

DEVELOPMENT PERMIT DRAWINGS
PROPOSED SINGLE FAMILY DWELLING
(ISSUED SEPTEMBER 11, 2026)

324 VARSITY ESTATES PLACE NW
CALGARY, ALBERTA
LOT 25, BLOCK 21, PLAN 751 0331



NOTE: RENDERING FOR ILLUSTRATIVE PURPOSES ONLY - REFER TO DRAWINGS FOR DETAILS

PHASE ONE
DESIGN

201, 1218 - 9th Avenue SE
Calgary, Alberta T2G 0T1
(403) 457-3649
phaseonedesign.ca
VINCOWAY CALGARY INTERNATIONAL

BUILDER:

No.	Date:	Description:	By:
1	18-MAR-26	INITIAL CONCEPT	DC
2	25-MAY-26	PRESENTATION #2	KL
3	08-JUN-26	BASEMENT	KL
4	22-JUN-26	DSO DRAWINGS	KL
5	02-JUL-26	DP DRAWINGS	DC
6	20-JUL-26	DP DRAWINGS	TV
7	14-AUG-26	DO REVISIONS	TV
8	11-SEP-26	DP DRAWINGS	TV
MAIN FLOOR		: 2280.44 sq.ft	
UPPER FLOOR		: 2546.20 sq.ft	
TOTAL AREA		: 4806.64 sq.ft	
BASEMENT DEV:		1923.07 sq.ft	
GARAGE		: 1237.67 sq.ft	

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CLIENT:
PRIVATE RESIDENCE

324 VARSITY EST. PL.
CALGARY, AB
LOT 25, BLOCK 21,
PLAN 751 0331

STATUS:
NOT ISSUED FOR CONSTRUCTION

DRAWING NAME:
COVER SHEET

DRAWN BY: T.Y.	CHECKED BY: L.C.
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SCALE: As indicated
PRINTED ON 24x36 PAPER

SHEET #:
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GENERAL NOTES

GENERAL

- DRAWINGS ARE DRAWN TO SCALE AS INDICATED AND SCALING MAY VARY SLIGHTLY DUE TO REPRODUCTION. CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHOULD BE REPORTED IMMEDIATELY TO PHASE ONE DESIGN AND PRIOR TO CONSTRUCTION.

- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS

FOUNDATIONS

- FOOTINGS TO REST ON NATIVE, UNDISTURBED SOIL
- FINAL EXTERIOR GRADES MAY VARY FROM THOSE SHOWN IN DRAWINGS. CONTRACTOR TO VERIFY PRIOR TO POURING FOUNDATIONS
- ALL CONCRETE PAD FOOTINGS AND PILES TO BE VERIFIED BY STRUCTURAL ENGINEER TO MEET SOIL CONDITIONS OF THE BUILDING SITE.

STRUCTURAL

- TRUSS MANUFACTURER TO PROVIDE TRUSS LAYOUT AND VERIFY ALL ROOF SLOPES. TRUSSES ARE TO BE DESIGNED TO THE CURRENT EDITION OF THE BUILDING CODE AND BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE WITHIN ALBERTA.
- ALL BEAMS AND LINTELS AS PER THE ALBERTA BUILDING CODE APPLICABLE TABLES.
- JOIST SUPPLIER TO PROVIDE FLOOR LAYOUTS AND ENGINEERING FOR FLOOR SYSTEM.

FRAMING

- ALL FRAMING TO BE S.P.F. #2 OR BETTER AS PER PLAN.
- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO FACE OF PARTITION WALL STUDS UNLESS NOTED OTHERWISE.

DOOR AND WINDOWS

- WINDOWS AND DOOR SIZES SHOWN ARE TO BE VERIFIED BY MANUFACTURER. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
- WINDOW MANUFACTURER TO ENSURE ALL WINDOWS SUPPLIED TO COMPLY WITH NAFS REQUIREMENTS.
MINIMUM PERFORMANCE GRADE 30
MIN. POSITIVE DESIGN PRESSURE 1440PA
MIN. NEGATIVE DESIGN PRESSURE 1440PA
MIN. WATER PENETRATION PRESSURE 330 PA
MIN. CANADIAN AIR INFILTRATION A2
ALL REQUIREMENTS CALCULATED AS PER WWW.FENESTRATIONCANADA.CA ONLINE CALCULATOR
FOR WINDOWS WITHIN 10mm OF GRADE ON ROUGH TERRAIN TYPE. MANUFACTURER CALCULATIONS TO SUPERCEDE ARCHITECTURAL DWGS.
- MAXIMUM U-VALUE FOR ALL WINDOW TO BE 2.0

MECHANICAL

- MECHANICAL LAYOUT AND SPECS. SUPPLIED BY MECHANICAL CONTRACTOR
- IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO ENSURE THAT ALL MECHANICAL SYSTEMS COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.

ELECTRICAL

- ELECTRICAL LAYOUT SHOWN IS TO BE USED AS A GUIDELINE ONLY. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE THAT DESIGN AND SYSTEMS COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND CONFORM WITH ALL APPLICABLE NATIONAL, PROVINCIAL AND LOCAL BUILDING CODES.

DRAWING INDEX

SHEET #	SHEET NAME
AS.1	SITE PLAN - PROPOSED
AS.2	BLOCK PLAN & STREETSCAPE - PROPOSED
A1.0a	BASEMENT PLAN - PROPOSED
A1.1	MAIN FLOOR PLAN - PROPOSED
A1.2	UPPER FLOOR PLAN - PROPOSED
A3.0	FRONT ELEVATION - PROPOSED
A3.1	SIDE ELEVATIONS PROPOSED
A3.2	REAR ELEVATION - PROPOSED

REVISION SCHEDULE

	-
	-

BUILDER:

No.	Date:	Description:	By:
1.	16-MAR-20	INITIAL CONCEPT	DC
2.	25-MAY-20	PRESENTATION #2	KL
3.	18-JUN-20	BASEMENT	KL
4.	22-JUN-20	DSO DRAWINGS	KL
5.	22-JUL-20	DP DRAWINGS	DC
6.	20-JUL-20	DP DRAWINGS	TV
7.	14-AUG-20	D REVISIONS	TV
8.	11-SEP-20	DP DRAWINGS	TV

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UPPER FLOOR : 2546.20 sq.ft.
TOTAL AREA : 4806.64 sq.ft.
BASEMENT DEV: 1923.07 sq.ft.
GARAGE : 1237.67 sq.ft.

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CLIENT:

PRIVATE RESIDENCE

324 VARSITY EST. PL.
CALGARY, AB
LOT 25, BLOCK 21,
PLAN 751 0331

STATUS:
NOT ISSUED FOR CONSTRUCTION

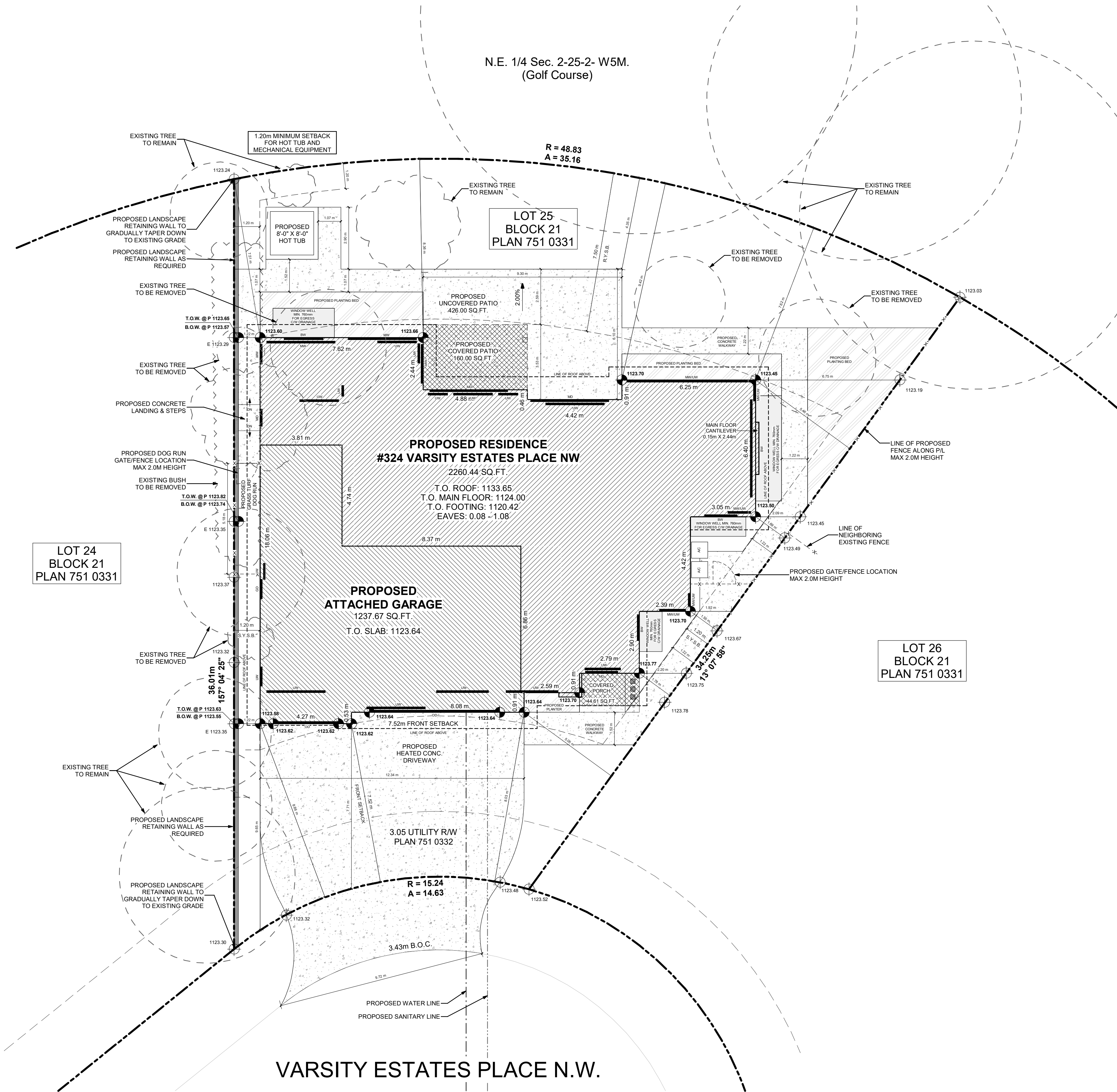
DRAWING NAME:
SITE PLAN - PROPOSED

DRAWN BY: T.Y. CHECKED BY: L.C.

SCALE: As indicated
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SHEET #: .AS.1

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1 SITE PLAN - PROPOSED
1: 100

LEGEND	
EXISTING PROPERTY LINES...	---
EXISTING SETBACK LINES...	---
PROPOSED COVERED ENTRY...	---
PROPOSED CANTILEVER...	---
PROPOSED RESIDENCE...	---
PROPOSED ATTACHED GARAGE...	---
PROPOSED PLANTING BED...	---
PROPOSED ROOF OVERHANG...	---
PROPOSED CONCRETE...	---
PROPOSED WINDOW/ DOOR OPENING...	---
MAIN FLOOR WINDOWS...	MW
BASEMENT WINDOWS...	BW
MAIN FLOOR DOORS...	MD
UPPER FLOOR WINDOWS...	UW
OVERHEAD GARAGE DOORS...	OD
GARAGE DOORS...	GD
UPPER DOORS...	UD
EXISTING GEODETIC...	xx.xx
PROPOSED GEODETIC...	xx.xx

LOT INFORMATION	SITE INFORMATION
LEGAL ADDRESS: LOT 25, BLOCK 21, PLAN 751 0331	SITE AREA (EXISTING): 8931.82 sqft
MUNICIPAL ADDRESS: 324 VARSITY ESTATE PLACE NW CALGARY, ALBERTA	R-C1 MAX. BUILDING HEIGHT: 9.28m FRONT YARD SETBACK: 7.52m SIDE YARD SETBACKS: 1.20m REAR YARD SETBACK: 7.50m
PROPOSED USE: SINGLE FAMILY DWELLING	
CONTEXTUAL FRONT SETBACK: 12.02 m + 6.02m / 2 - 1.5m = 7.52m	

SITE COVERAGE:	
SITE COVERAGE BREAKDOWN:	
PRINCIPAL BUILDING:	3500.92 sq.ft.
COVERED PORCH/PATIO:	204.61 sq.ft.
TOTAL COVERAGE:	3705.53 sq.ft. / 41.49%

SQUARE FOOTAGE SUMMARY - MAIN RESIDENCE	
MAIN FLOOR:	2260.44 sq.ft.
UPPER FLOOR:	2546.20 sq.ft.
TOTAL ABOVE GRADE:	4806.64 sq.ft.
BASEMENT FLOOR:	1923.07 sq.ft.
TOTAL AREA DEVELOPED:	6729.71 sq.ft.
ATTACHED GARAGE:	1237.67 sq.ft.

DISCLAIMER
THE GAS LINE INFORMATION SHOWN ON THIS SHEET IS COMPILED FROM RECORDS MAINTAINED BY ATCO GAS. NO WARRANTY OR GUARANTEE IS GIVEN AS TO THE ACCURACY OR COMPLETENESS OF THOSE RECORDS. SERVICE LINES, WATER LINES, STORM, SANITARY, ELECTRICAL AND CABLE AS SHOWN ARE SCHEMATIC REPRESENTATION ONLY, AND DO NOT INDICATE THE ACTUAL LOCATION OR LENGTH OF THE SERVICE LINE. DIAL-BEFORE-YOU-DIG SERVICES SHOULD BE UTILIZED BEFORE COMMENCEMENT OF ANY EXCAVATION OR CONSTRUCTION.

THIS PROPERTY DOES NOT FALL WITHIN THE OVERLAND FLOOD REGION OF THE FLOODWAY / FLOOD FRINGE ACCORDING TO THE MAP FROM www.calgary.ca

BUILDER:

No.	Date:	Description:	By:
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3	18-JUN-26	BASEMENT	KL
4	22-JUL-26	DSO DRAWINGS	KL
5	22-JUL-26	DP DRAWINGS	DC
6	20-JUL-26	DP DRAWINGS	TV
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LOT 25, BLOCK 21,
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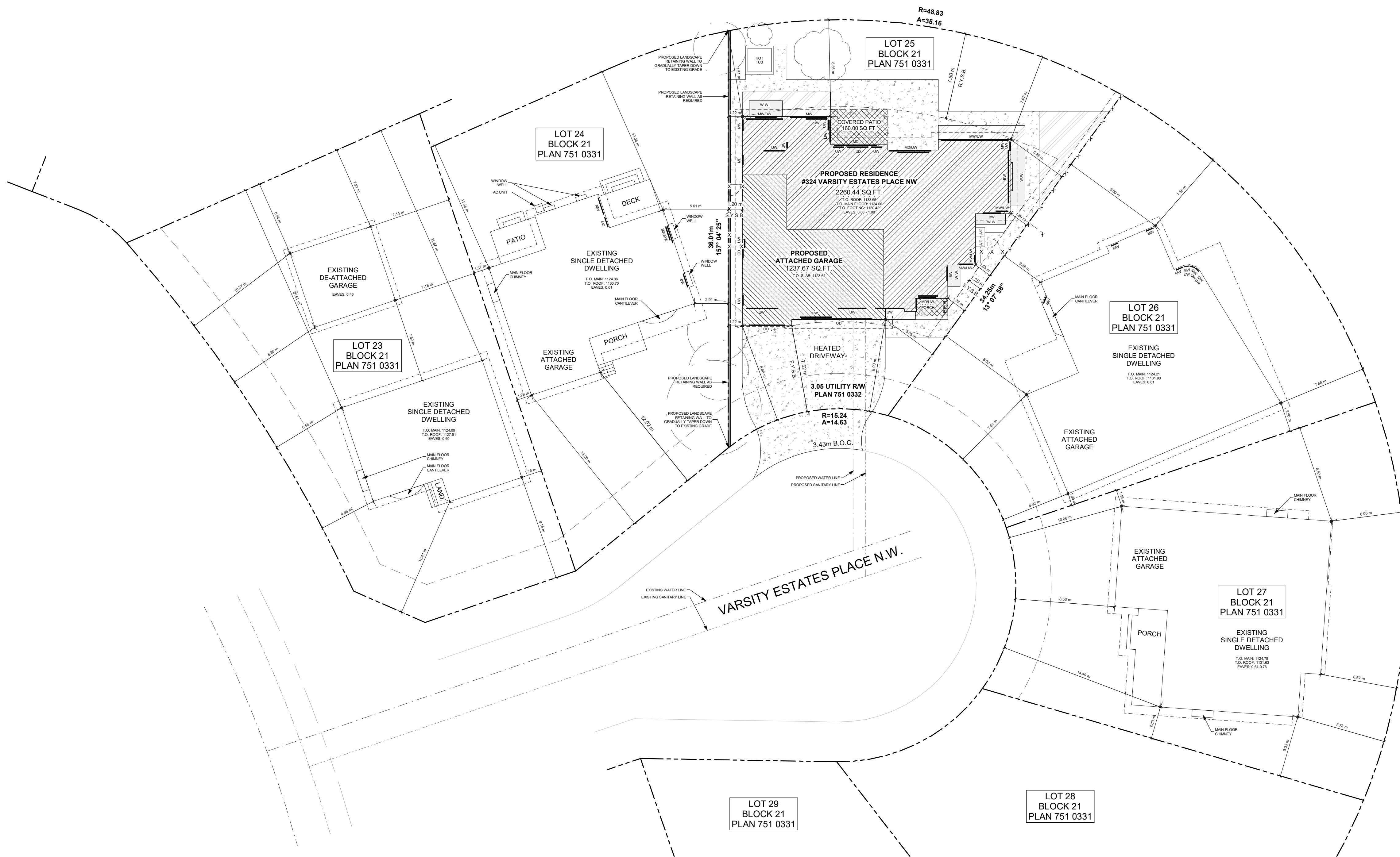
DRAWN BY: T.Y.
CHECKED BY: L.C.

SCALE: As indicated
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SHEET #: **.AS.2**

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N.E. 1/4 Sec. 2-25-2- W5M.
(Golf Course)



LEGEND

EXISTING PROPERTY LINES...
EXISTING SETBACK LINES...
PROPOSED COVERED ENTRY...
PROPOSED CANTILEVER...
PROPOSED RESIDENCE...
PROPOSED ATTACHED GARAGE...
PROPOSED PLANTING BED...
PROPOSED ROOF OVERHANG...
PROPOSED CONCRETE...
PROPOSED WINDOW/DOOR OPENING...
MAIN FLOOR WINDOWS...
BASEMENT WINDOWS...
MAIN FLOOR DOORS...
UPPER FLOOR WINDOWS...
OVERHEAD GARAGE DOORS...
GARAGE DOORS...
UPPER DOORS...

EXISTING GEODETIC...
PROPOSED GEODETIC...

LOT INFORMATION

LEGAL ADDRESS:
LOT 25, BLOCK 21, PLAN 751 0331
MUNICIPAL ADDRESS:
324 VARSITY ESTATE PLACE NW
CALGARY, ALBERTA

PROPOSED USE:
SINGLE FAMILY DWELLING

CONTEXTUAL FRONT SETBACK: 12.02 m + 6.02m / 2 - 1.5m = 7.52m

SITE INFORMATION

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R-C1 MAX. BUILDING HEIGHT: 9.28m
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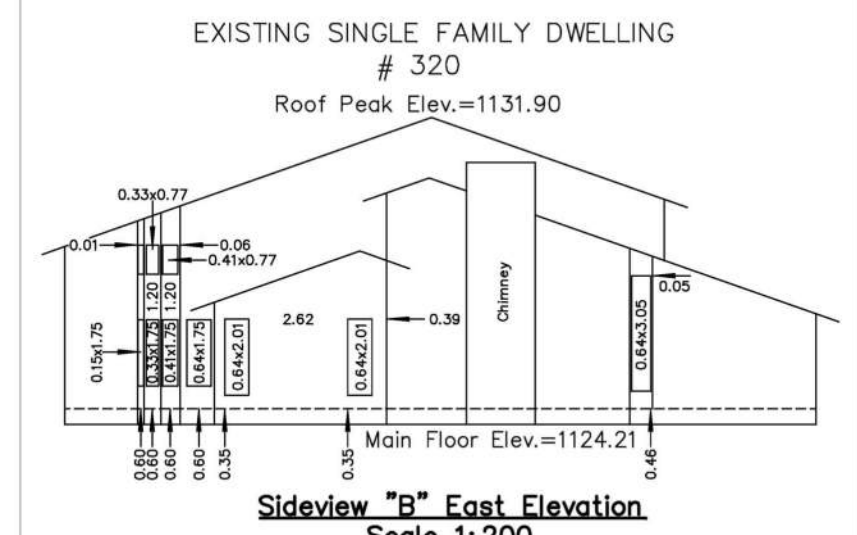
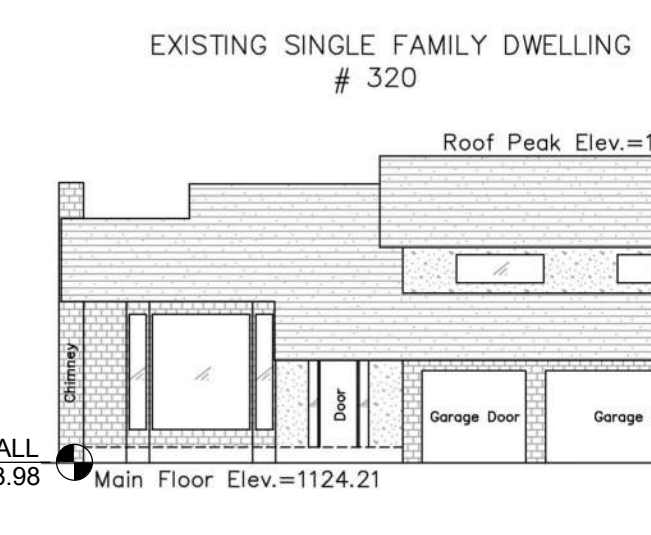
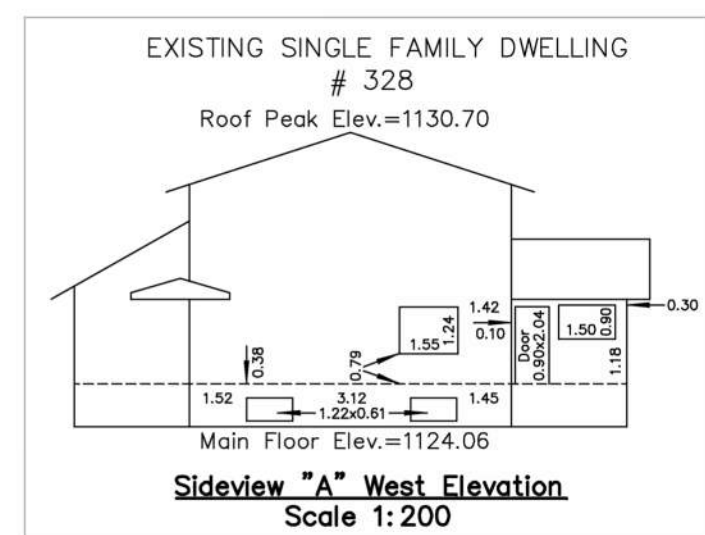
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1 BLOCK PLAN - PROPOSED

1 : 200



2 STREETScape - PROPOSED

1 : 200

BUILDER:

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CALGARY, AB
LOT 25, BLOCK 21,
PLAN 751 0331

STATUS:
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DRAWING NAME:
FRONT ELEVATION -
PROPOSED

DRAWN BY: T.Y.	CHECKED BY: L.C.
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SCALE: 1/4" = 1'-0"
PRINTED ON 24x36 PAPER

SHEET #:

A3.0

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1 FRONT ELEVATION (NORTH) - PROPOSED
1/4" = 1'-0"



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DRAWING NAME:
SIDE ELEVATIONS
PROPOSED

DRAWN BY: T.Y. CHECKED BY: L.C.

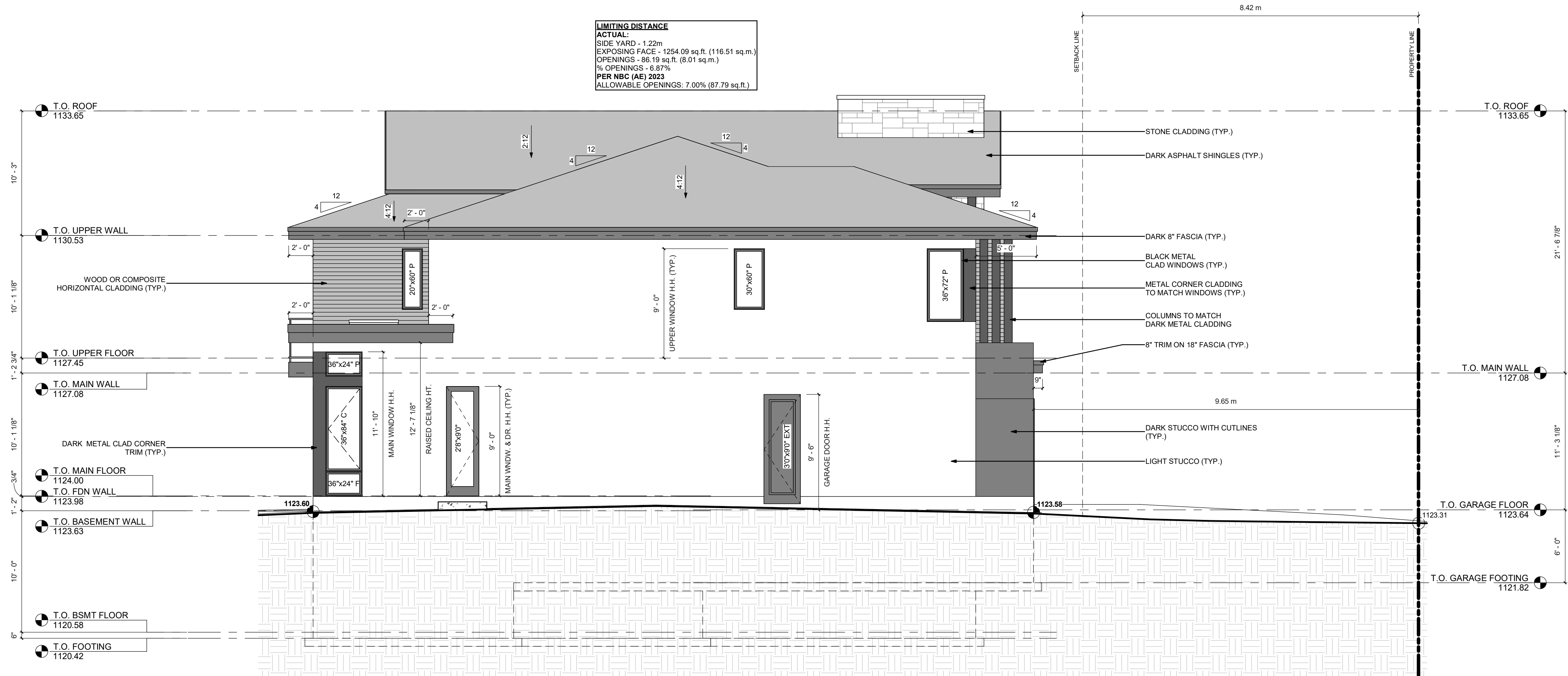
SCALE: 3/16" = 1'-0"
PRINTED ON 24x36 PAPER

SHEET #:

A3.1

PRINTED: 2026-09-14 2:18:51 PM

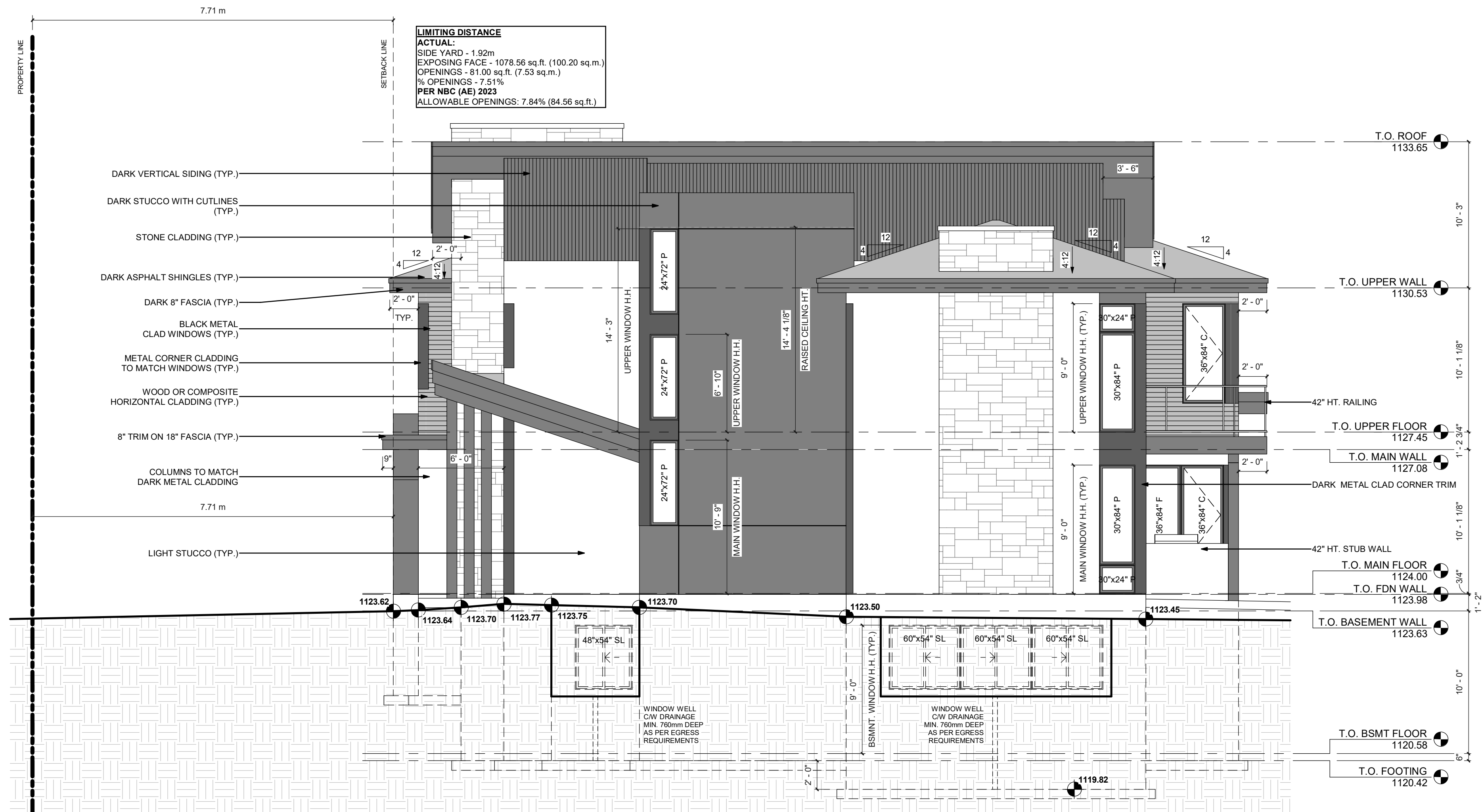
LIMITING DISTANCE
ACTUAL:
SIDE YARD - 1.22m
EXPOSING FACE - 1254.09 sq.ft. (116.51 sq.m.)
OPENINGS - 86.19 sq.ft. (8.01 sq.m.)
% OPENINGS - 6.87%
PER NBC (AE) 2023
ALLOWABLE OPENINGS: 7.00% (87.79 sq.ft.)



LEFT ELEVATION (EAST) - PROPOSED

3/16" = 1'-0"

LIMITING DISTANCE
ACTUAL:
SIDE YARD - 1.92m
EXPOSING FACE - 1078.56 sq.ft. (100.20 sq.m.)
OPENINGS - 81.00 sq.ft. (7.53 sq.m.)
% OPENINGS - 7.51%
PER NBC (AE) 2023
ALLOWABLE OPENINGS: 7.84% (84.56 sq.ft.)



RIGHT ELEVATION (WEST) - PROPOSED

3/16" = 1'-0"

