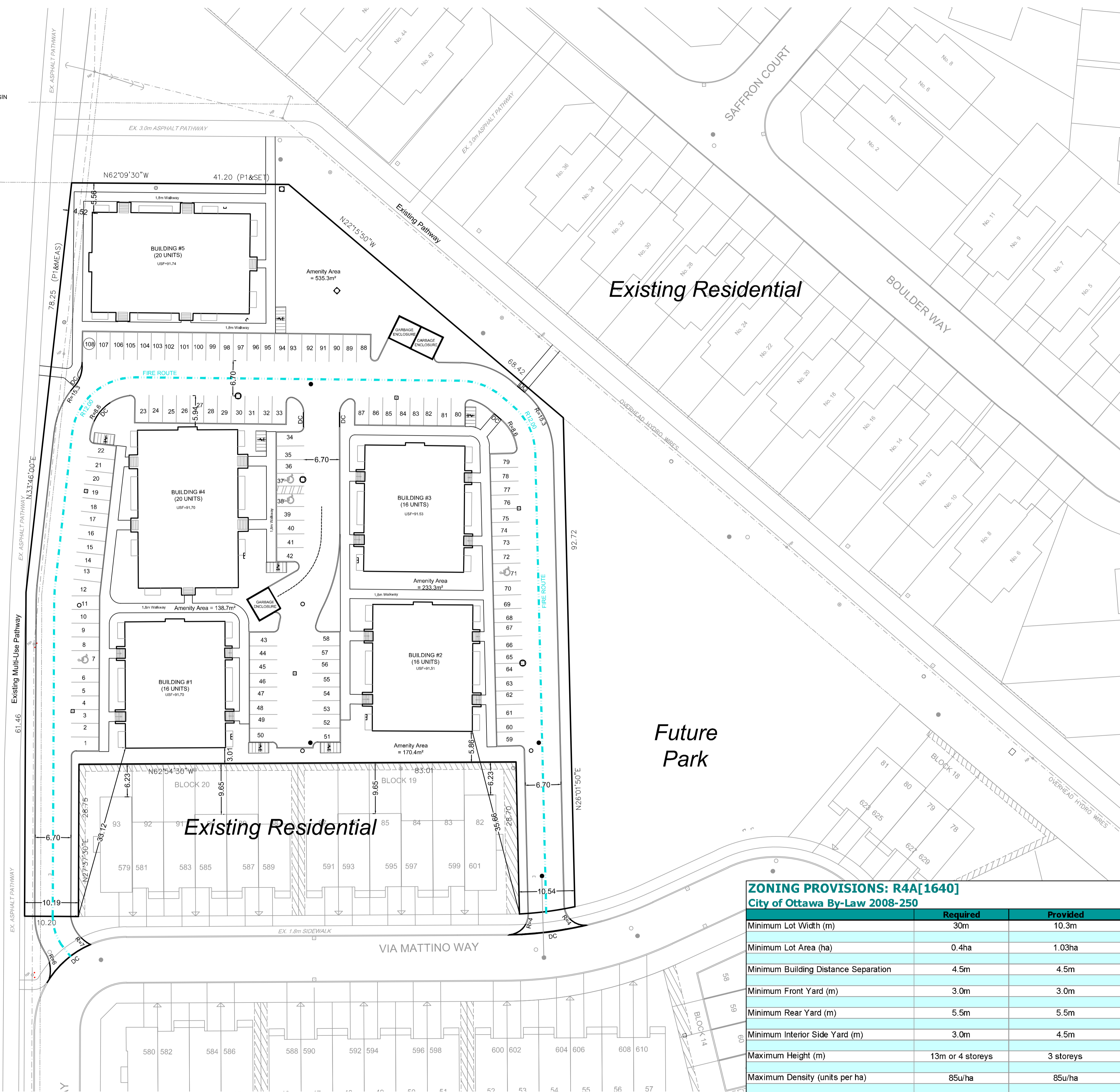


LEGEND

- SANITARY MANHOLE
- STORM MANHOLE
- HYD ○ HYDRANT
- ROAD CATCHBASIN
- REAR YARD CATCHBASIN
- LANDSCAPE TYPE CATCHBASIN
- BICYCLE PARKING



SITE PLAN

BLOCK 21

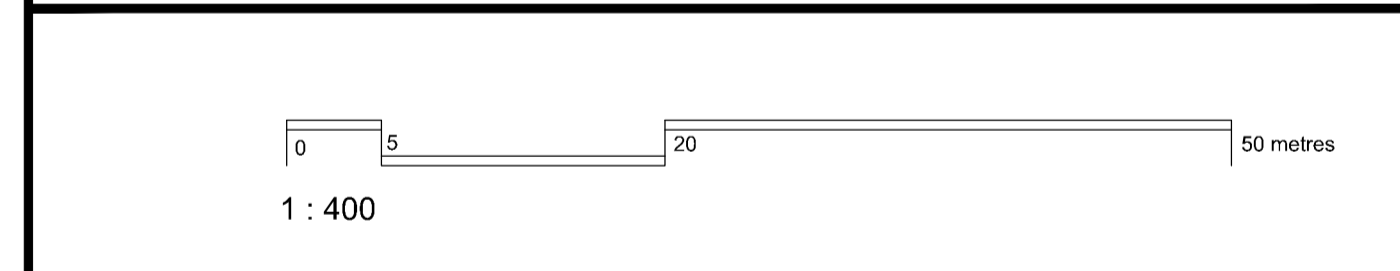
591 VIA MATTINO WAY

PART OF LOT 19
CONCESSION 2 (RIDEAU FRONT)
GEOGRAPHIC TOWNSHIP OF NEPEAN
Now CITY OF OTTAWA
BLOCK 21, PLAN 4M-1527




MATTINO
DEVELOPMENTS INC

515 Via Mattino Way
Ottawa, Ontario K2J 6B7



ZONING PROVISIONS: R4A[1640] City of Ottawa By-Law 2008-250		
	Required	Provided
Minimum Lot Width (m)	30m	10.3m
Minimum Lot Area (ha)	0.4ha	1.03ha
Minimum Building Distance Separation	4.5m	4.5m
Minimum Front Yard (m)	3.0m	3.0m
Minimum Rear Yard (m)	5.5m	5.5m
Minimum Interior Side Yard (m)	3.0m	4.5m
Maximum Height (m)	13m or 4 storeys	3 storeys
Maximum Density (units per ha)	85u/ha	85u/ha
Maximum Units per stacked Building	16	20
Parking (Section 101) [1.0/unit]	88	90
Visitor Parking (Section 102) [0.2/unit]	18	18

No.	REVISION	DATE	BY
2	ISSUED FOR APPROVAL	NOVEMBER 20/19	JL
1	ISSUED FOR COMMENTS	AUGUST 16/19	JL



Engineers, Planners & Landscape Architects
Suite 200, 240 Michael Cowpland Drive
Ottawa, Ontario, Canada K2M 1P6

Telephone (613) 254-9643
Facsimile (613) 254-5867
Website www.novatech-eng.com

ISSUED

NOVEMBER, 2019

PROJECT No.

112021

DRAWING No.

112021-SP

NOTE:
THIS PLAN HAS BEEN COMPILED USING LEGAL INFORMATION OBTAINED FROM STANTEC GEOMATICS LTD., ONTARIO LAND SURVEYORS PLAN OF SUBDIVISION (4M-1527); DATED DECEMBER 09, 2014. PROJECT No. 161612370-132

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DXX-XX-XX-XXXX