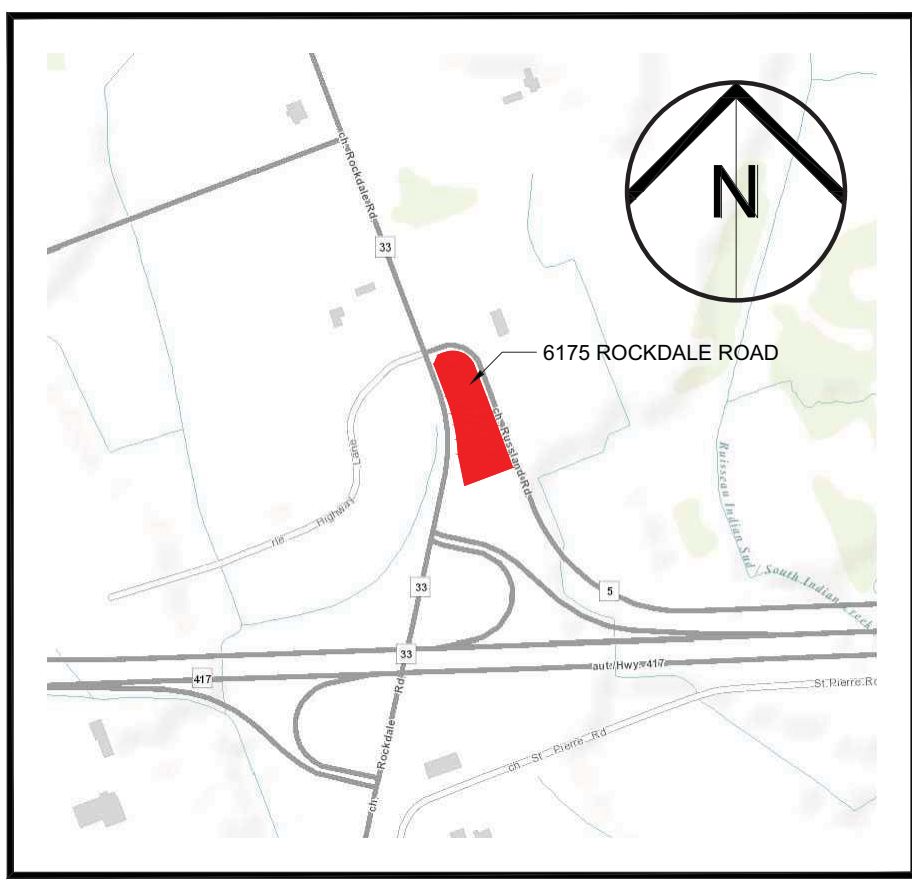




1 Location Plan
A0 Scale = N/A

LEGAL DESCRIPTION: LOT 27 & LOT 28 PIN14557-0136

PROPERTY:

PROPERTY AREA: 9115.9 sq.m
FRONTAGE: 48.77 m
DEPTH: 172.86 m
PROPOSED BUILDING FOOT PRINT: 336 sq.m
EXISTING BUILDING FOOT PRINT: 94.84 sq.m
PROPOSED LOT COVERAGE: 4.7%

SITE BOUNDARY INFORMATION DERIVED FROM SURVEY OF PROPERTY, PART OF LOTS 27 & 28 CONCESSIONS 6 AND CONCESSION 7 (CLOSED BY INST. No. RR83392), GEOGRAPHIC TOWNSHIP OF CUMBERLAND, CITY OF OTTAWA, SURVEYED BY FARLEY, SMITH & DENIS SURVEYING LTD, MAY 17, 2024.
PLAN 50R-5729

ZONING:

MINIMUM LOT WIDTH: 30 m
MINIMUM LOT AREA: 4000 sq.m
MINIMUM FRONT YARD SETBACK: 10 m
MINIMUM REAR YARD SETBACK: 10 m
MINIMUM INTERIOR SIDE YARD SETBACK: 10 m
ABUTTING RESIDENTIAL 4.5 m
MINIMUM CORNER YARD SETBACK: 6 m
MAXIMUM BUILDING HEIGHT: 11 m
MAXIMUM LOT COVERAGE: 25%

ALL OTHER 3 m
PROVIDED: 13.7m & 8.6m
PROVIDED: N/A

PARKING REQUIREMENTS:

USE	RATE	AREA	SPACES REQUIRED	SPACES PROVIDED
RETAIL STORE	3.4 PER 100 SQ.M	336.6 SQ.M	11.4	17
CAR DEALERSHIP	2 PER 100 SQ.M	38.16 SQ.M	1.89	2 EMPLOYEE 13 DISPLAY
ACCESSORY STORAGE TO CAR DEALERSHIP	N/A	56.49 SQ.M	0	N/A
GAS BAR	N/A	N/A	N/A	N/A
LOADING SPACE	350-999 SQ.M	336 SQ.M	0	1
LAND USE (d)				
TOTAL:				32 PARKING SPACES 1 LOADING SPACE

BARRIER FREE SPACES PROVIDED: 1
BICYCLE PARKING SPACES PROVIDED: 2

GENERAL NOTES FOR DRAWING A0:

A. REFER TO L1.1 FOR PLANT LIST.

NOTES FOR DRAWING A0:

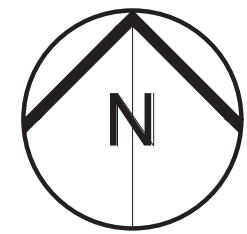
- CANOPY ABOVE, CONCRETE PAD AT GRADE.
- RESERVED.
- GRAVEL TO REMAIN, REGRADED AS REQUIRED, REFER TO CIVIL.
- ASPHALT.
- PAVED ENTRY.
- CULVERT.
- EXISTING ENTRY TO BE REMOVED.
- EXISTING WELL TO BE DECOMMISSIONED.
- EXISTING SIGN TO REMAIN.
- TYPICAL GAS PUMP STATION ON CONCRETE CURB.
- GARBAGE STORAGE.
- LOADING SPACE.
- SNOW STORAGE.
- DO NOT ENTER SIGN.
- NO LEFT TURN SIGN.
- SEPTIC TANKS.
- RESERVED.
- SEPTIC FIELD.
- UNDERGROUND GAS TANKS.
- BICYCLE RACK.
- DRAINAGE RIP RAP.
- STORM DRAIN, REFER TO CIVIL.
- MOUNTABLE CURB FOR LARGE VEHICLES.
- RESERVED.
- PROPOSED LOCATION OF NEW WELL, FOUR BOLLARDS TO BE PLACED EQUALLY AROUND.
- EXISTING EXTENT OF PAVEMENT, TO BE MODIFIED TO SUIT NEW LAYOUT.
- WOODEN FENCE, REFER TO LANDSCAPING PLAN FOR DETAIL.
- RESERVED.

- GAS TANK VENTS.
- RAISED CONCRETE CURB.
- APPROXIMATE CENTER LINE OF ROAD.
- PROTECTED RIGHT-OF-WAY.
- EXTENDED CURB FOR FIRE ROUTE SIGNAGE.
- RESERVED.
- RESERVED.
- RESERVED.
- SEMI PERMEABLE LANDSCAPING PAVERS.
- 127 x 127 x 6mm H.S.S. STEEL POST.
- 102 x 50 x 5mm H.S.S. STEEL FRAME - TYPICAL.
- 38 x 140mm PRESSURE TREATED LUMBER SPACED @150mm O.C. FINISHES TO MATCH EXISTING.
- GATE CONSTRUCTION:
- 76.2 x 76.2 x 6.35mm H.S.S. ALL 4 SIDES AND DIAGONAL.
- 250mm SOND TUBE TO EXTEND 1500mm BELOW GRADE.
- 12mm DIA. x 200mm LONG STAINLESS STEEL SURFACE BOLT.
- GATE LATCH.
- 50 x 50 x 6mm BOLT GUIDES WELDED TO GATE FRAMES.
- LOCKING DEVICE.
- 100 x 200 x 10mm STEEL PLATE FASTENED TO PRESSURE TREATED LUMBER FACING.
- 50 x 50 x 6mm BOLT REST.
- HEAVY DUTY CUSTOM PIVOT HINGE.
- 1/4" TAPCON FASTENER BY ENGINEER.
- BASE PLATE WELDED TO UNDERSIDE OF POST; 250 x 250 x 12mm STEEL PLATE ON 25mm SETTING BED C/W 4-12M DIA. ANCHOR BOLTS.
- BARRIER FREE PARKING SIGNAGE (BILINGUAL FRENCH/ENGLISH).
- METAL POST.
- FIRE ROUTE SIGNAGE.

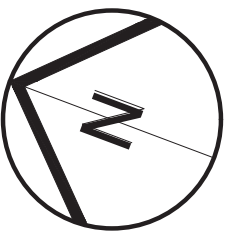
LEGEND FOR DRAWING A0:

- (X) DRAWING NOTE ANNOTATION.
- NEW DOOR
- BUILDING ENTRANCE
- LP LIGHT POST
- B BOLLARD
- UP UTILITY POST
- DC DEPRESSED CURB
- SOD
- GRAVEL
- PLANTINGS
- PROPERTY LINE
- SET BACK
- MTO PROPERTY LINE
- MTO 14m STRUCTURE SETBACK
- MTO 30m WELL SETBACK
- OVERHEAD WIRE
- FENCE
- SANITARY

Abdo El-Arab
1222 Old Montreal Road
Orleans, Ontario
K4A 3N8



CONSTRUCTION NORTH



TRUE NORTH

6	Reissued for Site Plan Control	17.07.26
5	Reissued for Site Plan Control	22.05.26
4	Reissued for Site Plan Control / MTO	17.02.26
3	Issued for Site Plan Control / MTO	25.09.25
2	Issued for Site Plan Control	24.06.24
1	Issued for Coordination	03.06.24
No N°	ISSUE/REVISION ÉMISSION/RÉVISION	DATE DD/MM/YY



1066 Somerset Street West, Suite 200, Ottawa Ontario, K1Y 4T3
Telephone: 613.724.9914 E-mail: architecture@brydengibson.ca

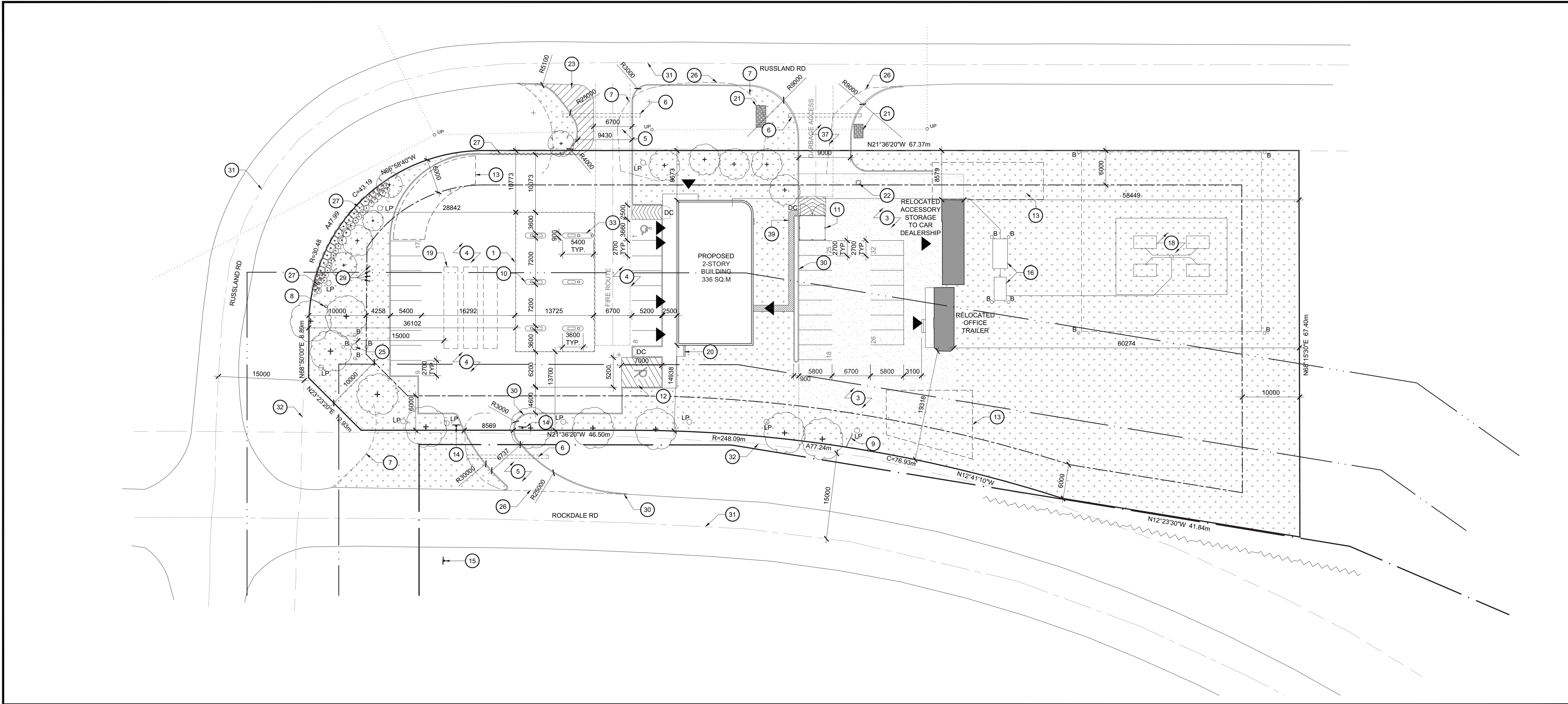
PROJECT NAME
NOM DU PROJET
6175 Rockdale Rd

6175 Rockdale Rd. Vars ON. K0A 3H0

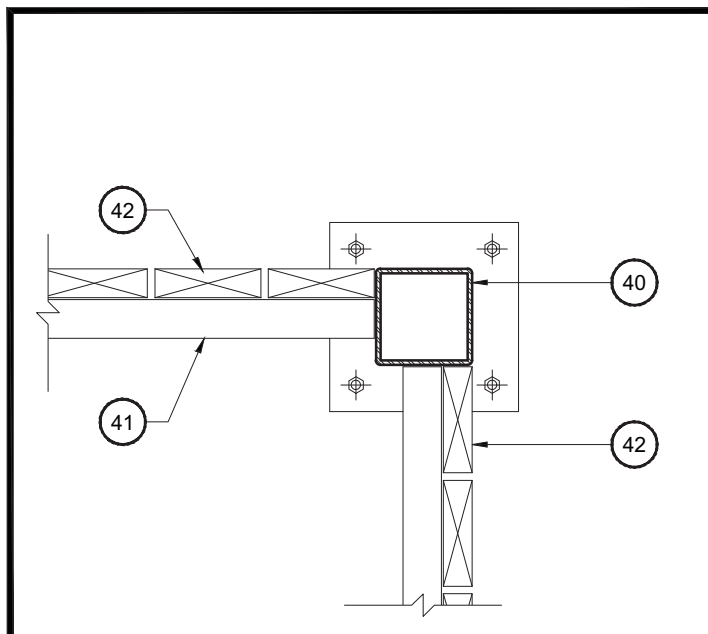
DRAWING TITLE
TITRE DU DESSIN

**Site Plan
Location Plan
Site Details**

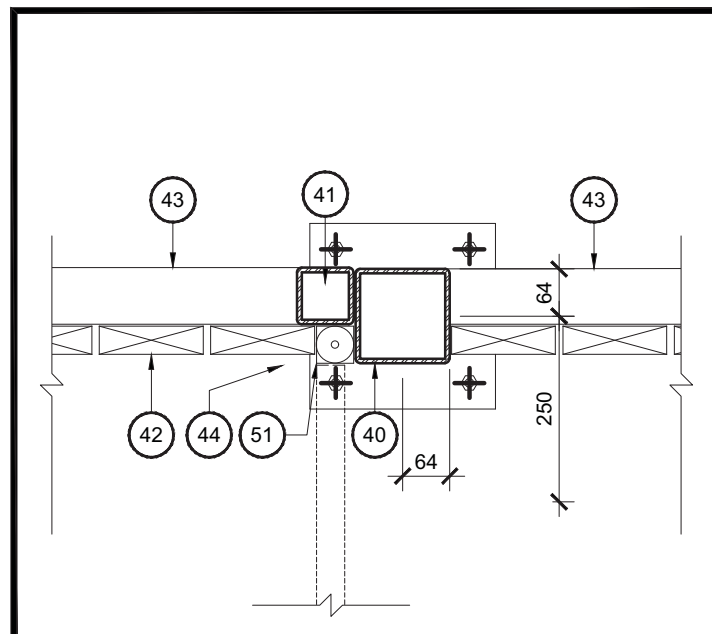
JOB No 810-24	N° DE PROJET	DATE May 2024	DATE
SCALE As Noted	ECHELLE	PRINTING SCALE/ ÉCHELLE D'IMPRESSION	
CONCEPTION BY SG	CONÇUS PAR	IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PRINTING SCALE.	
DRAWN BY KS	DESSINÉ PAR	SI CETTE LIGNE NE MESURE PAS 25mm, AJUSTER VOTRE ÉCHELLE D'IMPRESSION.	
CHECKED BY SG	VÉRIFIÉ PAR		
ARCHITECT'S STAMP ONTARIO ASSOCIATION OF ARCHITECTS Bryden Gibson SUZANNE GIBSON LICENCE 8808		DRAWING No	DESSIN N°
SCEAU D'ARCHITECTE		A0	
		REVISION No RÉVISION N°	6



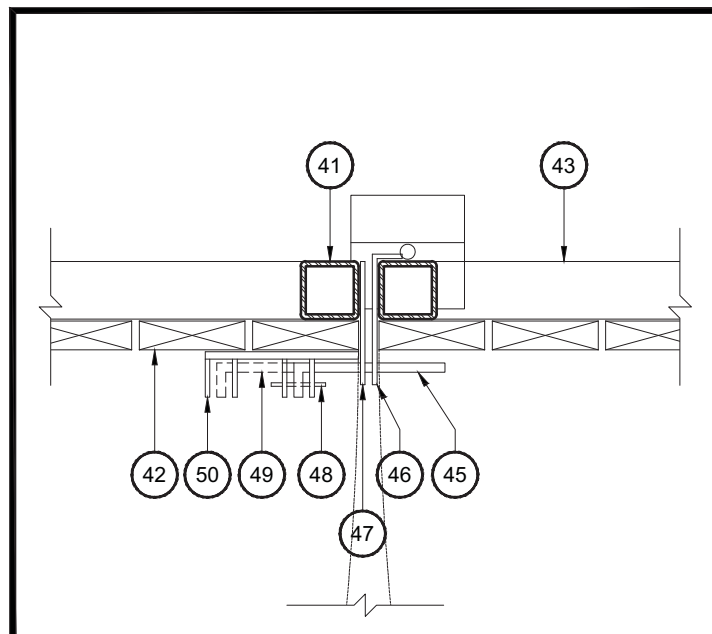
2 Site Plan
A0 Scale = 1:400



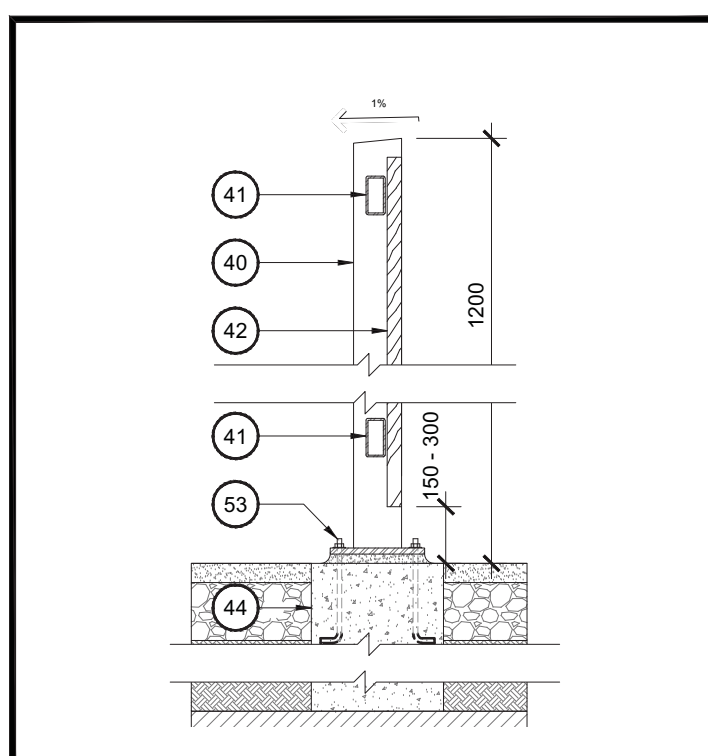
3 Enclosure Corner Detail
A0 Scale = 1:10



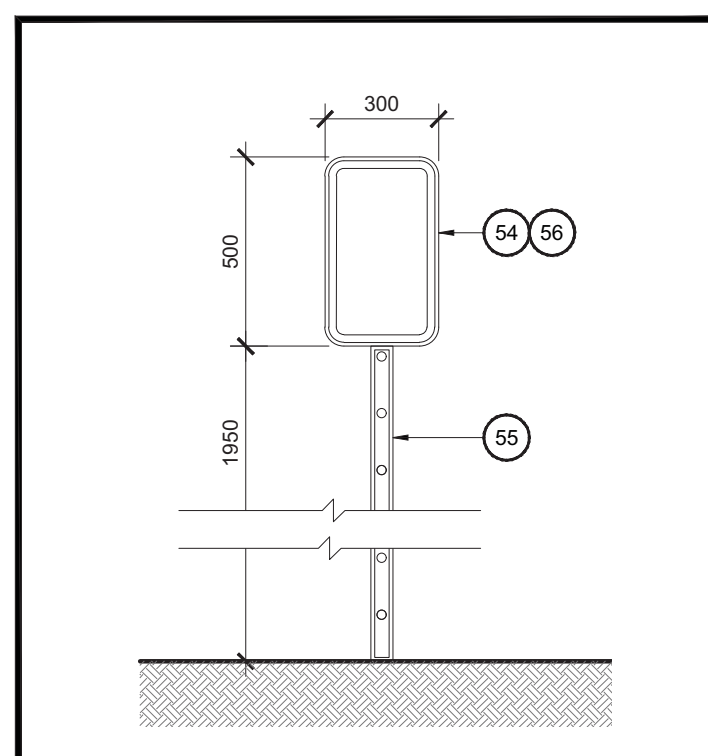
4 Enclosure Gate Hinge Detail
A0 Scale = 1:10



5 Enclosure Latch Detail
A0 Scale = 1:10



6 Enclosure Section Detail
A0 Scale = 1:20



7 Signage Elevation
A0 Scale = 1:20