



LIST OF DRAWINGS

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FLOOR AREA - UNIT #1B
BASEMENT = 1060.67 SQ. FT.

FLOOR AREA - UNIT #1
MAIN = 1043.17 SQ. FT.
UPPER = 1157.33 SQ. FT.
TOTAL = 2200.50 SQ. FT.

FLOOR AREA - UNIT #2B
BASEMENT = 1060.67 SQ. FT.

FLOOR AREA - UNIT #2
MAIN = 1043.17 SQ. FT.
UPPER = 1157.33 SQ. FT.
TOTAL = 2200.50 SQ. FT.

PROJECT NOTES:

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01.	04/08/2026	DP PLANS	D.L.
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PROJECT: SEMI DETACHED

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-09-10 5:30:02 PM

PROJECT NAME:
2314 Richmond Rd SW
CALGARY, ALBERTA

DESIGNER: JT JOB #: 331-26

SCALE: AS SHOWN SHEET: A-0.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	VERTICAL HARDIE FINISH - BLACK	9	SMOOTH STUCCO - BLACK
2	6" ALUMNIMUM FASCIA	6	HORIZONTAL HARDIE FINISH - GREY		
3	SIDING FINISHES - WHITE	7	CONC. PARGING		
4	BRICK - WHITE	8	CAST IN PLACE CONCRETE		

NOTE*

-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED
TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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PROJECT:

SEMI DETACHED

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-09-10 5:30:06 PM

PROJECT NAME:

2314 Richmond Rd SW
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

331-26

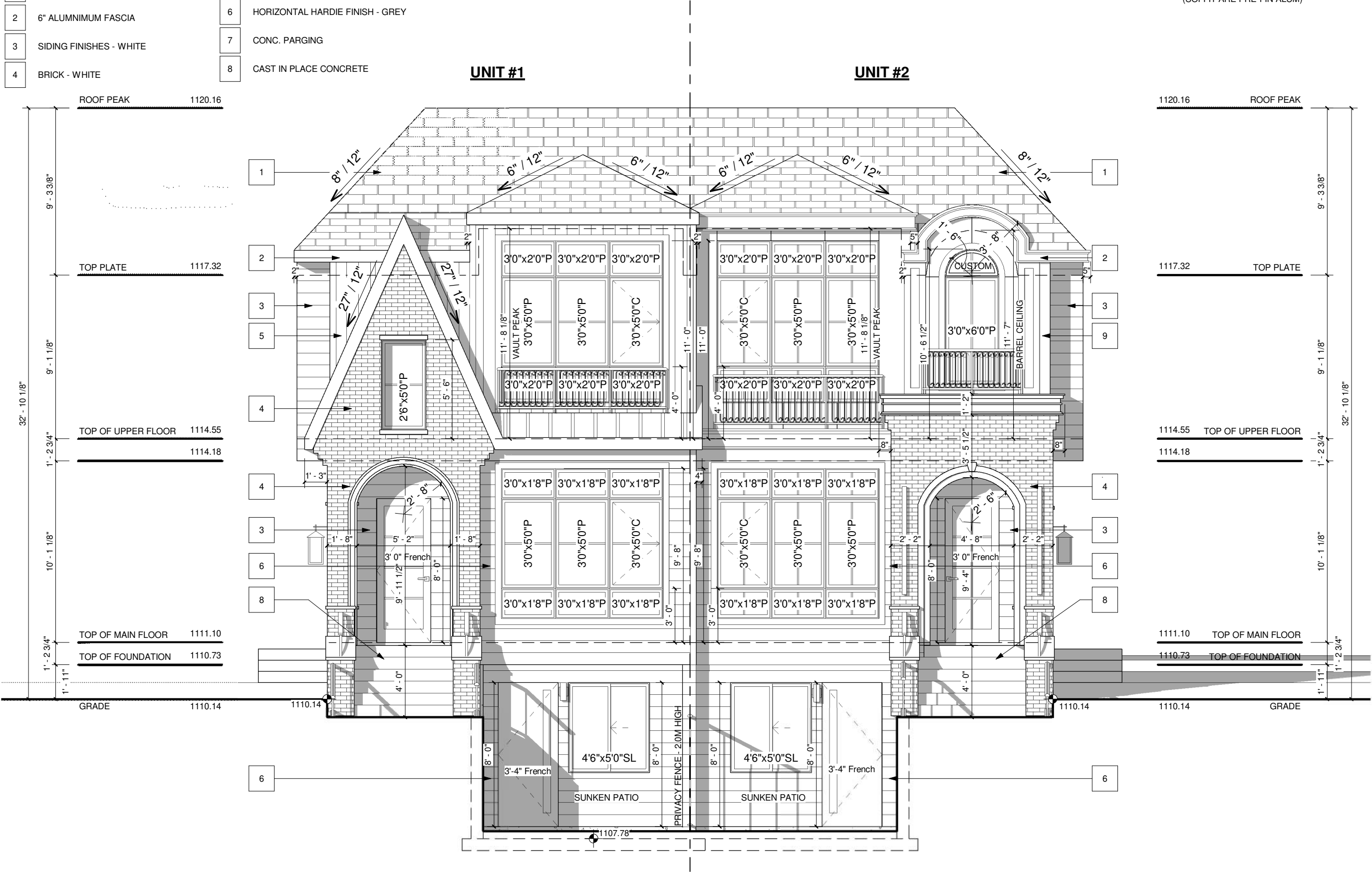
SCALE:

AS SHOWN

SHEET:

A-2.0

FRONT ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	VERTICAL HARDIE FINISH - BLACK	9	SMOOTH STUCCO - BLACK
2	6" ALUMNIMUM FASCIA	6	HORIZONTAL HARDIE FINISH - GREY		
3	SIDING FINISHES - WHITE	7	CONC. PARGING		
4	BRICK - WHITE	8	CAST IN PLACE CONCRETE		

VENTED SOFFIT NOTES:

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PROJECT:
SEMI DETACHED

STATUS: -

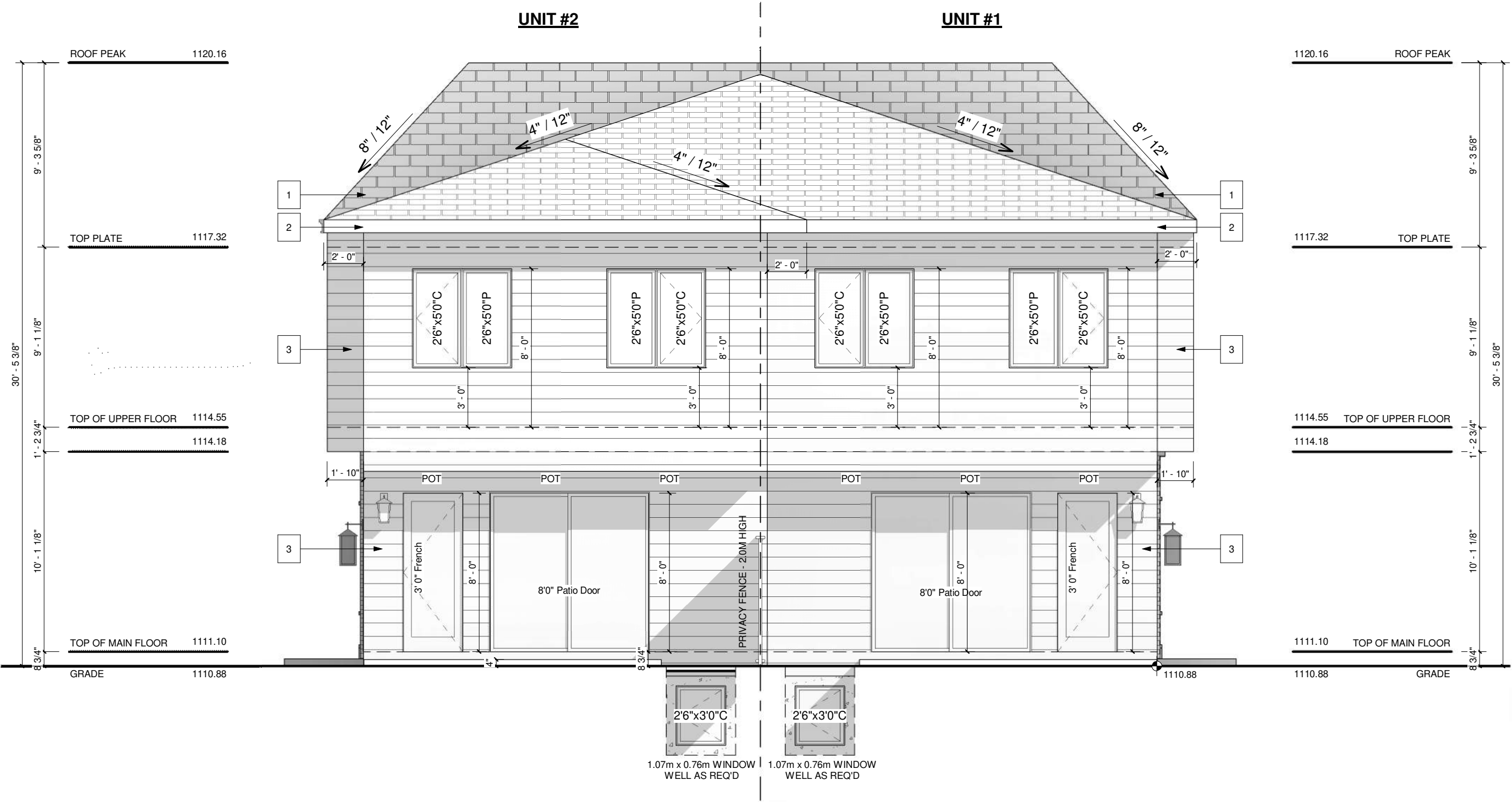
SIGNATURES:
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PRINTED: 2026-09-10 5:30:08 PM

PROJECT NAME:
2314 Richmond Rd SW
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 331-26

SCALE: AS SHOWN
SHEET: A-2.1



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

6" ALUMNIMUM FASCIA
- 3

SIDING FINISHES - WHITE
- 4

BRICK - WHITE
- 5

VERTICAL HARDIE FINISH - BLACK
- 6

HORIZONTAL HARDIE FINISH - GREY
- 7

CONC. PARGING
- 8

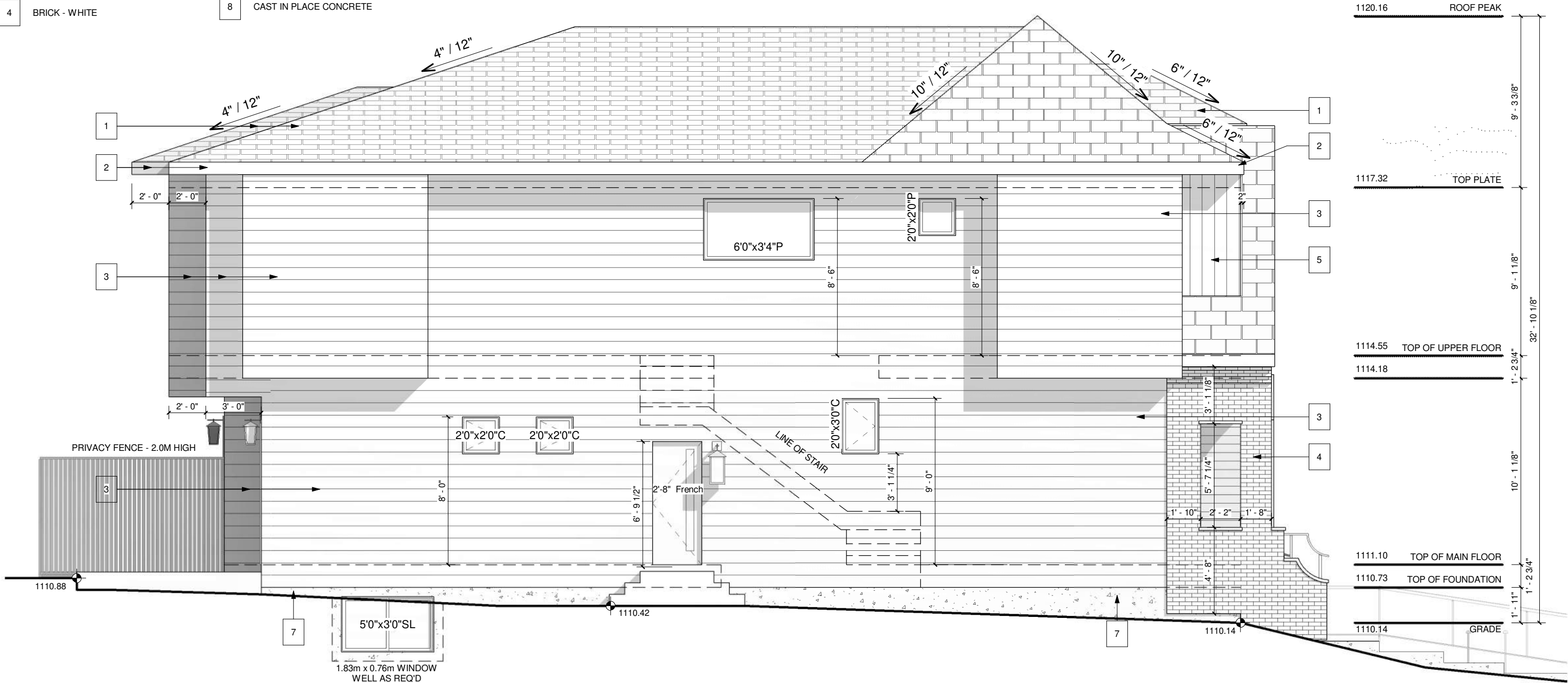
CAST IN PLACE CONCRETE
- 9

SMOOTH STUCCO - BLACK

WINDOW CALCULATION
WALL AREA= 1181.42 SQ. FT.
WINDOW AREA = 42.94 SQ. FT.
TOTAL: 42.94/ 1181.42 = 3.63%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

UNIT #1



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT:

SEMI DETACHED

STATUS:

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SIGNATURES:

X

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PROJECT NAME:

2314 Richmond Rd SW
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

331-26

SCALE:

AS SHOWN

SHEET:

A-2.2

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

6" ALUMNIMUM FASCIA
- 3

SIDING FINISHES - WHITE
- 4

BRICK - WHITE
- 5

VERTICAL HARDIE FINISH - BLACK
- 6

HORIZONTAL HARDIE FINISH - GREY
- 7

CONC. PARGING
- 8

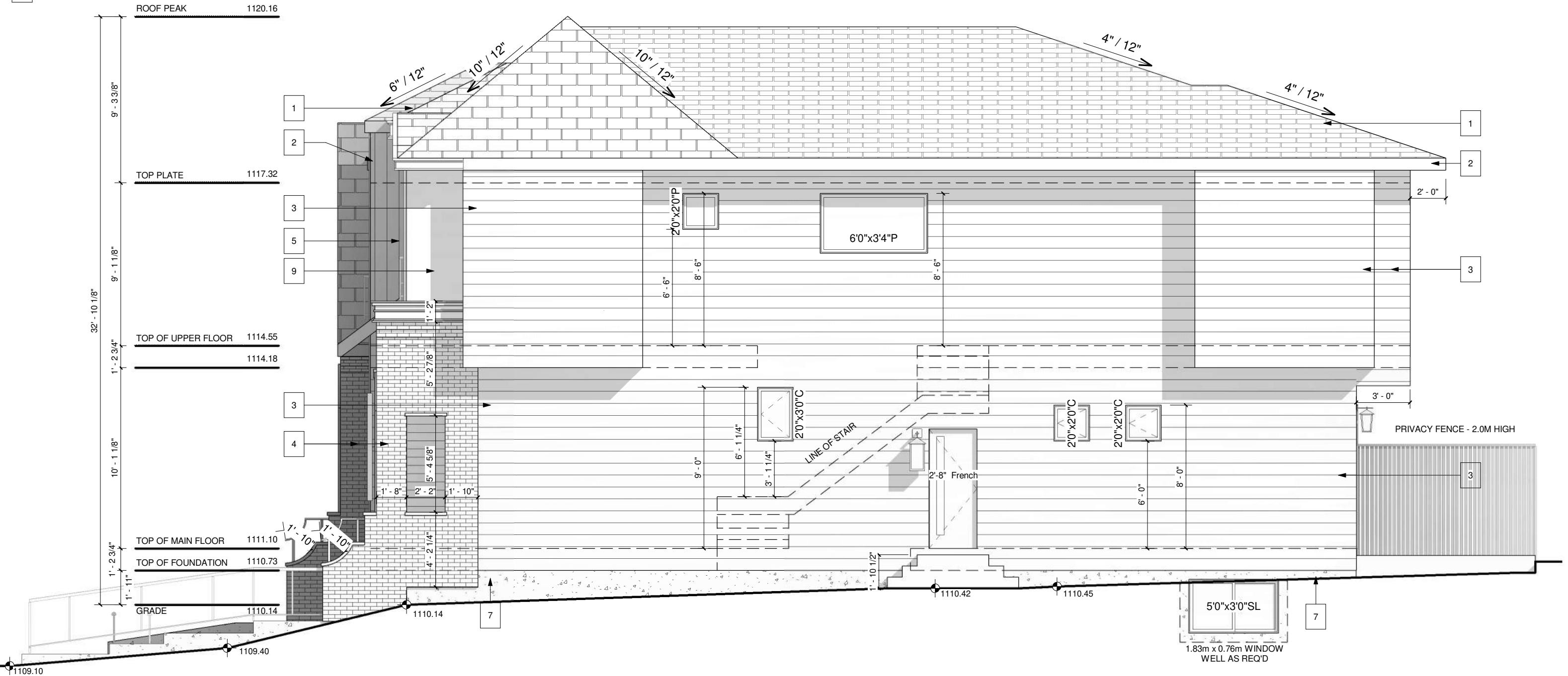
CAST IN PLACE CONCRETE
- 9

SMOOTH STUCCO - BLACK

WINDOW CALCULATION
WALL AREA= 1181.42 SQ. FT.
WINDOW AREA = 42.94 SQ. FT.
TOTAL: 42.94/ 1181.42 = 3.65%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
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UNIT #2



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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SEMI DETACHED

STATUS:

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SIGNATURES:

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PROJECT NAME:

2314 Richmond Rd SW
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

331-26

SCALE:

AS SHOWN

SHEET:

A-2.3

EXTERIOR FINISHES:

- 1

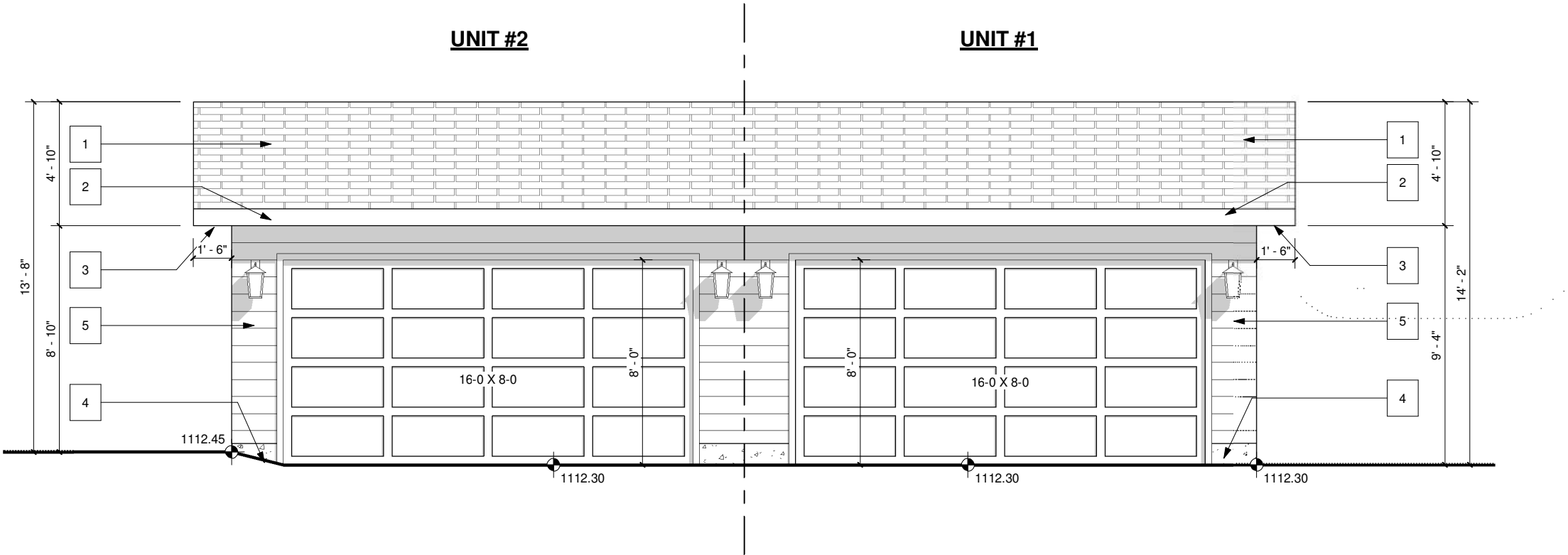
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

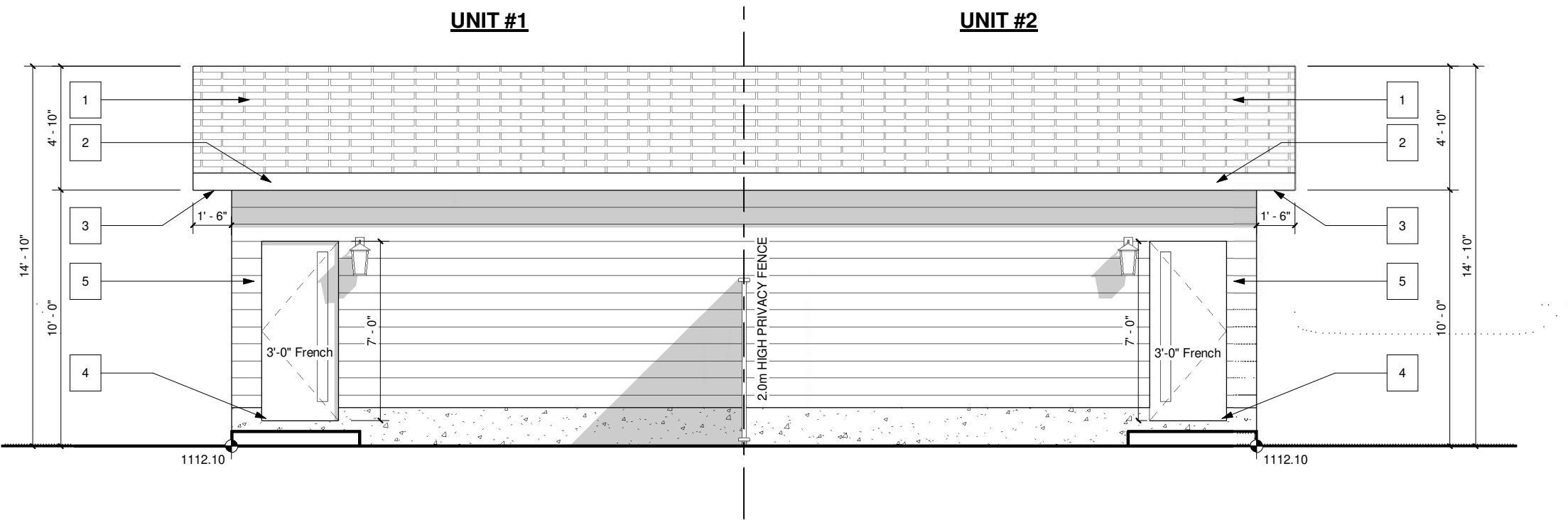
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

SIDING FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

331-26

SCALE:

AS SHOWN

SHEET:

A-3.1

EXTERIOR FINISHES:

- 1

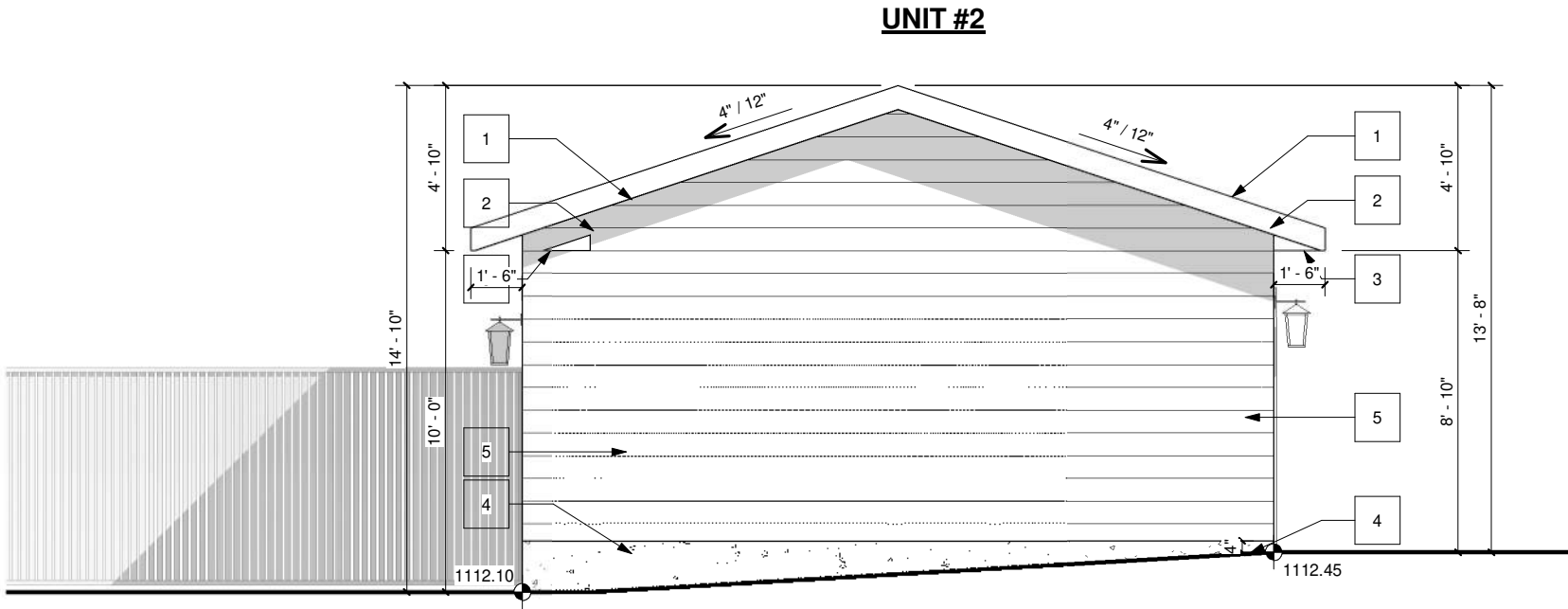
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

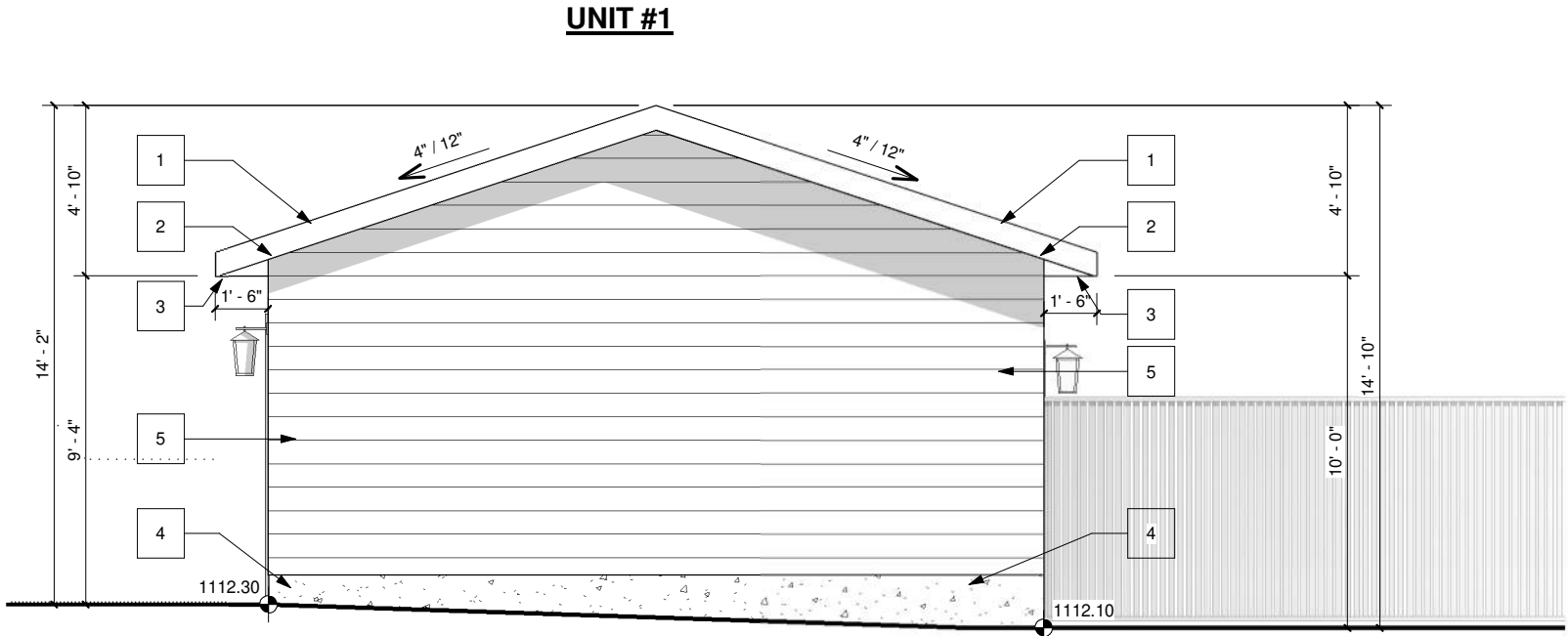
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

SIDING FINISH



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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