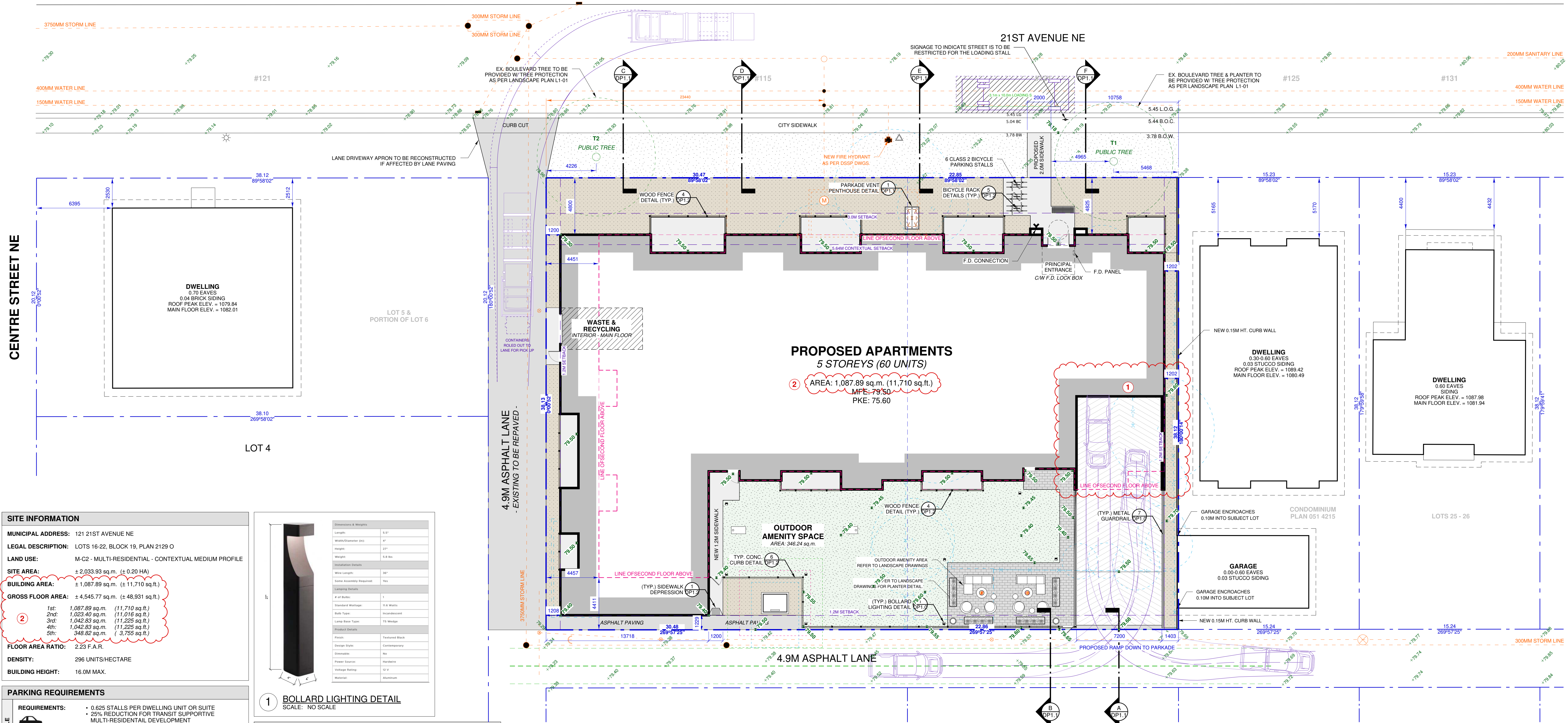




SITE INFORMATION	
MUNICIPAL ADDRESS:	121 21ST AVENUE NE
LEGAL DESCRIPTION:	LOTS 16-22, BLOCK 19, PLAN 2129 O
LAND USE:	M-C2 - MULTI-RESIDENTIAL - CONTEXTUAL MEDIUM PROFILE
SITE AREA:	± 2,033.93 sq.m. (± 0.20 HA)
BUILDING AREA:	± 1,087.89 sq.m. (± 11,710 sq.ft.)
GROSS FLOOR AREA:	± 4,545.77 sq.m. (± 48,931 sq.ft.)
FLOOR AREA RATIO:	2.23 F.A.R.
DENSITY:	296 UNITS/HECTARE
BUILDING HEIGHT:	16.0M MAX.

PARKING REQUIREMENTS	
VEHICLE	REQUIREMENTS: 0.625 STALLS PER DWELLING UNIT OR SUITE 25% REDUCTION FOR TRANSIT SUPPORTIVE MULTI-RESIDENTIAL DEVELOPMENT 60 UNITS X 0.625 = 37.5 - 25% = 28.13 REQUIRED: 29 STALLS PROVIDED: 36 RESIDENT STALLS
BICYCLE	REQUIREMENTS: 1.0 CLASS 1 BICYCLE STALL PER SUITE 0.1 CLASS 2 BICYCLE STALL PER SUITE IF MORE THAN 20 SUITES (MIN. 2.0 STALLS) CLASS 1: 60 UNITS X 1.0 = 60 CLASS 2: 60 UNITS X 0.1 = 6 REQUIRED: 60 CLASS 1 STALLS & 6 CLASS 2 STALLS PROVIDED: 60 CLASS 1 STALLS & 6 CLASS 2 STALLS

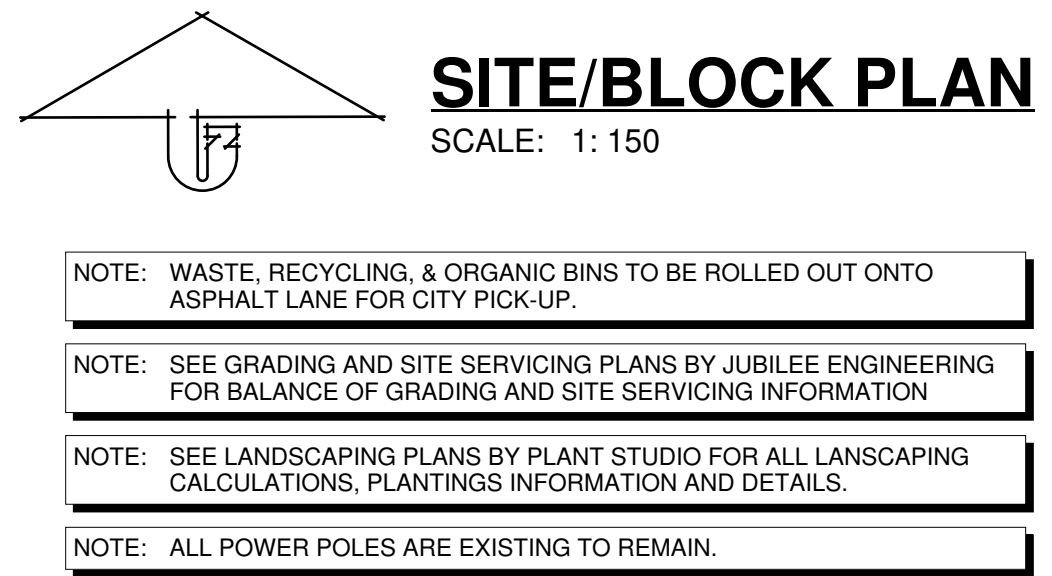
SERVICE CLEARANCES	
MINIMUM CLEARANCES TO BE PROVIDED BETWEEN THE WATER SERVICE LINE & THE FOUNDATION WALL OR PILES, UNLESS FOUNDATION DESIGN IS APPROVED FOR LESSER CLEARANCES BY THE STRUCT. CONSULTANT: 4.0m FOR 100mm SERVICE LINE OR LARGER. 3.0m FOR 50mm SERVICE LINE OR SMALLER. 2.0m WHERE THE FOUNDATION WALL OR PILES EXTEND VERTICALLY A MINIMUM OF 2.0m BELOW THE INVERT OF THE WATER PIPE. - CONFIRM FINAL CLEARANCES WITH DSSP AND MECHANICAL SITE PLAN.	



AMENITY SPACE REQUIREMENTS	
REQUIREMENTS:	5.0 sq.m. OF AMENITY AREA PER DWELLING UNIT
60 UNITS X 5.0 sq.m. = 300.0	
REQUIRED:	300.0 sq.m.
INDOOR:	85.54 sq.m.
OUTDOOR:	346.24 sq.m. (at grade) + 132.41 sq.m. (at roof)
PROVIDED:	564.19 sq.m.

GENERAL SITE NOTES	
ALL PORTIONS OF WASTE & RECYCLING COLLECTION VEHICLE ROUTE & APPROACH TO BE STRUCTURALLY CAPABLE OF SUPPORTING MIN. 25,000kg.	
WASTE, RECYCLING & ORGANIC BINS TO BE ROLLED OUT ONTO ASPHALT LANE FOR CITY PICK-UP.	
SEE GRADING & SITE SERVICING PLANS BY JUBILEE ENGINEERING FOR BALANCE OF GRADING & SITE SERVICING INFORMATION.	
SEE LANDSCAPING PLANS BY PLANT STUDIO FOR ALL LANDSCAPING CALCULATIONS AND PLANTINGS INFORMATION AND DETAILS.	

REVISIONS NOTES	
1	REMOVED THE BALCONY FROM UNIT 102 ON THE MAIN FLOOR AND EXPANDED THE UNIT AREA TO INCLUDE THE PREVIOUS BALCONY SPACE. REVISED THE UNIT LAYOUT TO ACCOMMODATE THE INCREASED AREA AND ADDED NEW WINDOWS.
2	INCREASED THE MAIN FLOOR BUILDING AREA AS PER THE CHANGES TO UNIT 102 ON THE MAIN FLOOR.
3	CHAMFERED THE SOUTH-WEST CORNER OF THE PARKADE AS PER THE ENMAX REQUIRED CLERANCES FROM THE EXISTING POWER POLES.
4	REVISED THE PARKADE RAMP ENTRANCE DUE TO A CHANGE IN THE STRUCTURAL DRAWINGS DURING THE WORKING DRAWINGS STAGE OF THE PROJECT.
5	REVISED THE LANDSCAPING ON THE 5TH FLOOR/ROOF TOP AMENITY AREA.
6	NEW EXTERIOR DOOR FROM THE AMENITY DINING AREA TO THE ROOF TOP AMENITY AREA.
7	NEW WING WALL FOR STRUCTURAL SUPPORT OF THE 2ND FLOOR CANTILEVER OVER THE PARKADE.



CLIENT:

CIVIL:
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LANDSCAPE:
Plant Studio
#603, 629 Royal Ave SW
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E: plantstudio@shaw.ca

ARCHITECTURAL:

Calgary Office: 5917 1A Street SW, Calgary, AB, T2H 0G4
Ph: 403 253 2853
www.AxiomArch.ca

PROJECT INFORMATION:
PROPOSED APARTMENT BUILDING
121 21ST AVENUE NE
CALGARY, AB
LEGAL DESCRIPTION: LOTS 16-22, BLOCK 19, PLAN 2129 O

STAMPS:

REVISIONS:

03	--	2026-09-03	Issued for Revised Plan
02	01	2025-08-21	Issued for Client Review
01	--	2025-08-19	Issued for Client Review

ISS: REV: DATE: DESCRIPTION:

DRAWING TITLE:
SITE PLAN & SITE INFORMATION

JOB NUMBER: 24-011
DATE: AUGUST 21, 2026
DRAWN BY: AC

DP1.0

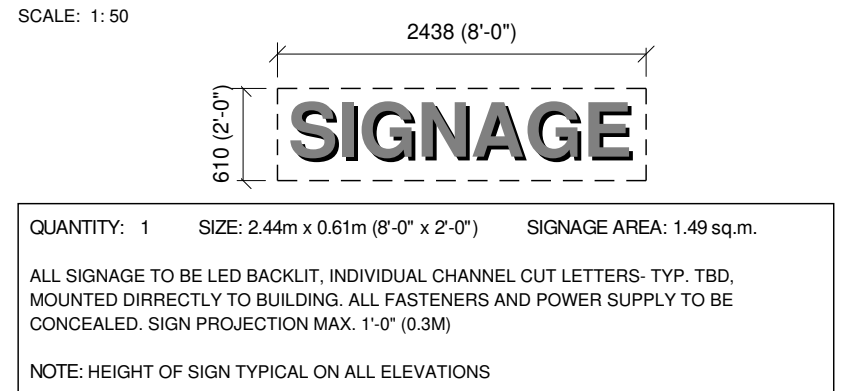
EXTERIOR FINISHES

- 1 CORRUGATED METAL CLADDING
COLOUR: GREY/SILVER
- 2 FIBER CEMENT LAP SIDING (HARDIE)
COLOUR: KHAKI BROWN
- 3 FIBER CEMENT PANEL SIDING (HARDIE)
COLOUR: ARCTIC WHITE
- 4 TREATED WOOD PERGOLA & POSTS
COLOUR: NATURAL BROWN
- 5 PREFINISHED PARAPET CAP
COLOUR: GREY/SILVER
- 6 ALUMINUM CLAD VINYL WINDOWS C/W CLEAR GLAZING
COLOUR: GREY FRAMES
- 7 ALUMINUM GUARDRAIL C/W CLEAR GLASS PANELS
COLOUR: BLACK
- 8 ALUMINUM CLAD VINYL DOORS C/W CLEAR GLAZING
COLOUR: GREY FRAMES
- 9 BUILDING MOUNTED LIGHT FIXTURE
COLOUR: DARK GREY
- 10 EXPOSED CONCRETE - C/W PARGING ABOVE GRADE
COLOUR: GREY
- 11 FAUX SPANDREL PANELS - SEE DETAIL A/1.2
COLOUR: GREY
- 12 METAL MAN DOORS
COLOUR: GREY
- 13 PARKADE RETAINING WALL
COLOUR: GREY/SILVER
- 14 PREFINISHED METAL GUARDRAIL
COLOUR: GREY
- 15 WOOD FENCE C/W ALUMINUM POSTS
COLOUR: BLACK POSTS

FINISH NOTES:

- EXTERIOR FINISHES TYPICAL ON ALL ELEVATIONS.
- ALL BUILDING-MOUNTED LIGHTING FIXTURES ARE TO BE CUT OFF TO ELIMINATE LIGHT BLEED TO ADJACENT PROPERTIES.

SIGNAGE DETAIL



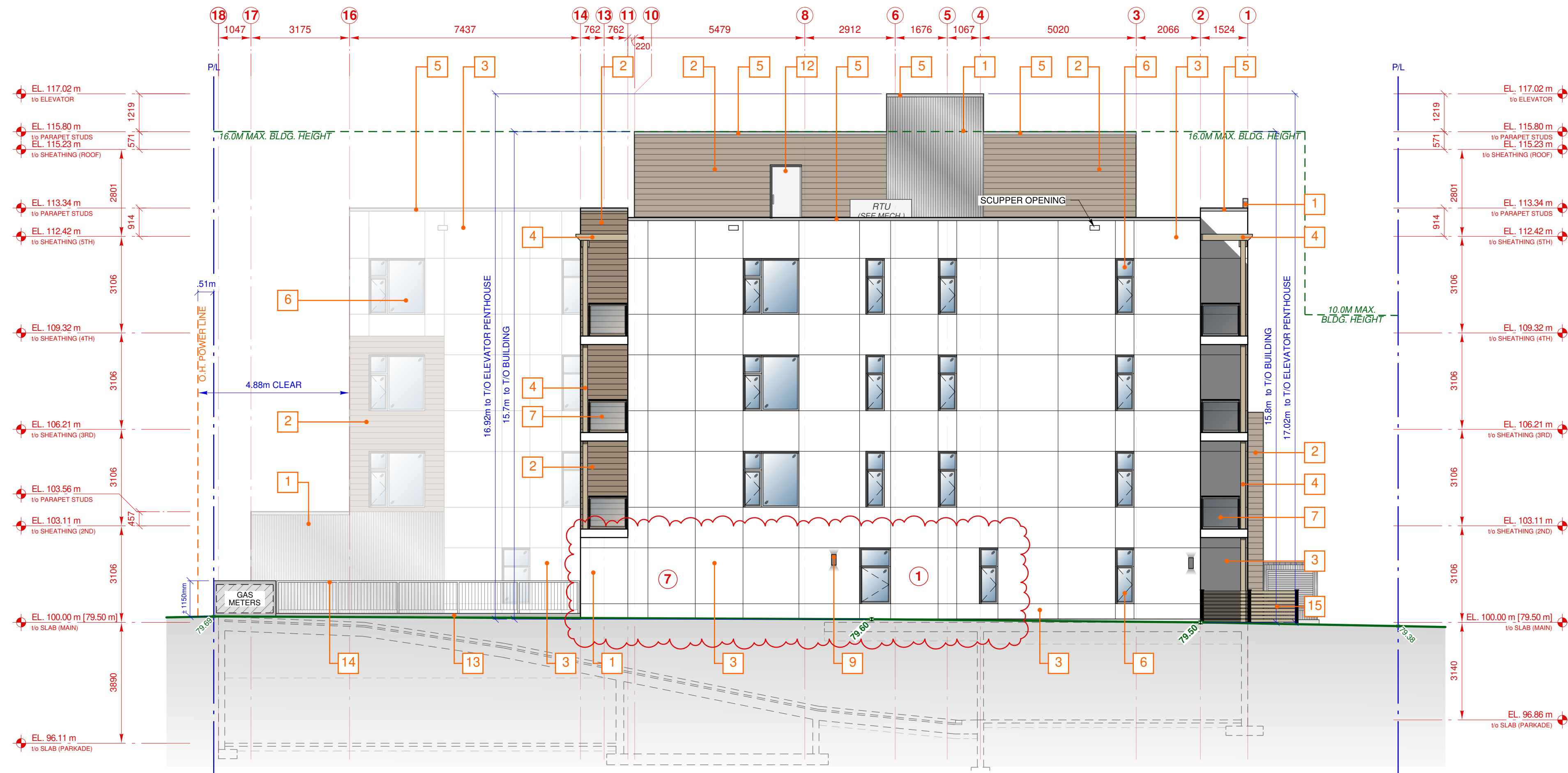
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NORTH ELEVATION

SCALE: 1:100



EAST ELEVATION

SCALE: 1:100

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DRAWING TITLE:

NORTH & EAST ELEVATIONS

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DP3.0

	1	CORRUGATED METAL CLADDING COLOUR: GREY/SILVER
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STAMPS:

[illegible]

DRAWING TITLE:

SOUTH & WEST ELEVATIONS

JOB NUMBER:	24-011
DATE:	AUGUST 21, 2026
DRAWN BY:	AC

DP3.1