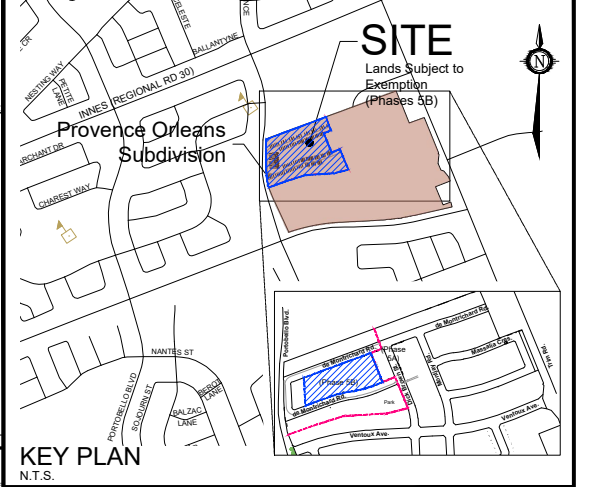
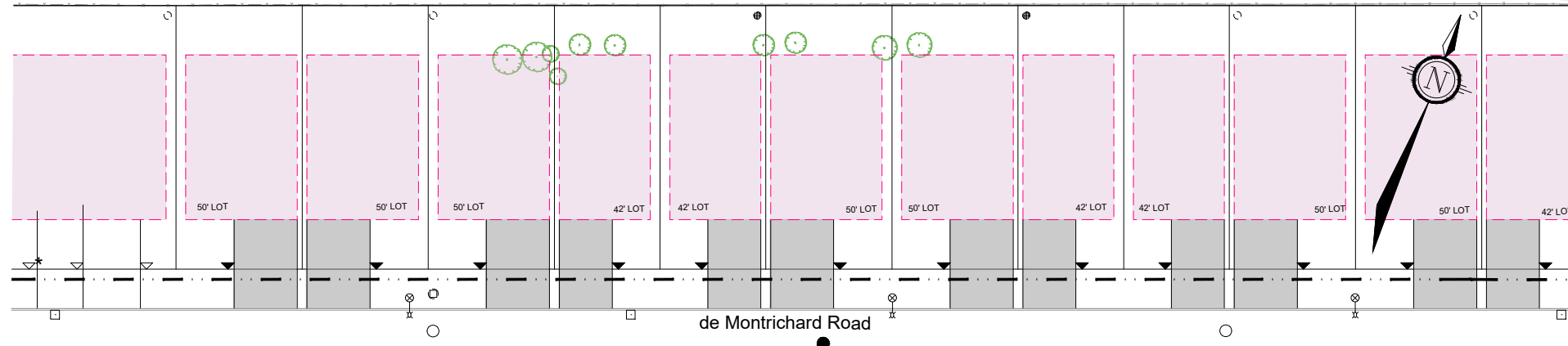


**LEGEND**

- Minimum Zoning Setback
- Sanitary Manhole
- Storm Manhole
- HYD  Hydrant
- Road Catchbasin
- Hydro Transformer
- Joint Utility Trench (JUT)
- Communications Pedestal
- GLB NAP Communications Vault
- CMB Community Mailbox
- Service Location (Wtr, San & Stm)
- Townhome Dual Service Location (2x Wtr, San & Stm)

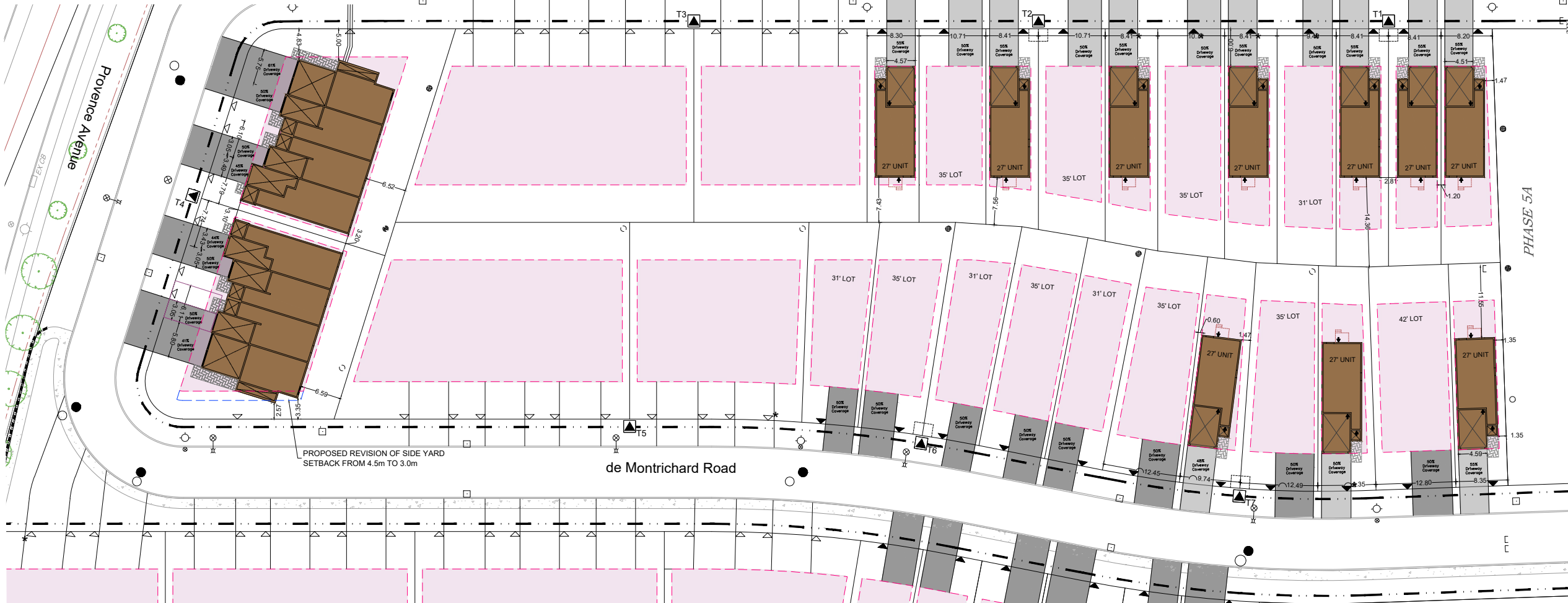
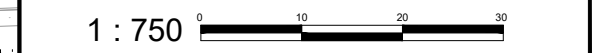


# CONCEPTUAL SITE PLAN

## PROVENCE ORLEANS SUBDIVISION - PHASE 5B

PART LOT 2, CON 9  
Geographic Township of Cumberland  
CITY OF OTTAWA

**NOTES:**  
1. Current Zoning: R3YY[2582]



**ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2582 - R3YY[2582]**  
City of Ottawa By-Law 2008-250

| R3YY[2582] - TOWNHOME              | Current Zoning    | Suggested Zoning  | Provided          |
|------------------------------------|-------------------|-------------------|-------------------|
| Minimum Lot Area (m <sup>2</sup> ) | 150m <sup>2</sup> | 150m <sup>2</sup> | 185m <sup>2</sup> |
| Minimum Lot Width (m)              | 6.0m              | 6.0m              | 6.1m              |
| Minimum Front Yard (m)             | 6.0m              | 6.0m              | 6.0m              |
| Minimum Rear Yard (m)              | 6.0m              | 6.0m              | 6.0m              |
| Minimum Interior Side Yard (m)     | 1.2m              | 1.2m              | 1.55m             |
| Minimum Exterior Side Yard (m)     | 4.5m              | 3.0m              | 3.35m             |
| Driveway Coverage (%)              | 50%               | 50%               | 50%               |

**NOTES:** Proposed reduction of exterior side yard setback will only apply to Block 71.

**ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2582 - R3YY[2582]**  
City of Ottawa By-Law 2008-250

| R3YY[2582] - Detached Dwellings    | Current Zoning                        | Suggested Zoning  | Provided            |
|------------------------------------|---------------------------------------|-------------------|---------------------|
| Minimum Lot Area (m <sup>2</sup> ) | 240m <sup>2</sup>                     | 240m <sup>2</sup> | 257.3m <sup>2</sup> |
| Minimum Lot Width (m)              | 9.0m                                  | 8.3m              | 8.3m                |
| Minimum Front Yard (m)             | 6.0m                                  | 6.0m              | 6.0m                |
| Minimum Rear Yard (m)              | 6.0m                                  | 6.0m              | 6.0m                |
| Minimum Interior Side Yard (m)     | 1.8m Total (0.6m minimum on one side) | 1.8m              | 1.8m                |
| Driveway Coverage (%) Lots > 9m    | 50%                                   | 50%               | 50%                 |
| Driveway Coverage (%) Lots < 9m    | 50%                                   | 55%               | 55%                 |

**NOTES:** An exemption to the private approach Bylaw will be required to allow driveway to exceed 50% of lot frontage. Proposed increase in driveway coverage to 55% shall only apply to lots less than 9m in width.

|                             |          |                 |    |
|-----------------------------|----------|-----------------|----|
| I. PREPARED FOR CITY REVIEW |          | SEPT 04/25      | RT |
| No.                         | REVISION | DATE            | BY |
| ISSUED                      |          | SEPTEMBER, 2025 |    |
| PROJECT No.                 |          | 117155          |    |
| DRAWING No.                 |          | 117155-PH5B-SP  |    |

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