

## Zoning Confirmation Report Checklist

A. Project Information			
<b>Review Date:</b>	November 7, 2025	<b>Reviewed Plans:</b>	Conceptual Site Plan REV #1 prepared by Novatech dated September 4, 2025 and Suggested Zoning Phase 5B figure prepared by Novatech dated September 2025
<b>Municipal Address(es):</b>	2128 Trim Road	<b>Official Plan designation:</b>	Neighbourhood
<b>Legal Description:</b>	PART LOT 2, CONCESSION 9 CUMBERLAND, SAVE & EXCEPT 4M1734 SUBJECT TO AN EASEMENT OVER PART 57 PLAN 4R33773 AS IN OC2364283 SUBJECT TO AN EASEMENT OVER PART 56 PLAN 4R33773 AS IN OC2364285 CITY OF OTTAWA		
<b>Scope of Work:</b>	Zoning By-law Amendment (Minor) application		
<b>Existing Zoning Code:</b>	Residential Third Density, Subzone YY, Urban Exception 2582 – R3YY[2582]	<b>By-law Number:</b>	2008-250
<b>Schedule 1 / 1A Area:</b>	Area C: Suburban on Schedule 1A	<b>Overlays Applicable:</b>	Evolving Neighbourhood

B. Zoning Review				
For Zoning By-law Amendments, please use the proposed zone and subzone requirements, if different than existing.				
<b>Proposed Zone/Subzone (Zoning By-law Amendments only):</b>	Rezone only ten (10) detached dwelling lots from R3YY[2582] to R3YY[2989] to permit a reduced lot width from 9.0 metres to 8.3 metres and maximum driveway area up to 55%. Amend the existing R3YY[2582] site-specific exception and add a minimum corner side yard setback of 3 metres as described below to one (1) block within Phase 5B of the Provence Orléans subdivision.			
Zoning Provisions	Applicable Section, Exception or Schedule Reference	By-law Requirement	Proposal	Compliant (Y/N)
<b>Principal Land Use(s)</b>	Section 159(1)(d)	Detached and Townhouse Dwellings	Detached and Townhouse Dwellings	YES
<b>Minimum Lot Width (Detached Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row IV, Column IV	9.0 m	8.3 m	NO
<b>Minimum Lot Width (Townhouse Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row VII, Column IV	6.0 m	6.1 m	YES
<b>Minimum Lot Area (Detached Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row IV,	240 m <sup>2</sup>	257.3 m <sup>2</sup>	YES

	Column V			
<b>Minimum Lot Area (Townhouse Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row VII, Column V	150 m <sup>2</sup>	185 m <sup>2</sup>	YES
<b>Minimum Front Yard Setback (Detached Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row IV, Column VII	6.0 m	6.0 m	YES
<b>Minimum Front Yard Setback (Townhouse Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row VII, Column VII	6.0 m	6.0 m	YES
<b>Minimum Corner Side Yard Setback (Detached Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row IV, Column	4.5 m	Not applicable (no corner lots)	-
<b>Minimum Corner Side Yard Setback (Townhouse Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row VII, Column VIII	4.5 m	3.0 m	NO
<b>Minimum Interior Side Yard Setback (Detached Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row IV, Column X	1.8 m (0.6 m for one side yard)	1.8 m	YES
<b>Minimum Interior Side Yard Setback (Townhouse Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row VII, Column X	1.2 m	1.6 m	YES
<b>Minimum Rear Yard Setback (Detached Dwellings)</b>	Part 6, Table 160A, Subzone YY, Row IV, Column IX	6.0 m	6.0 m	YES
<b>Minimum Rear Yard Setback (Townhouse Dwellings)</b>	Part 6, Table 160A, Subzone YY Row VII, Column IX	6.0 m	6.0 m	YES
<b>Maximum Driveway Area (Detached Dwellings)</b>	Part 4, Section 107(3)(b)(ii)(1)	50%	55%	NO
<b>Maximum Driveway Area (Townhouse Dwellings)</b>	Part 4, Section 107(3)(b)(ii)(1)	50%	50%	YES
	Urban Exception 2582	65%	41%-61%	

## C. Comments/Calculations:

Amend *Zoning By-law 2008-250* as per the Suggested Zoning figure below:

- Rezone only ten (10) detached dwelling lots from R3YY[2582] to R3YY[2989] to permit a reduced lot width from 9.0 metres to 8.3 metres and maximum driveway area up to 55%.
- Add provision to the existing *Residential Third Density, Subzone YY, Urban Exception 2582 – R3YY[2582]* to include a minimum exterior side yard setback of 3 metres

## D. Draft List of Requested Relief from Zoning

By-law Requirement or Applicable Section	Requirement	Proposed
<b>Minimum Lot Width (Detached Dwellings)</b> Part 6, Table 160A, Subzone YY, Row IV, Column IV	9.0 m	8.3 m
<b>Minimum Corner Side Yard Setback (Townhouse Dwellings)</b> Part 6, Table 160A, Subzone YY, Row IV, Column VIII	4.5 m	3.0 m
<b>Maximum Driveway Area (Detached Dwellings)</b> Part 4, Section 107(3)(b)(ii)(1)	50%	55%

<sup>1</sup> Only the non-compliant land use(s) needs to be listed in this column.

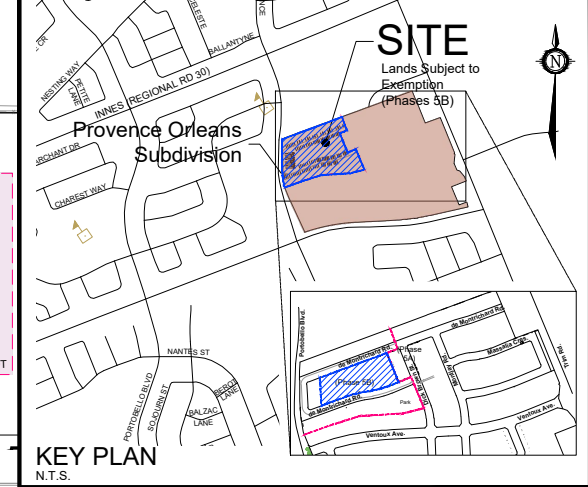
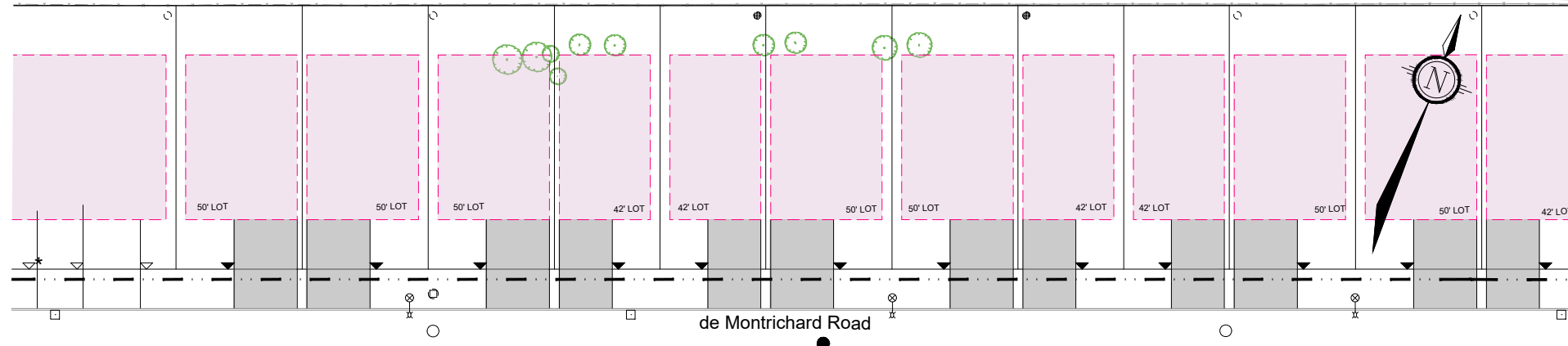
**NOVATECH**



Robert Tran, M.Pl.  
Project Planner, Planning & Development

**LEGEND**

- Minimum Zoning Setback
- Sanitary Manhole
- Storm Manhole
- HYD  Hydrant
- Road Catchbasin
- Hydro Transformer
- Joint Utility Trench (JUT)
- Communications Pedestal
- GLB NAP Communications Vault
- CMB Community Mailbox
- Service Location (Wtr, San & Stm)
- Townhome Dual Service Location (2x Wtr, San & Stm)

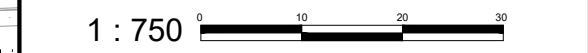


# CONCEPTUAL SITE PLAN

## PROVENCE ORLEANS SUBDIVISION - PHASE 5B

PART LOT 2, CON 9  
Geographic Township of Cumberland  
CITY OF OTTAWA

**NOTES:**  
1. Current Zoning: R3YY[2582]



**ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2582 - R3YY[2582]**  
City of Ottawa By-Law 2008-250

R3YY[2582] - TOWNHOME	Current Zoning	Suggested Zoning	Provided
Minimum Lot Area (m <sup>2</sup> )	150m <sup>2</sup>	150m <sup>2</sup>	185m <sup>2</sup>
Minimum Lot Width (m)	6.0m	6.0m	6.1m
Minimum Front Yard (m)	6.0m	6.0m	6.0m
Minimum Rear Yard (m)	6.0m	6.0m	6.0m
Minimum Interior Side Yard (m)	1.2m	1.2m	1.55m
Minimum Exterior Side Yard (m)	4.5m	3.0m	3.35m
Driveway Coverage (%)	50%	50%	50%

**NOTES:** Proposed reduction of exterior side yard setback will only apply to Block 71.

**ZONING PROVISIONS: Residential Third Density, Subzone YY, Urban Exception 2582 - R3YY[2582]**  
City of Ottawa By-Law 2008-250

R3YY[2582] - Detached Dwellings	Current Zoning	Suggested Zoning	Provided
Minimum Lot Area (m <sup>2</sup> )	240m <sup>2</sup>	240m <sup>2</sup>	257.3m <sup>2</sup>
Minimum Lot Width (m)	9.0m	8.3m	8.3m
Minimum Front Yard (m)	6.0m	6.0m	6.0m
Minimum Rear Yard (m)	6.0m	6.0m	6.0m
Minimum Interior Side Yard (m)	1.8m Total (0.6m minimum on one side)	1.8m	1.8m
Driveway Coverage (%) Lots > 9m	50%	50%	50%
Driveway Coverage (%) Lots < 9m	50%	55%	55%

**NOTES:** An exemption to the private approach Bylaw will be required to allow driveway to exceed 50% of lot frontage. Proposed increase in driveway coverage to 55% shall only apply to lots less than 9m in width.

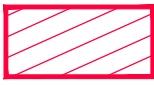
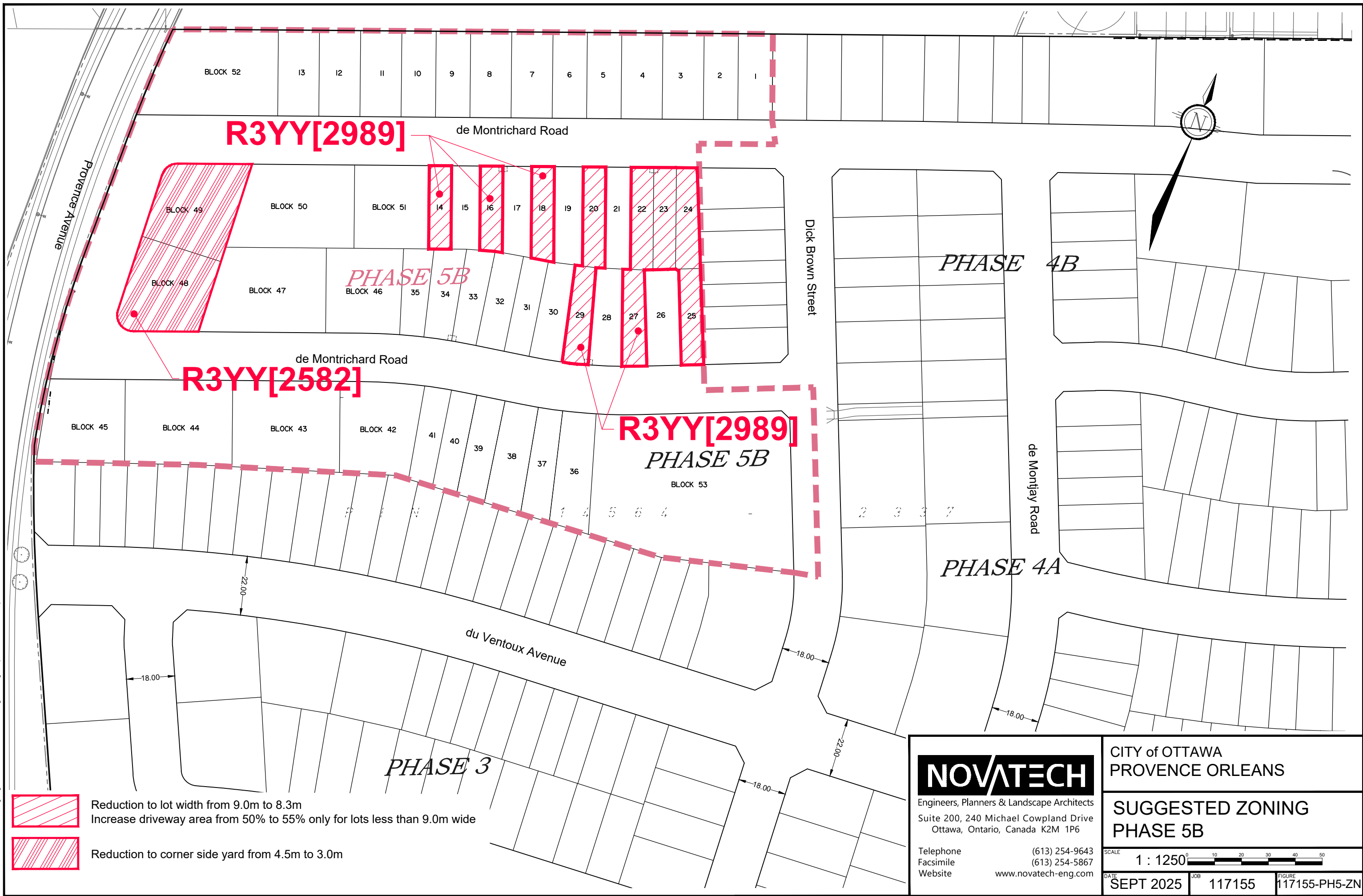
I. PREPARED FOR CITY REVIEW		SEPT 04/25	RT
No.	REVISION	DATE	BY
ISSUED		SEPTEMBER, 2025	
PROJECT No.		117155	
DRAWING No.		117155-PH5B-SP	

Engineers, Planners & Landscape Architects  
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Ottawa, Ontario, Canada K2M 1P5

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Reduction to lot width from 9.0m to 8.3m  
 Increase driveway area from 50% to 55% only for lots less than 9.0m wide



Reduction to corner side yard from 4.5m to 3.0m

<p><b>NOVATECH</b>          Engineers, Planners &amp; Landscape Architects          Suite 200, 240 Michael Cowpland Drive          Ottawa, Ontario, Canada K2M 1P6</p> <p>Telephone (613) 254-9643          Facsimile (613) 254-5867          Website www.novatech-eng.com</p>	<p>CITY of OTTAWA          PROVENCE ORLEANS</p>	
	<p><b>SUGGESTED ZONING          PHASE 5B</b></p>	
	<p>SCALE 1 : 1250</p>	<p>DATE <b>SEPT 2025</b></p>

FIGURE 117155-PH5-ZN