

NOTE: ALL EXISTING SITE INFORMATION AS PER SITE SURVEY PLAN DATED MAY 26, 2020 AND PREPARED BY STANTEC GEOMATICS LTD

LEGAL DESCRIPTION:
TOPOGRAPHIC SKETCH OF LOTS 3, 4, 5 AND 6 (EAST OF O'CONNOR STREET)
LOT 44 (SOUTH OF MACLAREN STREET) AND
LOT 44 (NORTH OF GILMOUR STREET), REGISTERED PLAN 15588
CITY OF OTTAWA

ZONING NOTES

CURRENT ZONING: NORTH PARCEL

DEVELOPMENT STATS	REQUIRED	EXISTING BLDG.	PROPOSED
LOT AREA (INCLUDES ROW EASEMENT)			3,573 m ²
LOT WIDTH			66.4m
LOT DEPTH			53.7m
UNITS			513
UNITS			513
O'CONNOR SETBACK	MIN. 2.4m		VARIES, MIN. 1.5m
MACLAREN SETBACK	MIN. 0.5m		VARIES, MIN. 1.0m
REAR YARD SETBACK	MIN. 2.0m		VARIES, MIN. 2.0m
GILMOUR SETBACK	MIN. 2.49m		VARIES, MIN. 2.49m
BUILDING HEIGHTS			
4 STOREY PODIUM			+/- 20 m
27 STOREY TOWER			+/- 96 m
25 STOREY TOWER			+/- 90 m
BUILDING AREA			
NORTH TOWER PLATE AREA			+/- 7,814 sq.ft. (726 sq.m.)
SOUTH TOWER PLATE AREA			+/- 7,924 sq.ft. (736 sq.m.)
TOTAL GROSS			+/- 418,518 sq.ft. (38,882 sq.m.)
TOTAL NET (RESIDENTIAL + COMMERCIAL/RETAIL)			+/- 340,984 sq.ft. (31,678 sq.m.)
GROSS FLOOR AREA (city def.)			+/- 340,984 sq.ft. (31,678 sq.m.)

UNIT RATIOS

PHASE 1 - NORTH BUILDING	PROPOSED	
TOTAL UNIT COUNT		273
STUDIOS	35	13%
1 BEDROOM	144	53%
1 BEDROOM + DEN	6	2%
2 BEDROOM	85	31%
2 BEDROOM + DEN	3	1%
PHASE 2 - SOUTH BUILDING		240
TOTAL UNIT COUNT		240
STUDIOS	21	9%
1 BEDROOM	142	59%
1 BEDROOM + DEN	11	5%
2 BEDROOM	53	22%
2 BEDROOM + DEN	13	5%

AMENITY SPACE REQUIREMENTS: 6 m² REQUIRED PER UNIT

PHASE 1 (NORTH BUILDING)
(273 X 6 SQ.M. = 1,638 SQ.M. REQUIRED AMENITY SPACE)
(819 SQ.M. REQUIRED TO BE COMMON AMENITY SPACE)

PHASE 2 (SOUTH BUILDING)
(240 X 6 SQ.M. = 1,440 SQ.M. REQUIRED AMENITY SPACE)
(720 SQ.M. REQUIRED TO BE COMMON AMENITY SPACE)

PHASE 1 & 2 COMBINED (NORTH & SOUTH BUILDINGS)
(513 X 6 SQ.M. = 3,078 SQ.M. REQUIRED AMENITY SPACE)
(1,539 SQ.M. REQUIRED TO BE COMMON AMENITY SPACE)

PROVIDED AMENITY SPACE

PHASE 1 (NORTH BUILDING):
2,294 SQ.M. PROVIDED AMENITY SPACE
1,624 SQ.M. PROVIDED COMMON AMENITY SPACE

PHASE 2 (SOUTH BUILDING):
1,644 SQ.M. PROVIDED AMENITY SPACE
1,135 SQ.M. PROVIDED COMMON AMENITY SPACE

PHASE 1 & 2 COMBINED (NORTH & SOUTH BUILDINGS):
3,938 SQ.M. PROVIDED AMENITY SPACE
2,759 SQ.M. PROVIDED COMMON AMENITY SPACE

PARKING REQUIREMENTS:

PROVIDED RESIDENTIAL PARKING

PHASE 1 (NORTH BUILDING):
167 RESIDENTIAL PARKING SPACES PROVIDED FOR 273 UNITS (0.61 /UNIT) (PARKING LEVELS P1-P4)

PHASE 2 (SOUTH BUILDING):
100 RESIDENTIAL PARKING SPACES PROVIDED FOR 240 UNITS (0.42 /UNIT) (PARKING LEVELS P1-P4)

PHASE 1 & 2 COMBINED (NORTH & SOUTH BUILDINGS):
267 RESIDENTIAL PARKING SPACES PROVIDED FOR 513 UNITS (0.52 /UNIT) (PARKING LEVELS P1-P4)

PROVIDED VISITOR PARKING

PHASE 1 (NORTH BUILDING):
28 VISITOR PARKING SPACES PROVIDED FOR 273 UNITS (0.1 /UNIT) (PARKING LEVEL P1)

PHASE 2 (SOUTH BUILDING):
24 VISITOR PARKING SPACES PROVIDED FOR 240 UNITS (0.1 /UNIT) (PARKING LEVEL P1)

PHASE 1 & 2 COMBINED (NORTH & SOUTH BUILDINGS):
52 VISITOR PARKING SPACES PROVIDED FOR 513 UNITS (0.1 /UNIT) (PARKING LEVEL P1)

BICYCLE PARKING REQUIREMENTS: 513 • 0.5 = 257

PROVIDED BICYCLE PARKING

514 (146 VERTICAL + 356 HORIZONTAL) BICYCLE PARKING SPACES PROVIDED FOR 513 UNITS (1.0/UNIT)
• LOCATED IN UNDERGROUND PARKING GARAGE, AT GROUND LEVEL (INT.), AND AT GRADE (EXT.)

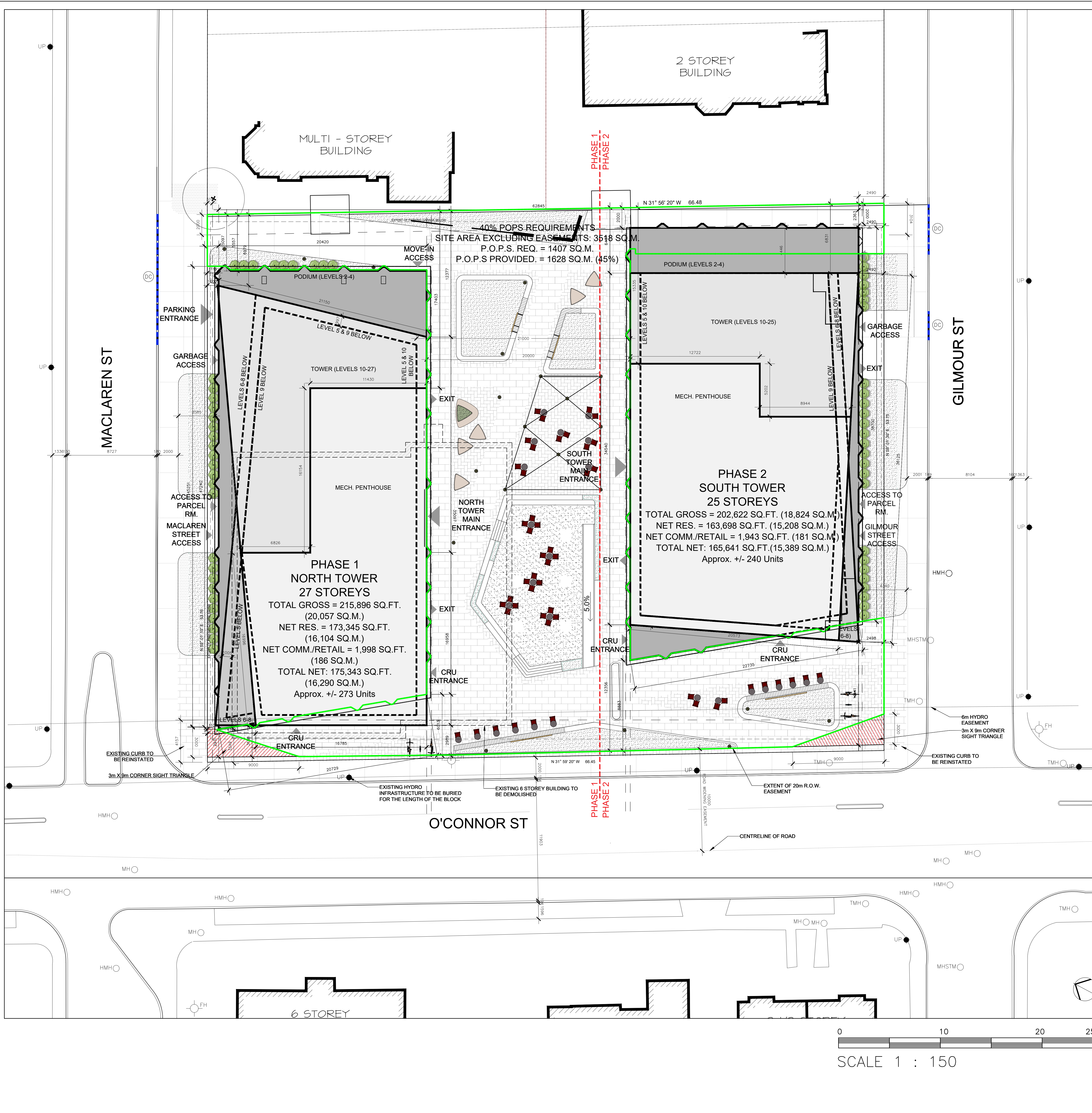
PRIVATELY OWNED PUBLIC SPACE REQUIREMENTS: 40%

P.O.P.S

TOTAL SITE AREA EXCLUDING EASEMENTS: 3518 SQ.M.
3518 X 0.40 = 1407 SQ.M. OF P.O.P.S REQUIRED
1628 SQ.M. OF P.O.P.S PROVIDED

LEGEND:

	EXISTING BUILDING		EXISTING MAN HOLE		EXISTING CATCH BASIN
	SITE TRIANGLE		EXISTING TRAFFIC LIGHT		PROPOSED CATCH BASIN
	FIRE ROUTE		EXISTING CURB DETAIL TO CITY		STORAGE FOR ACCESSIBLE PARKING SPACE
	BUILDING TO BE DEMOLISHED		EXISTING FIRE HYDRANT		FIRE ROUTE ACCESS
	CURB TO BE REMOVED AND REINSTATED		EXISTING SIGN		EXISTING LIGHT POLE
	PROPERTY BOUNDARY		EXISTING SIGN OF OTTAWA STANDARDS		PROPOSED WALL MOUNTED LIGHT
	SETBACK		EXISTING TRAFFIC SIGNAL LIGHT		EXISTING STREET LIGHTING BOX
	PARKING GARAGE BELOW		EXISTING UTILITY POLE		EXISTING TRAFFIC SIGNAL BOX
	EXTENT OF PRIVATELY OWNED PUBLIC SPACE		BIKE PARKING SPACE		
	EXISTING MAN HOLE		EXISTING BOLLARD		
	EXISTING TRAFFIC LIGHT		EXISTING TRAFFIC SIGNAL LIGHT		
	EXISTING CURB DETAIL TO CITY		EXISTING UTILITY POLE		
	EXISTING FIRE HYDRANT		EXISTING TRAFFIC SIGNAL BOX		



0 10 20 25
SCALE 1 : 150

no.	date	revision
3	25-12-01	REISSUED FOR REZONING
2	25-08-01	ISSUED FOR SUDRP
1	25-01-31	ISSUED FOR REZONING

It is the responsibility of the appropriate contractor to check and verify all dimensions on site and report all errors and/or omissions to the architect.

All contractors must comply with all pertinent codes and by-laws.

Do not scale drawings.

This drawing may not be used for construction until signed.

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Hobin Architecture Incorporated
63 Pamela Street
Ottawa, Ontario
Canada K1S 3K7
T: 613 238 7200
F: 613 235 2005
E: mail@hobinarc.com
hobinarc.com

PROJECT LOCATION:
267 O'CONNOR
OTTAWA, ON.

DRAWING TITLE:
SITE PLAN

DRAWN BY: DATE: SCALE:
PB 24-12-24 1:150

PROJECT:
1938

DRAWING NO.:
A100

REVISION NO.: