



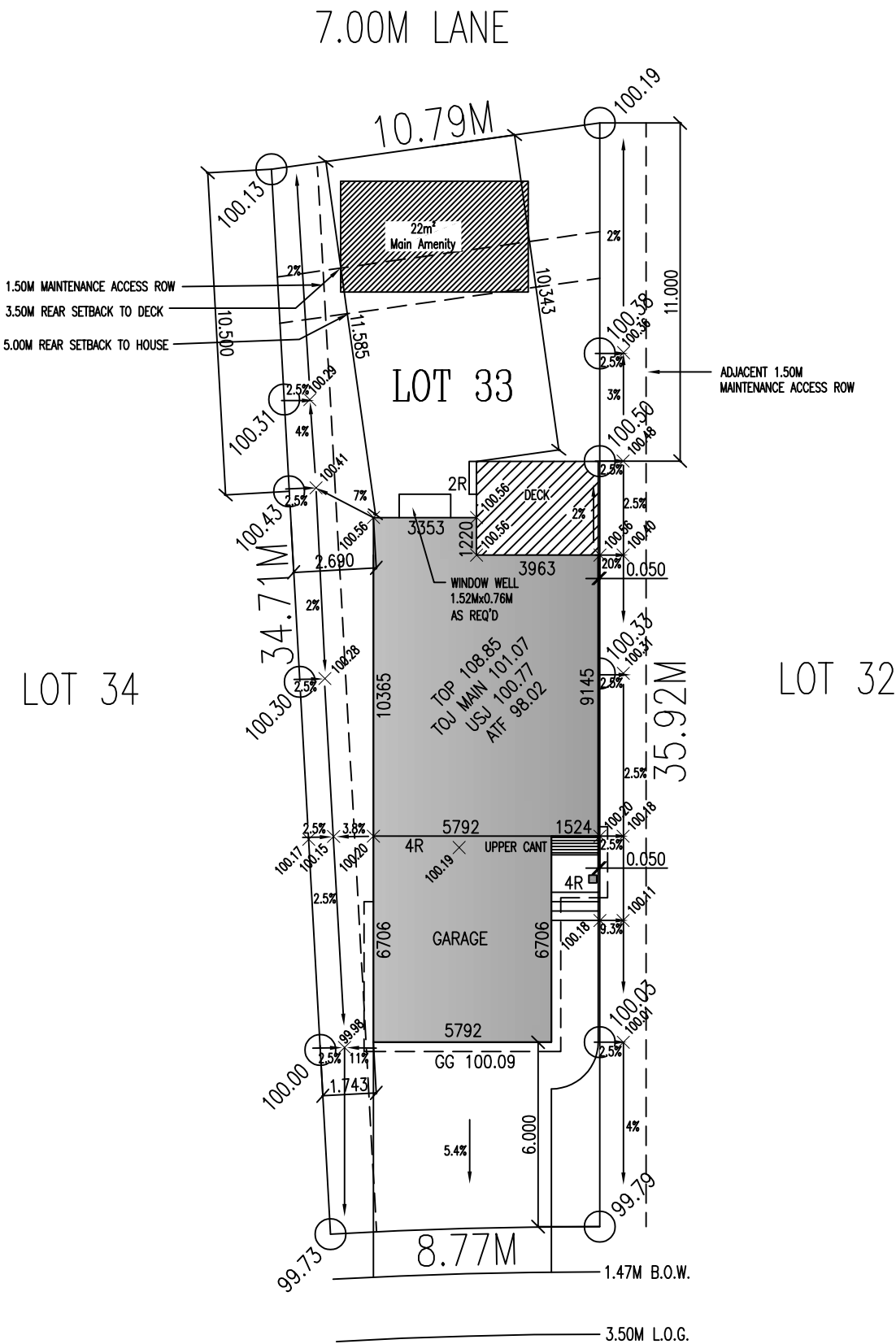
LOCATION: 403 WOLF CREEK WAY SE			GRADES AS NOTED		JOB #: WWMZ9165
LOT: 33	LOT: 343.6 m²	USJ: 100.77	TOP: 108.85	DRN BY: CH/TW	
BLOCK: 25	60% MAX: 206.2 m²	ATF: 98.02	TOJ MAIN: 101.07	DATE: JULY 27/26	
PHASE: 7	ACTUAL: 133.6 m²	LTF: 97.76	ST: 96.96	MOD. SAGE B	
ZONING: (R-Gm)	PLAN: 221 0842	38.9 %	SAN: 96.96	REVISIONS:	
SCALE 1:200	WOLF WILLOW			(REV DATE)	
YARD COVERAGE:	FRONT:(233 ft²)	SIDE: (407 ft²)	REAR:(1407 ft²)		
ADDITIONAL NOTES: (BF - back to front drainage) - MG - 100.09					



00.00 ○ DEVELOPER ESTABLISHED GRADES
00.00 × BUILDER PROPOSED GRADES

DRIVEWAY/SIDEWALK AREA = 51.1M²

NORTH

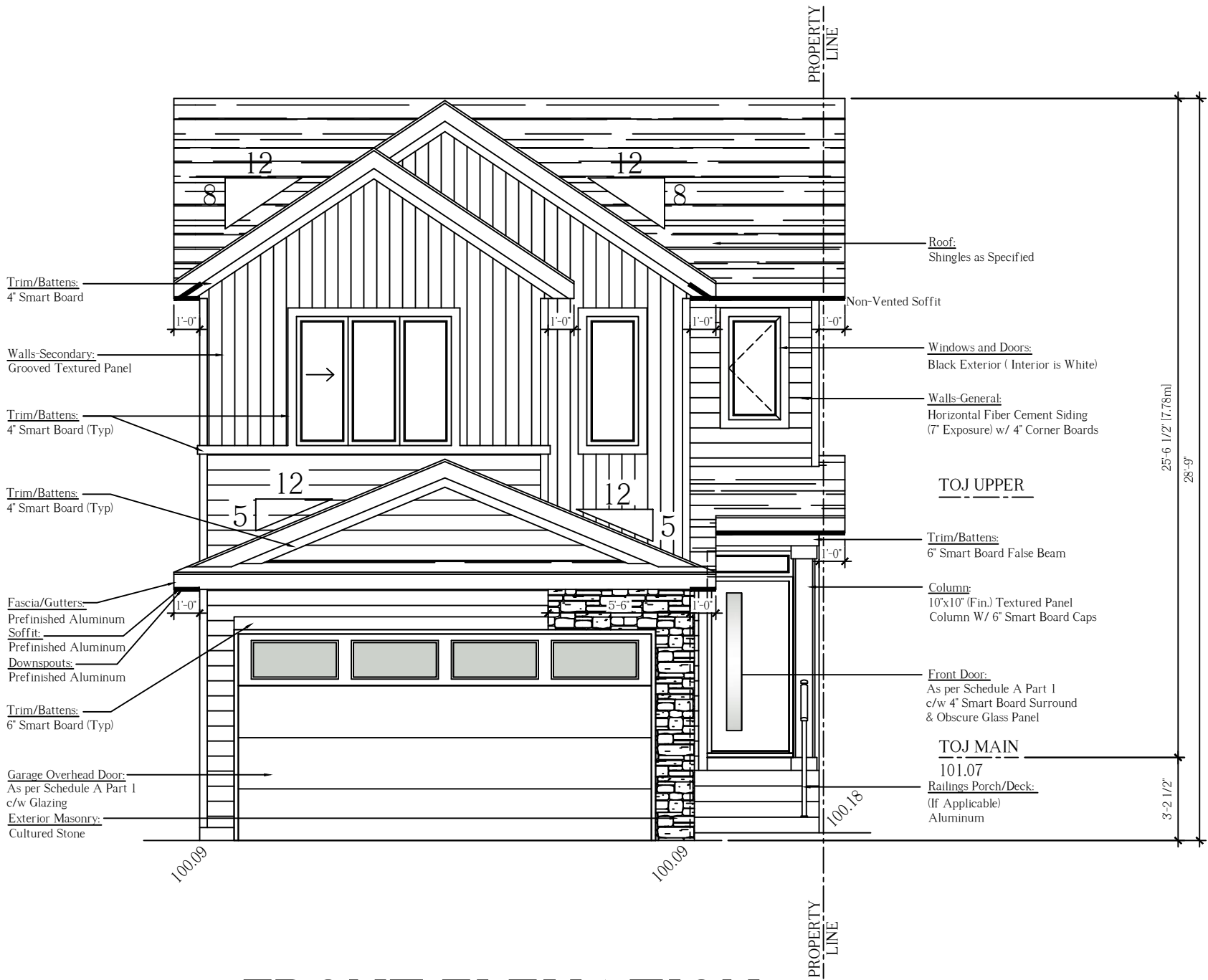


WOLF CREEK WAY SE

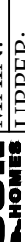
BUILDER TO ENSURE FINAL LOT GRADES ARE COMPATIBLE WITH ADJACENT LOTS
RETAINING WALL MAY BE REQUIRED WHERE SLOPE EXCEEDS 3:1
ENSURE ADEQUATE DRAINAGE AWAY FROM ALL FOUNDATIONS

CRITERIA FOR DESIGNATION OF RESIDENTIAL TERRAIN (REV NOVEMBER 2016)		
	TERRAIN TYPES	
	ROUGH	OPEN
Min Performance Grade	R-PG25	R-PG30
Min DP +/- Design Pressure	1200Pa	1440Pa
Min H ₂ O Penetration Pressure	260Pa	330Pa
Min Air In/Ex Filtration	A2	A2
*refer to titleblock for job specific designation		

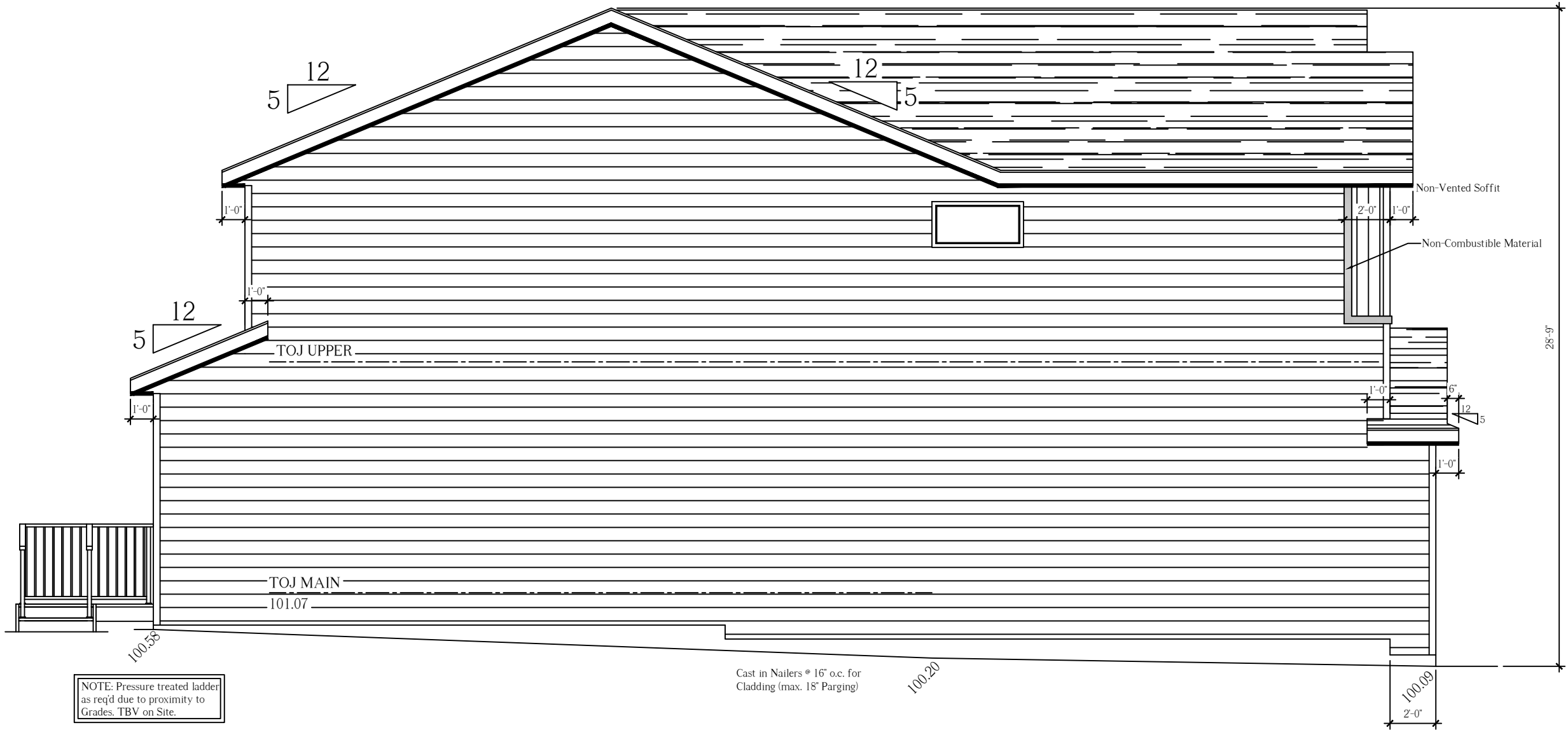
FRONT ELEVATION



NOTE: GRADES OR SLOPES SHOWN ON EXTERIOR ELEVATIONS ARE SUBJECT TO VARIATION DUE TO SITE CONDITIONS.

WD: JULY 27/26 REV: JULY 30/26 PERMITS: AUG 27/26	THIS IS A COPYRIGHT DRAWING AND DESIGN, AND SHALL NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION BY MORRISON HOMES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS OR OMISSIONS TO THE BUILDER PRIOR TO COMMENCING THE WORK. IN CASES WHERE THE DIMENSIONS SHOWN DIFFER FROM BLUEPRINTS, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.		NAME:			WORKING DRAWINGS	4
JOB #: WWMZ9165 DRAWN BY: CH/TW			TERRAIN: ROUGH	BSMT SPEC: ADVANTAGE	LANDING: N/A		

CRITERIA FOR DESIGNATION OF RESIDENTIAL TERRAIN (REV NOVEMBER 2016)		
	TERRAIN TYPES	
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LEFT ELEVATION

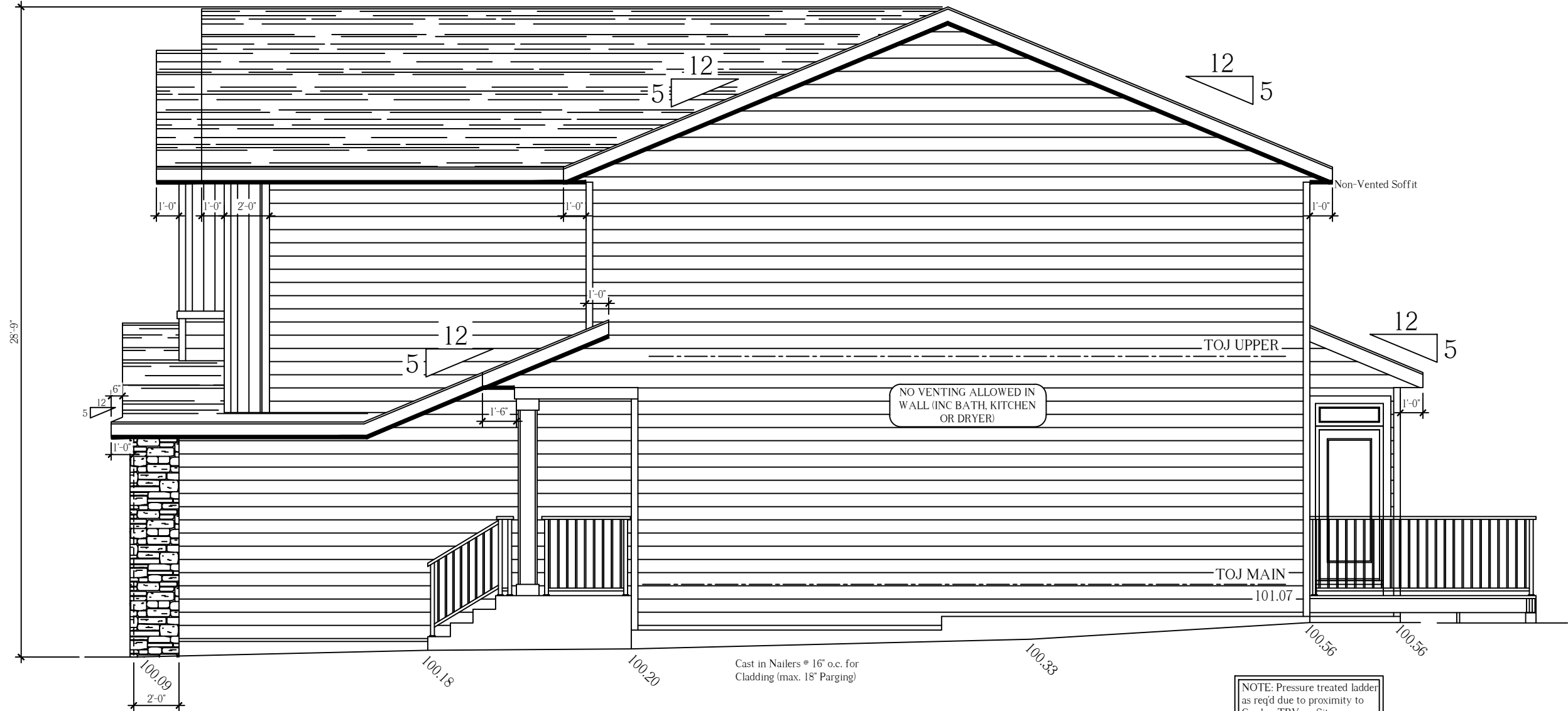
UNPROTECTED OPENING % CALCULATIONS (Max 7.0% at 1.2m Setback)

Actual Wall Area:	1102.5 sq. ft.
Max Unprotected Opening:	77.2 sq. ft. (7.0% of Actual Wall Area)
Actual Unprotected Opening:	8.0 sq. ft. (0.7%)

NOTE: GRADES OR SLOPES SHOWN ON EXTERIOR ELEVATIONS ARE SUBJECT TO VARIATION DUE TO SITE CONDITIONS.

WD: JULY 27/26 REV: JULY 30/26 PERMITS: AUG 27/26		JOB #: WWMZ9165 DRAWN BY: CH/TW		TERRAIN: ROUGH		SPEC: ADVANTAGE 7.2 BSMT SPEC: ADVANTAGE MISC:		90" FDN HGT (88" CLEAR) SPECS: ADVANTAGE 7.2 BSMT SPEC: ADVANTAGE MISC:				NAME: LOC: 403 WOLF CREEK WAY SE MAIN: 764 SQ.FT. PORCH: 30 SQ.FT. UPPER: 1099 SQ.FT. DECK: 130 SQ.FT. TOTAL: 1863 SQ.FT. GARAGE: 418 SQ.FT. BASEMENT: 379 SQ.FT. BSMT SUITE: N/A		WORKING DRAWINGS		5 / 9	
												MODEL: MOD. SAGE 'B' ELEVATION SCALE: 3/16"=1'-0"					

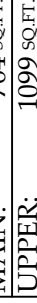
CRITERIA FOR DESIGNATION OF RESIDENTIAL TERRAIN (REV NOVEMBER 2016)		
	TERRAIN TYPES	
	ROUGH	OPEN
Min Performance Grade	R-PG25	R-PG30
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Min H ₂ O Penetration Pressure	260Pa	330Pa
Min Air In/Ex Filtration	A2	A2
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RIGHT ELEVATION

UNPROTECTED OPENING % CALCULATIONS (Max 39.0% at 4m Setback)	
Actual Wall Area:	44.1 sq. ft.
Max Unprotected Opening:	17.2 sq. ft. (39.0% of Actual Wall Area)
Actual Unprotected Opening:	13.7 sq. ft. (31.1%)

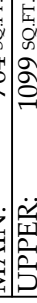
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			LOC:	403 WOLF CREEK WAY SE				
			MAIN:	764 SQ.FT.	PORCH:			30 SQ.FT.
			UPPER:	1099 SQ.FT.	DECK:			130 SQ.FT.
			TOTAL:	1863 SQ.FT.	GARAGE:			418 SQ.FT.
JOB #: WWMZ9165 DRAWN BY: CH/TW	TERRAIN: ROUGH	SPEC: ADVANTAGE 7.2	BSMT SPEC: ADVANTAGE MISC:	BASEMENT:	379 SQ.FT.	MOD. SAGE 'B' ELEVATION		
				LANDING:		SCALE: 3/16"=1'-0"		

CRITERIA FOR DESIGNATION OF RESIDENTIAL TERRAIN (REV NOVEMBER 2016)		
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	ROUGH	OPEN
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WD: JULY 27/26 REV: JULY 30/26 PERMITS: AUG 27/26 JOB #: WWMZ9165 DRAWN BY: CH/TW	THIS IS A COPYRIGHT DRAWING AND DESIGN, AND SHALL NOT BE USED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION BY MORRISON HOMES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS OR OMISSIONS TO THE BUILDER PRIOR TO COMMENCING THE WORK. IN CASES OF DISCREPANCIES, THE WRITTEN SPECIFICATIONS SHALL PREVAIL.		NAME:		WORKING DRAWINGS	7 / 9
			LOC: 403 WOLF CREEK WAY SE			
			MAIN:	764 SQ.FT. PORCH: 30 SQ.FT.		
			UPPER:	1099 SQ.FT. DECK: 130 SQ.FT.		
			TOTAL: 1863 SQ.FT. GARAGE: 418 SQ.FT.			
SPEC: ADVANTAGE 7.2	ROUGH BSMT SPEC: ADVANTAGE MISC:	TERRAIN: ROUGH	BASEMENT: 379 SQ.FT. BSMT SUITE: N/A		MODEL: MOD. SAGE 'B' ELEVATION	
			LANDING:		SCALE: 3/16"=1'-0"	