



LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front and Rear Elevations
A-2.1	Left Elevation
A-2.2	Right Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevations
A-4.2	Garage Sections

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN
AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/09/2026	DP PLANS	D.J.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY
THIS DRAWING ARE OWNED BY JOHN TRINH
& ASSOCIATES INC. AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE
OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER
PERSON OR ORGANIZATION FOR ANY
PURPOSE WITHOUT THE WRITTEN
PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:

NEW HOME

STATUS:

DP

SIGNATURES:

X _____

PRINTED: 2026-09-09 9:44:40 AM

PROJECT NAME:

2213 8 Ave SE
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

400 - 26

SCALE:

AS SHOWN

SHEET:

A-0.0

FLOOR AREA

BASEMENT = 1000.33 SQ. FT.

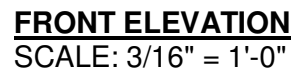
MAIN = 1057.58 SQ. FT.

UPPER = 1129.21 SQ. FT.

LOFT = 578.00 SQ. FT.

TOTAL = 2764.79 SQ. FT.

1	PARAPET WALL	5	BRICK AS SPEC'D	9	CAST-IN PLACE CONCRETE
2	ASPHALT SHINGLES	6	HARDIE FINISH VERTICAL-DARK GREY		
3	8" ALUMNIMUM FASCIA - BLACK	7	HARDIE FINISH HORIZONTAL-LIGHT GREY		
4	4" ALUMNIMUM FASCIA - BLACK	8	CONCRETE PARGING		



REAR ELEVATION
SCALE: 3/16" = 1'-0"

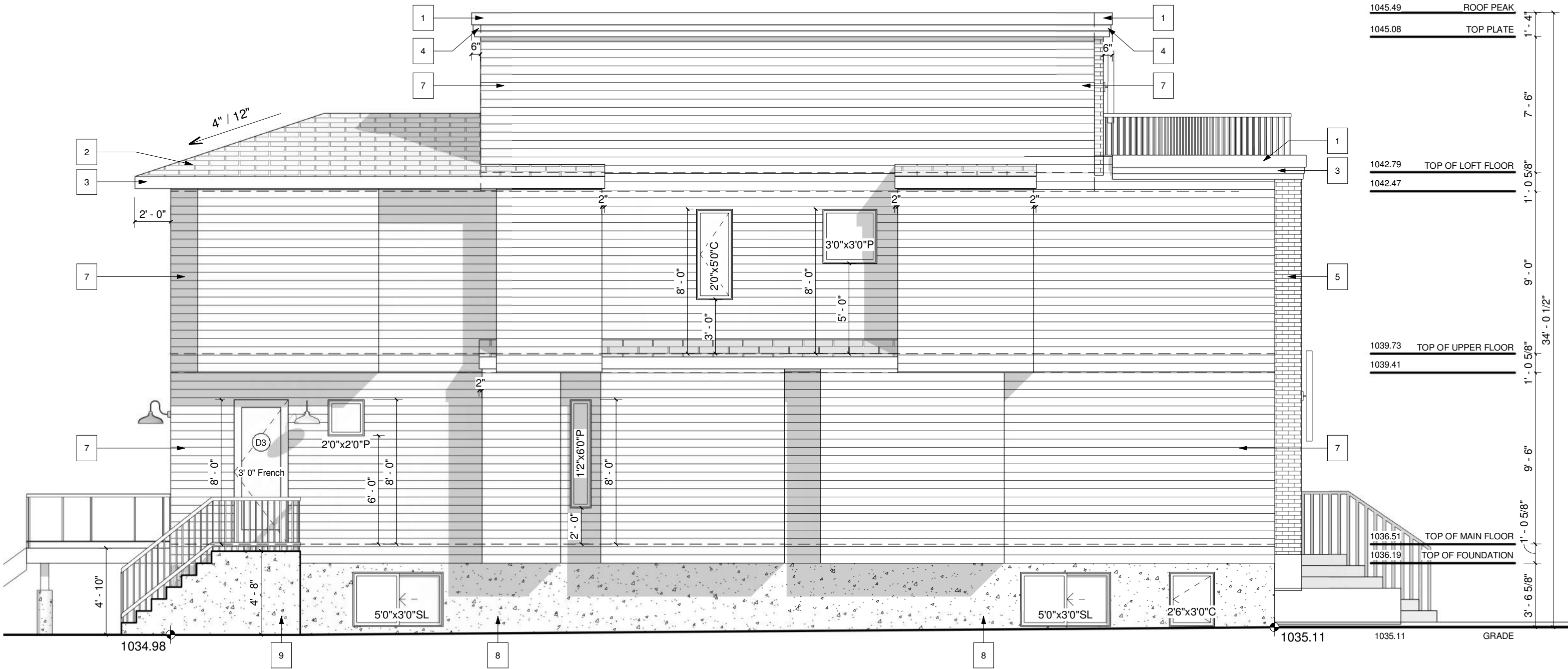
SHEET:
A-2.0

EXTERIOR FINISHES:

1	PARAPET WALL	5	BRICK AS SPEC'D	9	CAST-IN PLACE CONCRETE
2	ASPHALT SHINGLES	6	HARDIE FINISH VERTICAL- DARK GREY		
3	8" ALUMNIMUM FASCIA - BLACK	7	HARDIE FINISH HORIZONTAL- LIGHT GREY		
4	4" ALUMNIMUM FASCIA - BLACK	8	CONCRETE PARGING		

WINDOW CALCULATION
WALL AREA = 1427.95 SQ. FT.
WINDOW AREA = 57.24 SQ. FT.
TOTAL: 57.24 / 1427.95 = 4.01%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/09/2026	DP PLANS	D.J.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

NEW HOME

STATUS:

DP

SIGNATURES:

X

PRINTED: 2026-09-09 9:44:44 AM



PROJECT NAME:

2213 8 Ave SE
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

400 - 26

SCALE:

AS SHOWN

SHEET:

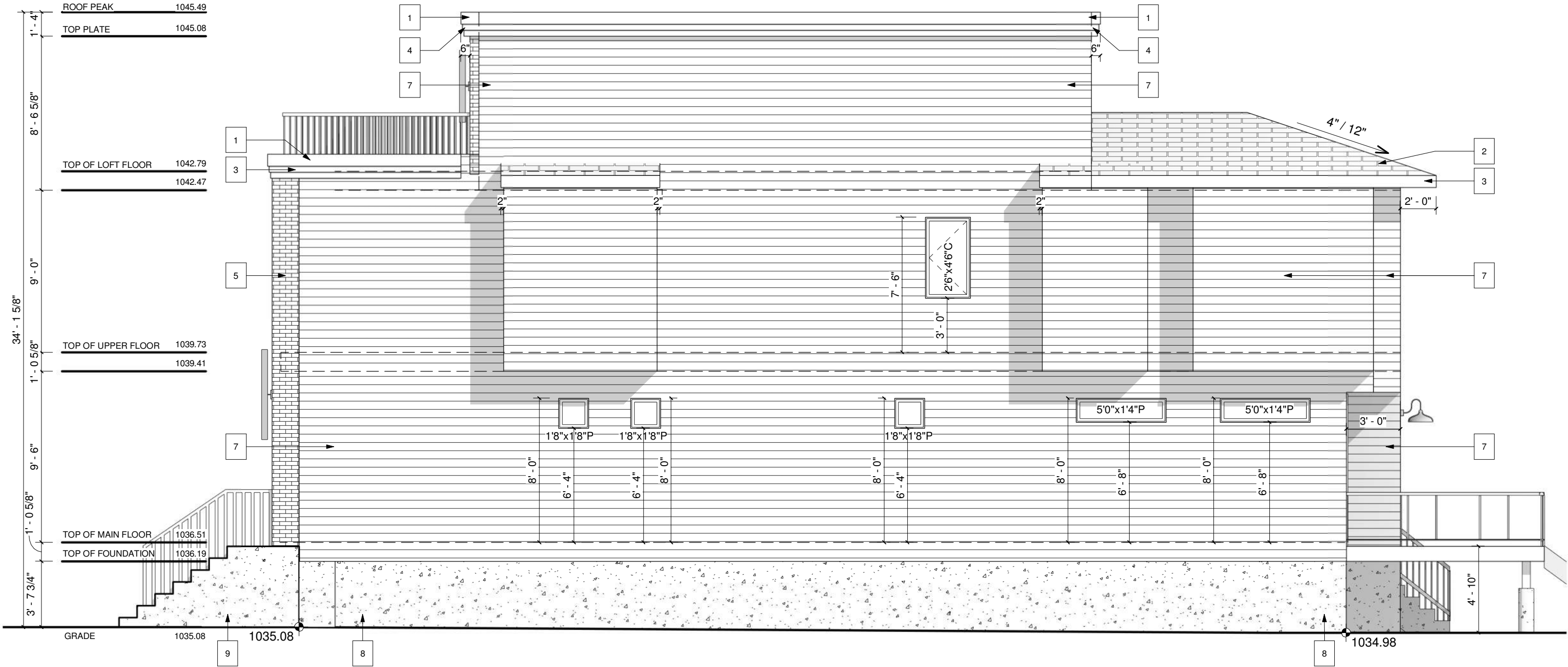
A-2.1

EXTERIOR FINISHES:

1	PARAPET WALL	5	BRICK AS SPEC'D	9	CAST-IN PLACE CONCRETE
2	ASPHALT SHINGLES	6	HARDIE FINISH VERTICAL- DARK GREY		
3	8" ALUMNIMUM FASCIA - BLACK	7	HARDIE FINISH HORIZONTAL- LIGHT GREY		
4	4" ALUMNIMUM FASCIA - BLACK	8	CONCRETE PARGING		

WINDOW CALCULATION
WALL AREA = 1247.14 SQ. FT.
WINDOW AREA = 49.84 SQ. FT.
TOTAL: 49.84 / 1247.14 = 4.00%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT
UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE
OF A REGISTERED PROFESSIONAL.
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING
ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/09/2026	DP PLANS	D.J.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY AND WERE CREATED
FOR USE IN A SPECIFIED PROJECT. NONE OF THE
IDEAS AND/OR DESIGNS MAY BE USED BY, OR
DISCLOSED TO, ANY OTHER PERSON OR
ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA BUILDING
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

NEW HOME

STATUS:

DP

SIGNATURES:

X

PRINTED: 2026-09-09 9:44:46 AM



PROJECT NAME:

2213 8 Ave SE
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

400 - 26

SCALE:

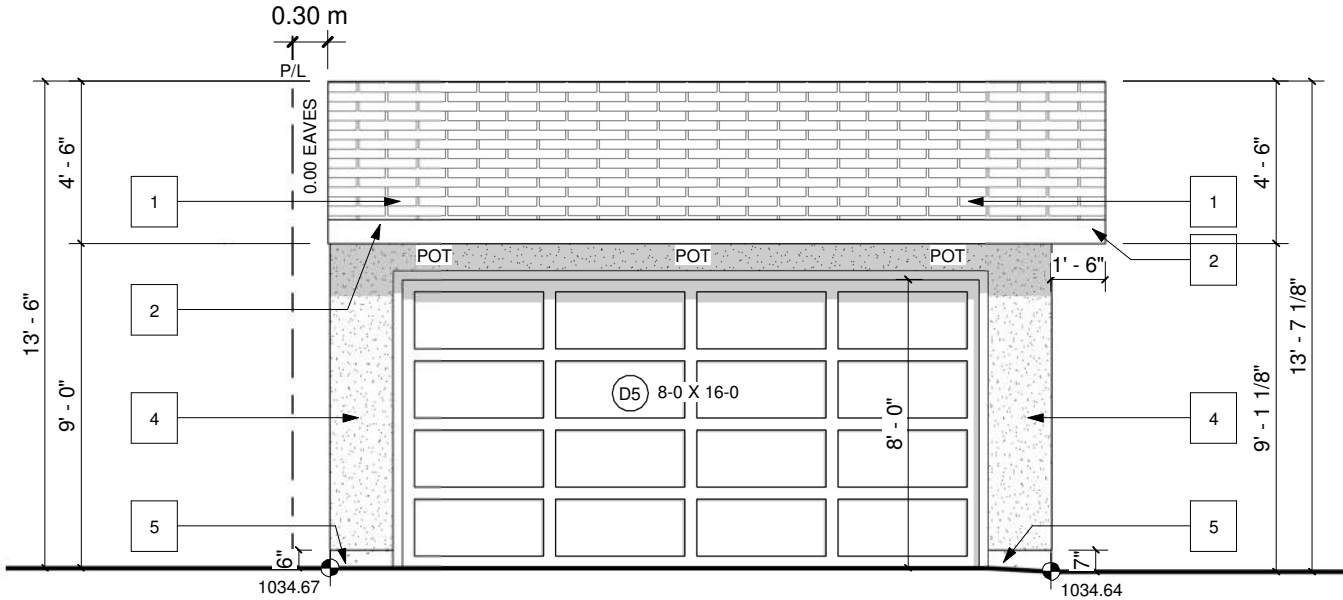
AS SHOWN

SHEET:

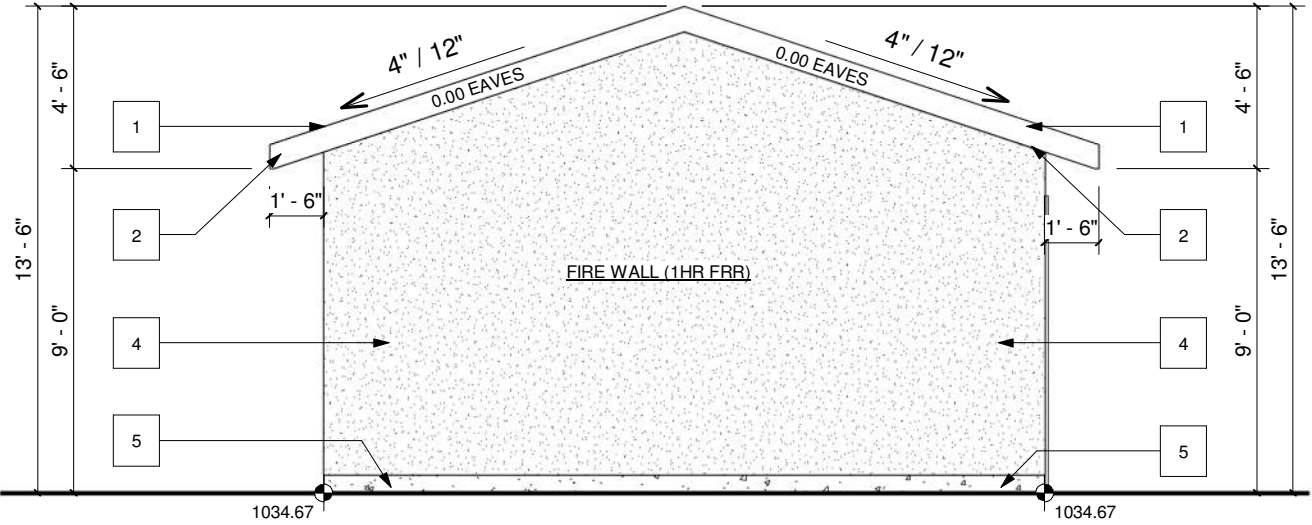
A-2.2

EXTERIOR FINISHES:

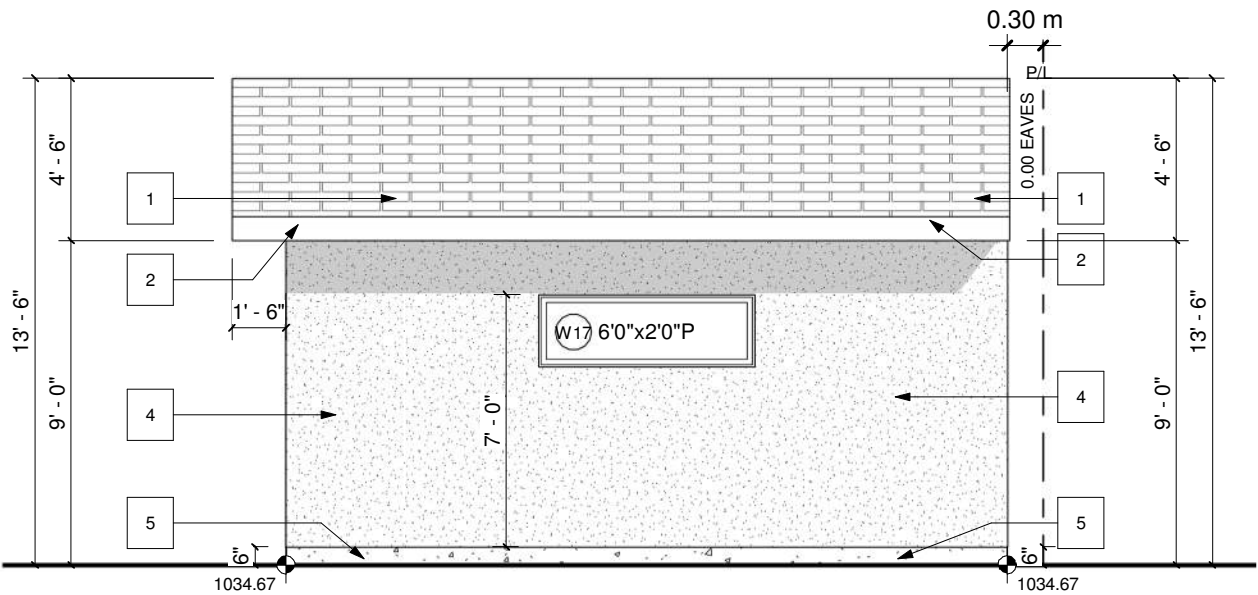
- 1ASPHALT SHINGLES
- 28" ALUMNIMUM FASCIA
- 3ALUMINUM EAVE'S
- 4STUCCO FINISH
- 5CONC. PARGING



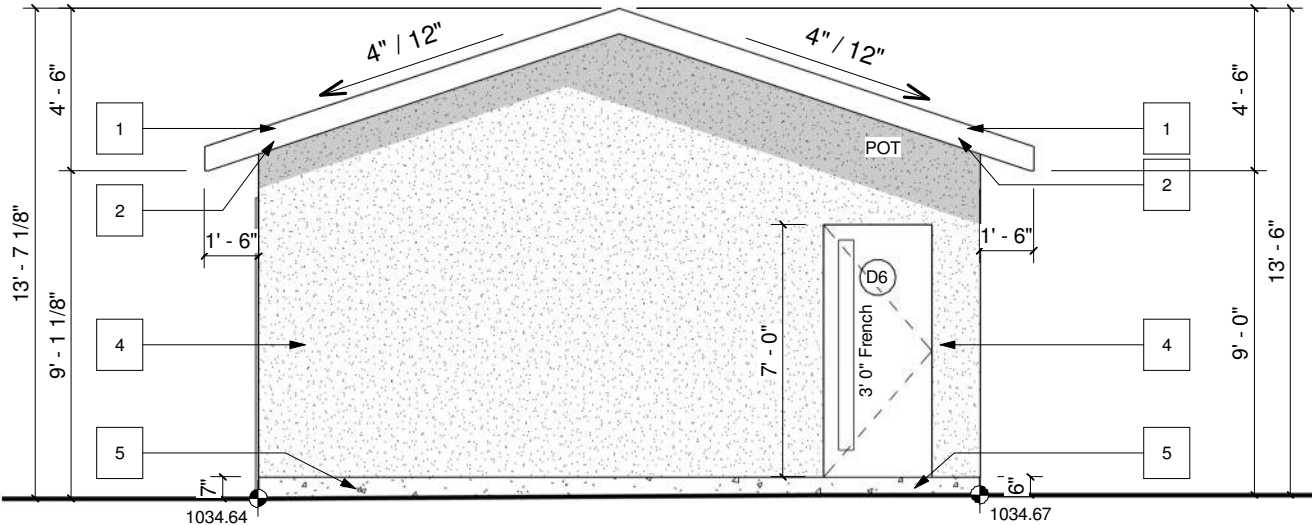
GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

ISSUES:

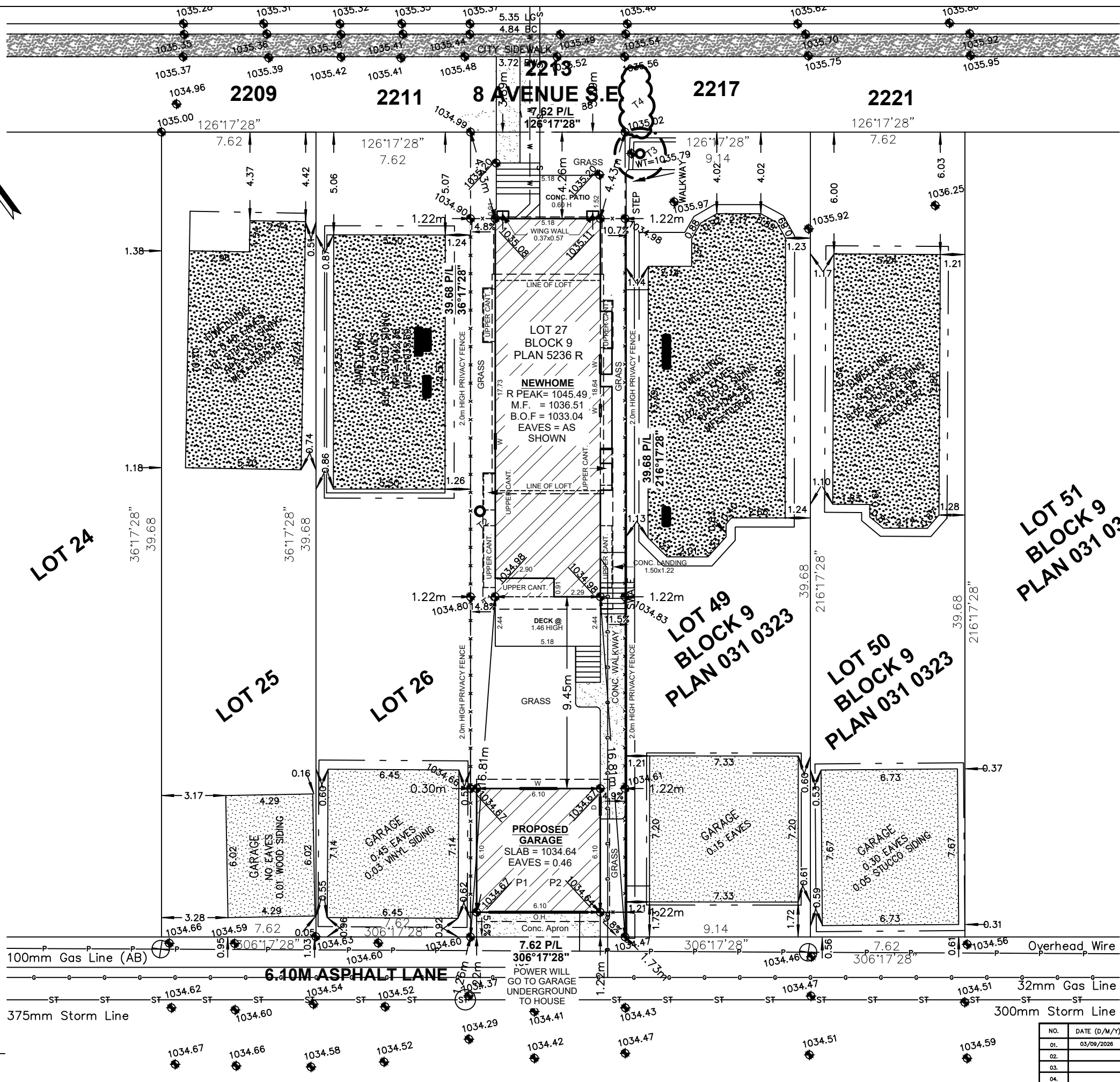
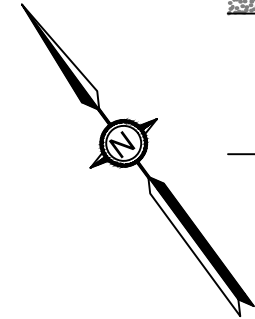
NO.	DATE(D/M/Y)	DETAIL	BY
01.	03/09/2026	DP PLANS	D.J.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:	NEW HOME	
STATUS:	DP	
SIGNATURES:	X _____	
PRINTED:	2026-09-09 9:44:46 AM	
PROJECT NAME:	2213 8 Ave SE CALGARY, ALBERTA	
DESIGNER:	JT	JOB #: 400 - 26
SCALE:	AS SHOWN	SHEET: A-4.1



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: * = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- X--- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T. Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Contextual One/Two Dwelling

SCALE 1:200

LEGAL DESCRIPTION:

Lot 27
Block 9
Plan 5236 R

MUNICIPAL ADDRESS:

2213 8 AVENUE S.E.
Calgary, Albert

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 302.232 SQ M
HOUSE SIZE: 93.956
GARAGE: 37.161 SQ M
COVERED PORCH: 0.00 SQ M
CANT.: 4.297 SQ M
WING WALL: 0.421 SQ M

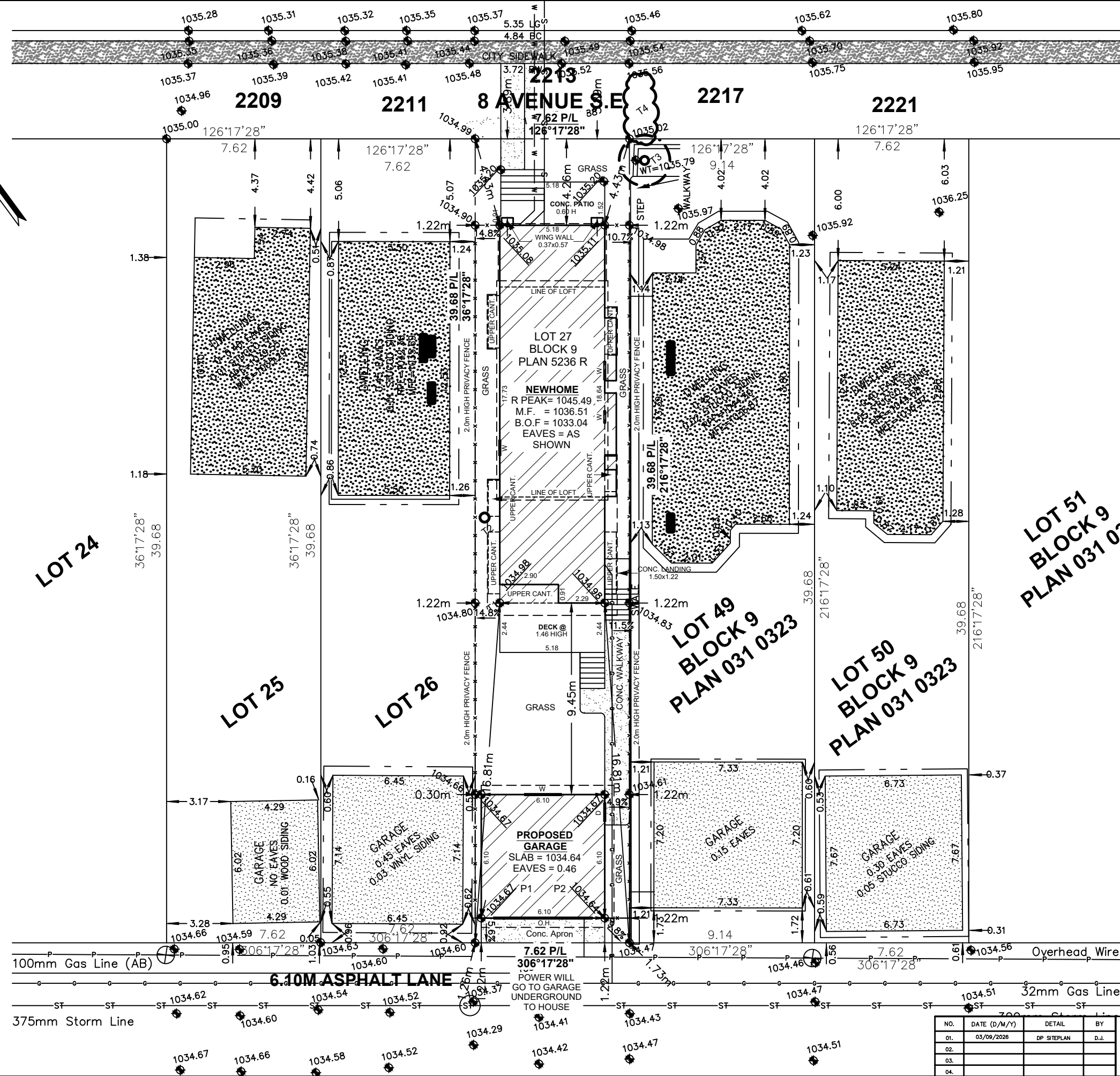
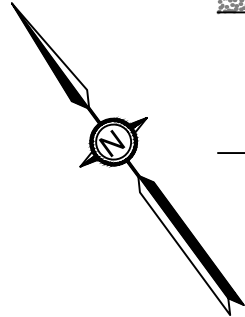
= 135.835/302.232
= 44.94%



SITE PLAN

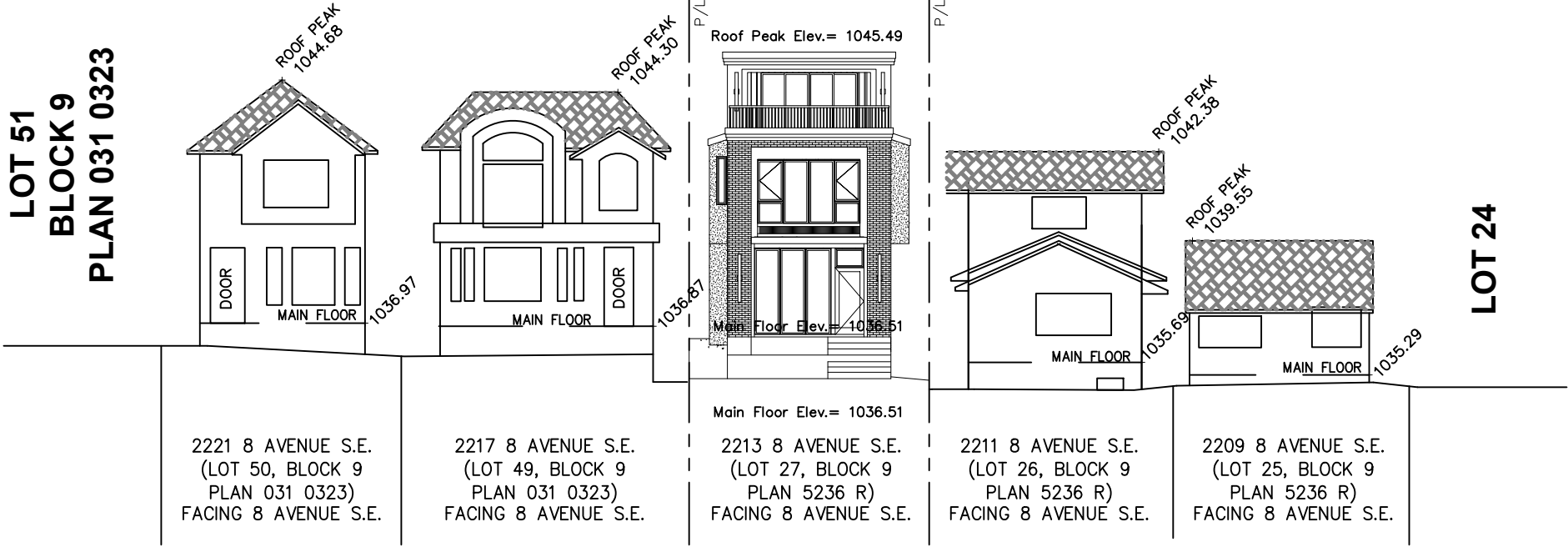
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	03/09/2026	DP SITEPLAN	D.J.	2213 8 AVENUE S.E. Calgary, Alberta	SINGLE DETACHED	1: 200
02.				Lot 27 Block 9 Plan 5236 R	DATE:	DIVISION NUMBER
03.					SEP. 03, 2026	S 01
04.						



BLOCK PLAN
SCALE: 1: 250

PROJECT NAME AND ADDRESS:				PROJECT:		SCALE:	
2213 8 AVENUE S.E. Calgary, Alberta				SINGLE DETACHED		1: 250	
Lot 27 Block 9 Plan 5236 R				DATE:		DIVISION NUMBER	
				SEP. 03, 2026		S 02	
NO.	DATE (D/M/Y)	DETAIL	BY				
01.	03/09/2026	DP SITEPLAN	D.J.				
02.							
03.							
04.							



NORTH EAST STREETSCAPE

STREETSCAPE
SCALE: 1: 200

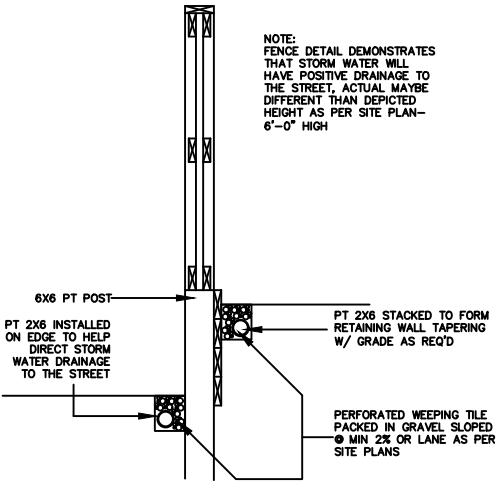
SINGLE DETACHED SQFT.

	UNIT #1
GARAGE	400.00 SQ FT
BASEMENT	1000.33 SQ FT
MAIN FLOOR	1057.58 SQ FT
UPPER FLOOR	1129.21 SQ FT
LOFT FLOOR	578.00 SQ FT
TOTAL AREA	2764.79 SQ FT

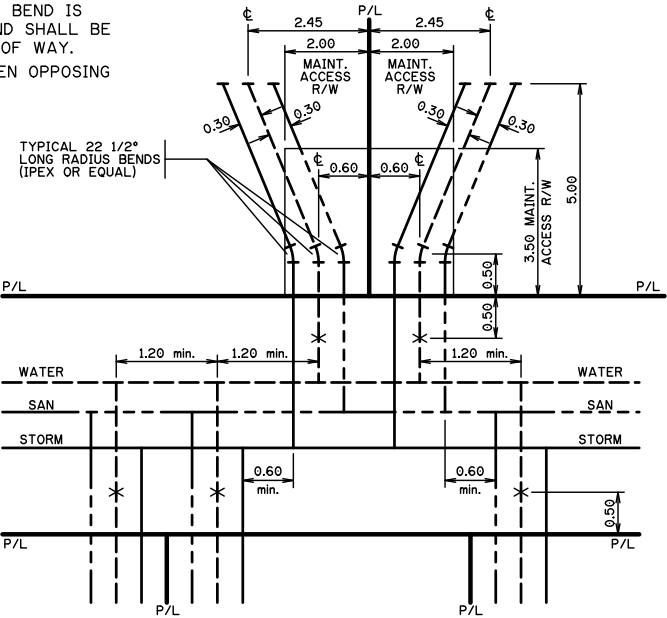
- NOTES:
1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
 2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
 3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
 4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
 5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
 6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
 7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
 8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

TREE SCHEDULE:

Tree No.	Variety	Trunk (Ø±)	Canopy (Ø±)	Height (±)	Location	Disposition
T1	Bush	—	5.00	3.00	In Subject Property	To Be Removed
T2	Deciduous	0.45	8.00	12.00	In Subject Property	To Be Removed
T3	Deciduous	0.40	2.50	10.00	In Adjacent Property	To Stay
T4	Bush	—	1.50	0.50	In City Property	To Stay



FENCE SECTION DETAIL
SCALE: NTS



TRENCH DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	03/09/2026	DP SITEPLAN	D.J.	2213 8 AVENUE S.E. Calgary, Alberta	SINGLE DETACHED	AS SHOWN
02.				Lot 27 Block 9 Plan 5236 R	DATE:	DIVISION NUMBER
03.					SEP. 03, 2026	S 03
04.						