

4_PLEX
6403 35TH AVENUE N.W.,
CALGARY, ALBERTA.
LOT 11 ,BLOCK 28 ,PLAN 4610AJ



DEVELOPMENT PERMIT SET

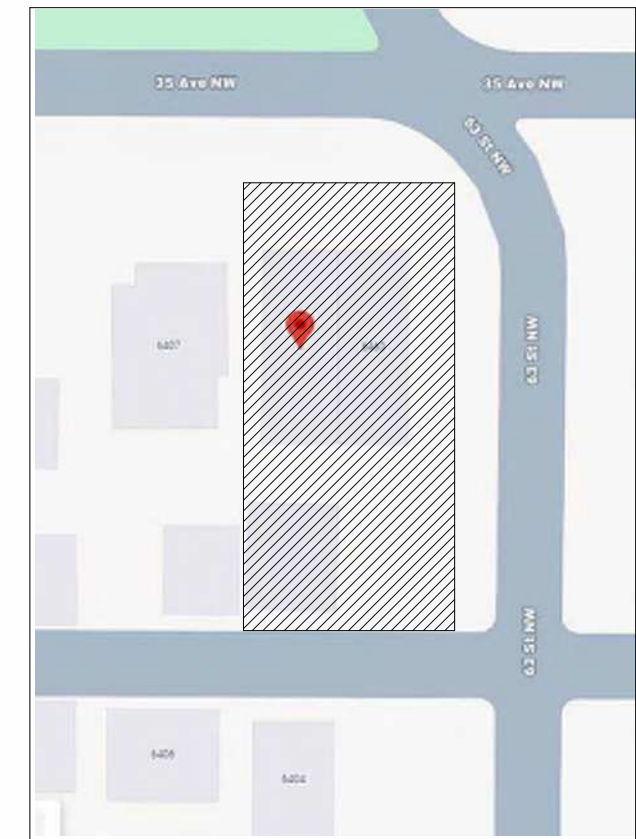
ISSUE DATE : 2026-08-18

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| A-002 EXISTING & PROPOSED SITE PLAN | A-105 AREA PLANS |
| A-003 PROPOSED SITE PLAN | A-201 PROPOSED FRONT & REAR ELEVATIONS |
| A-004 PROPOSED GRADES | A-202 PROPOSED RIGHT & LEFT ELEVATIONS |
| A-005 STREETSCAPE | A-301 BUILDING SECTIONS |
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| A-102 PROPOSED MAIN FLOOR PLAN | |

UNIT 1				UNIT 2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	640.00	59.46		MAIN FLOOR	640.00	59.46
	UPPER FLOOR	640.00	59.46		UPPER FLOOR	640.00	59.46
	TOTAL	1280.00	118.92		TOTAL	1280.00	118.92
	LEGAL FLOOR	471.00	43.76		LEGAL FLOOR	504.00	46.82
	GRAND TOTAL	1751.00	162.67		GRAND TOTAL	1784.00	165.74
UNIT 3				UNIT 4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.	AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	641.00	59.55		MAIN FLOOR	635.00	58.99
	UPPER FLOOR	641.00	59.55		UPPER FLOOR	635.00	58.99
	TOTAL	1282.00	119.10		TOTAL	1270.00	117.99
	LEGAL FLOOR	505.00	46.92		LEGAL FLOOR	475.00	44.13
	GRAND TOTAL	1787.00	166.02		GRAND TOTAL	1745.00	162.12

KEY PLAN :



KEY PLAN : 26-1073



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Calgary, AB.
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info@tricordesigns.com
www.tricordesigns.com

SITE - PLAN

SURVEY INFORMATION :-

MUNICIPAL ADDRESS:-

6403 35TH AVENUE N.W. , CALGARY, ALBERTA

ZONING : R-C2 (REZONING TO R-CG)

LEGAL ADDRESS:-

LOT 11, BLOCK 28, PLAN 4610AJ

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in meters and decimals thereof.

COVERAGE CALCULATION:
LOT AREA = 566.07 m²
MAXIMUM COVERAGE (55%) = 311.34 m²
PROPOSED BUILDING COVERAGE = 237.93 m²
PROPOSED GARAGE COVERAGE = 71.19 m²
TOTAL PROPOSED COVERAGE = 309.12 m² = 54.61%

PROJECT SETBACK REQUIREMENTS:

1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 6m INTO THE FRONT SETBACK AREA)
2. MINIMUM 1.2 m REAR SETBACK
3. MINIMUM 0.60 m SIDE SETBACK WITH A STREET
4. 3.00 m SIDE SETBACK

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

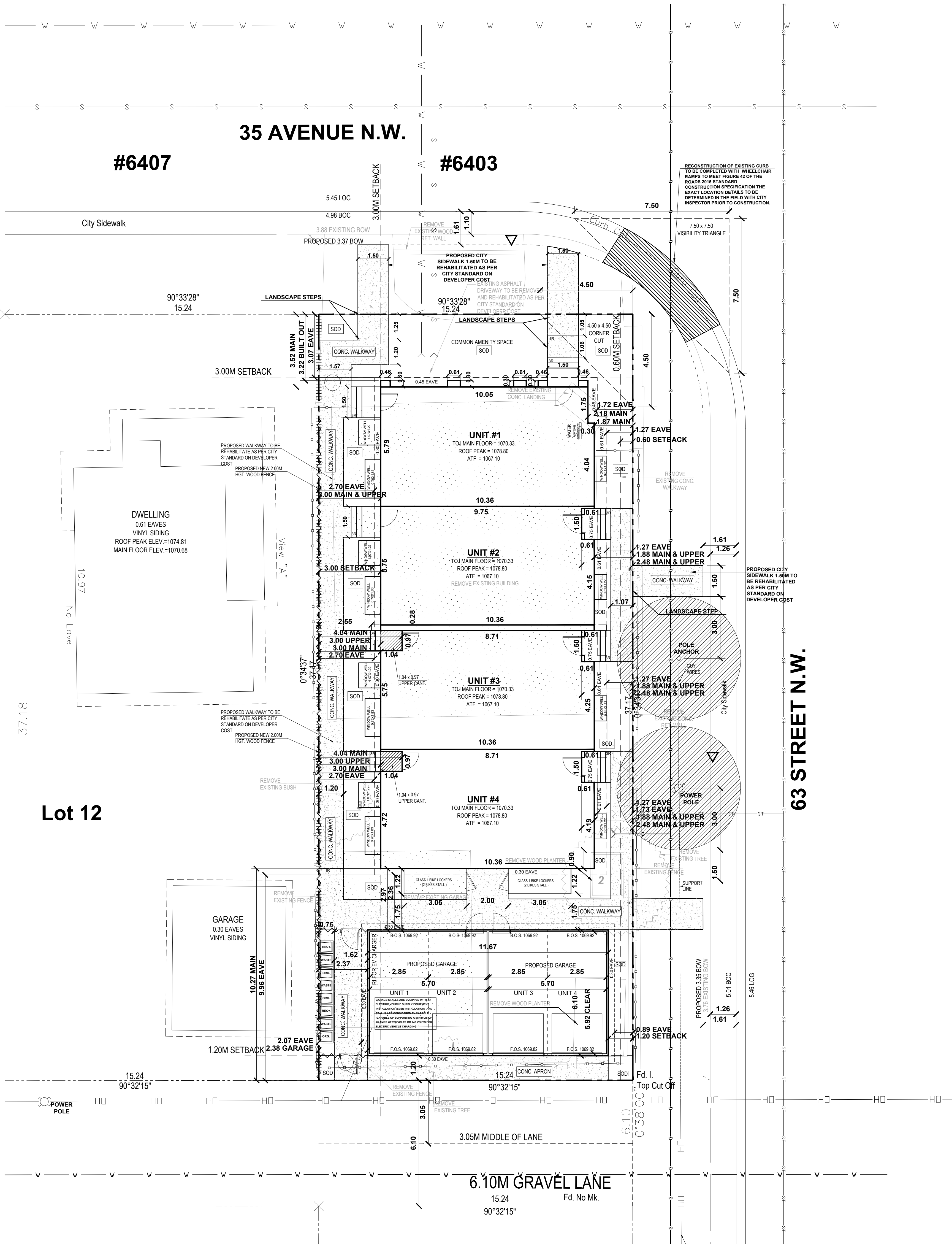
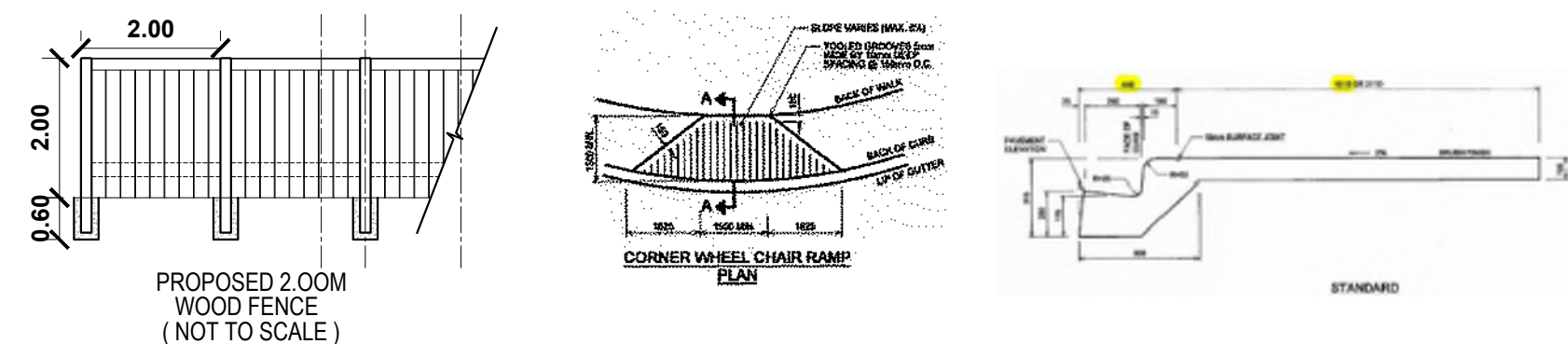
LEGEND		LEGEND		LEGEND	
	NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

NOTES:

- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.
- FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
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- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- A MINIMUM DEPTH OF 300MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.

ROADS NOTE:

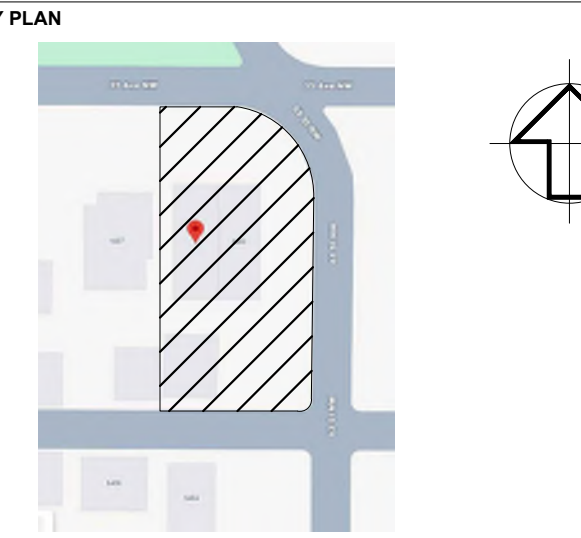
- CONSTRUCTION OF NEW 1.5M WIDE MONO SIDEWALKS ADJACENT TO 35 AVENUE N.W. AND 63 STREET NW, NEW WHEELCHAIR RAMPS, NEW CURB AND GUTTER TO CITY STANDARDS.



TRICOR DESIGN GROUP

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ISSUES:

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01	2026-08-18	DEVELOPMENT PERMIT SET	E.R. / T.J. E.Z.

THE CLIENT : **PRIVATE CLIENT**

PROJECT : **4-PLEX BUILDING**

ADDRESS: **6403 - 35TH AVENUE N.W.
CALGARY, ALBERTA
LOT 11, BLOCK 28, PLAN 4610AJ**

DRAWING SET : **DEVELOPMENT PERMIT SET**

DRAWING TITLE : **EXISTING AND PROPOSED
SITE PLAN**

DRAWING NO. **A-002**

PROJECT NO. : 26-1073	CHECKED BY: E.Z.	DATE: 2026-08-18
	DRAWN BY: E.R. / M.A. / T.J.	SCALE: 1:100

SITE - PLAN

SURVEY INFORMATION :-

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ZONING : R-C2 (REZONING TO R-CG)

LEGAL ADDRESS:-

LOT 11, BLOCK 28, PLAN 4610AJ

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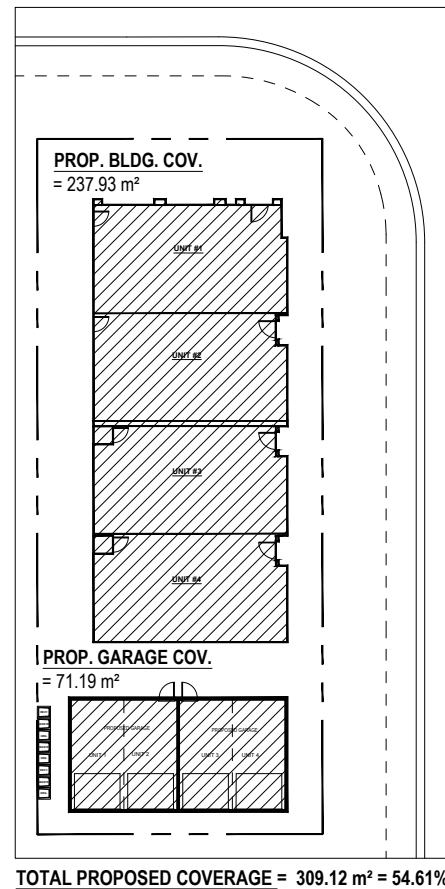
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KEY PLAN



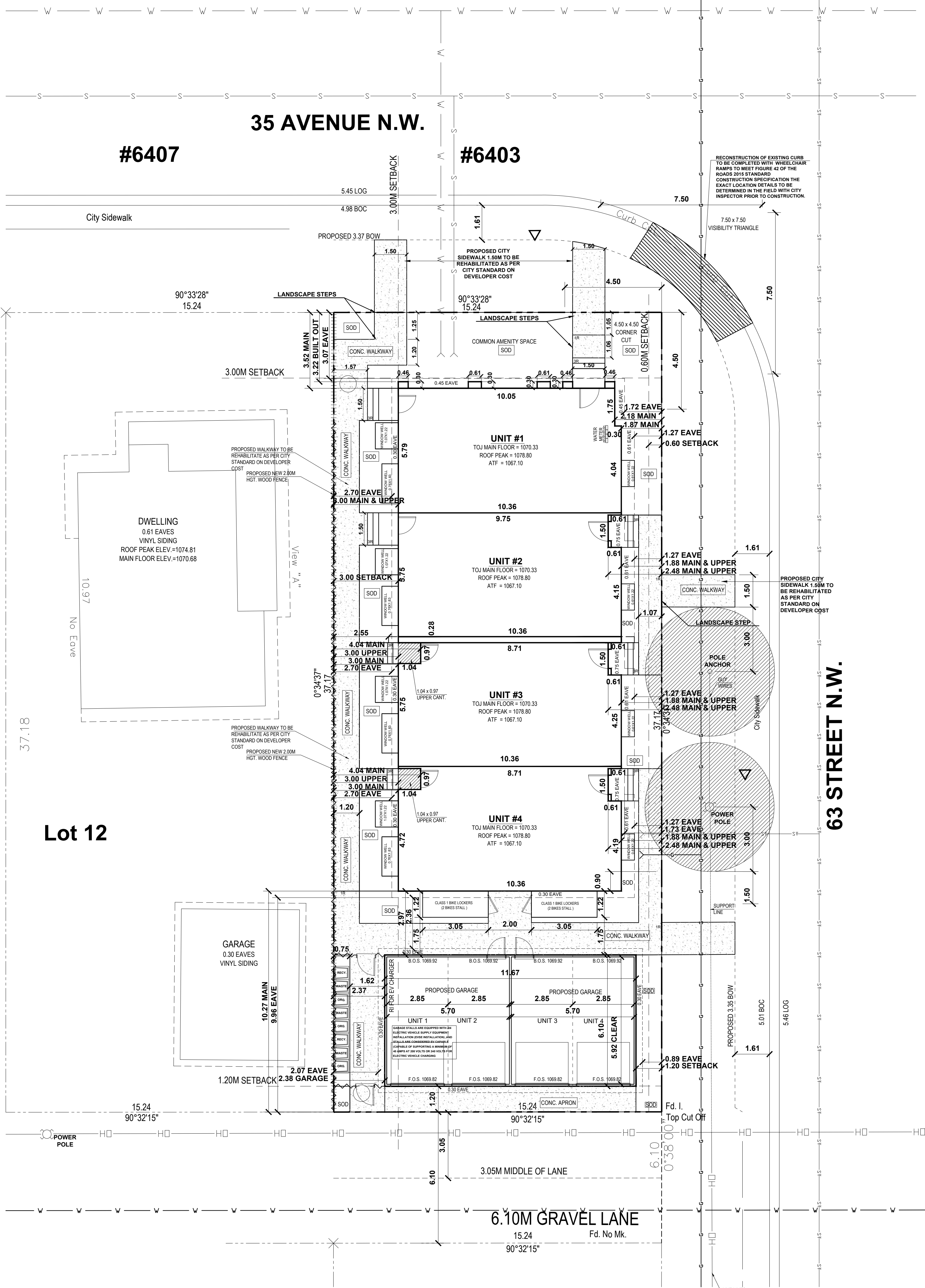
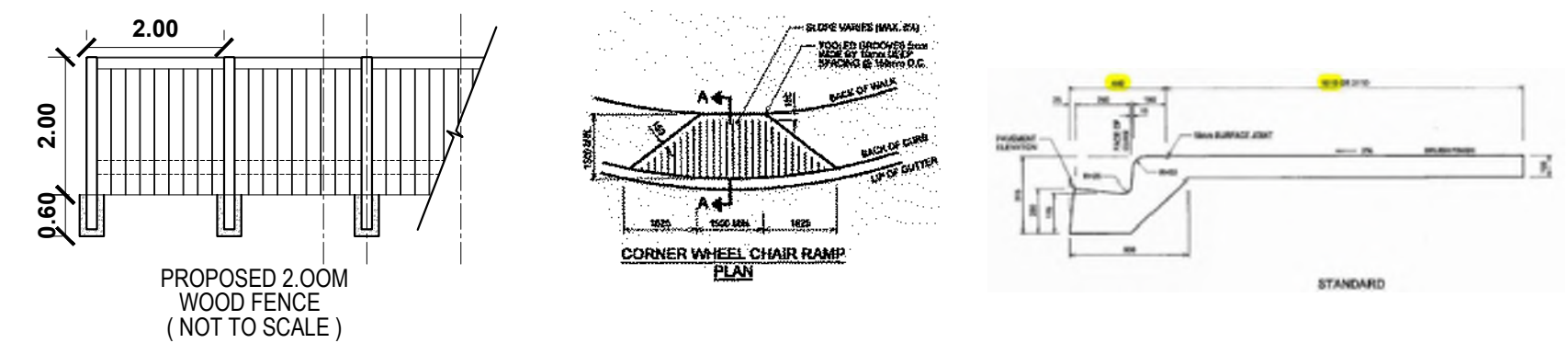
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DESIGNED BY:



KEY PLAN



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ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY/CHKD BY
01	2026-08-18	DEVELOPMENT PERMIT SET	E.R. / T.J. E.Z.

THE CLIENT:

PRIVATE CLIENT

PROJECT:

4-PLEX BUILDING

ADDRESS:

6403 - 35TH AVENUE N.W.
CALGARY, ALBERTA
LOT 11 ,BLOCK 28 ,PLAN 4610AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED SITE PLAN

DRAWING NO.

A-003

PROJECT NO.:

26-1073

CHECKED BY:

E.Z.

DATE:

2026-08-18

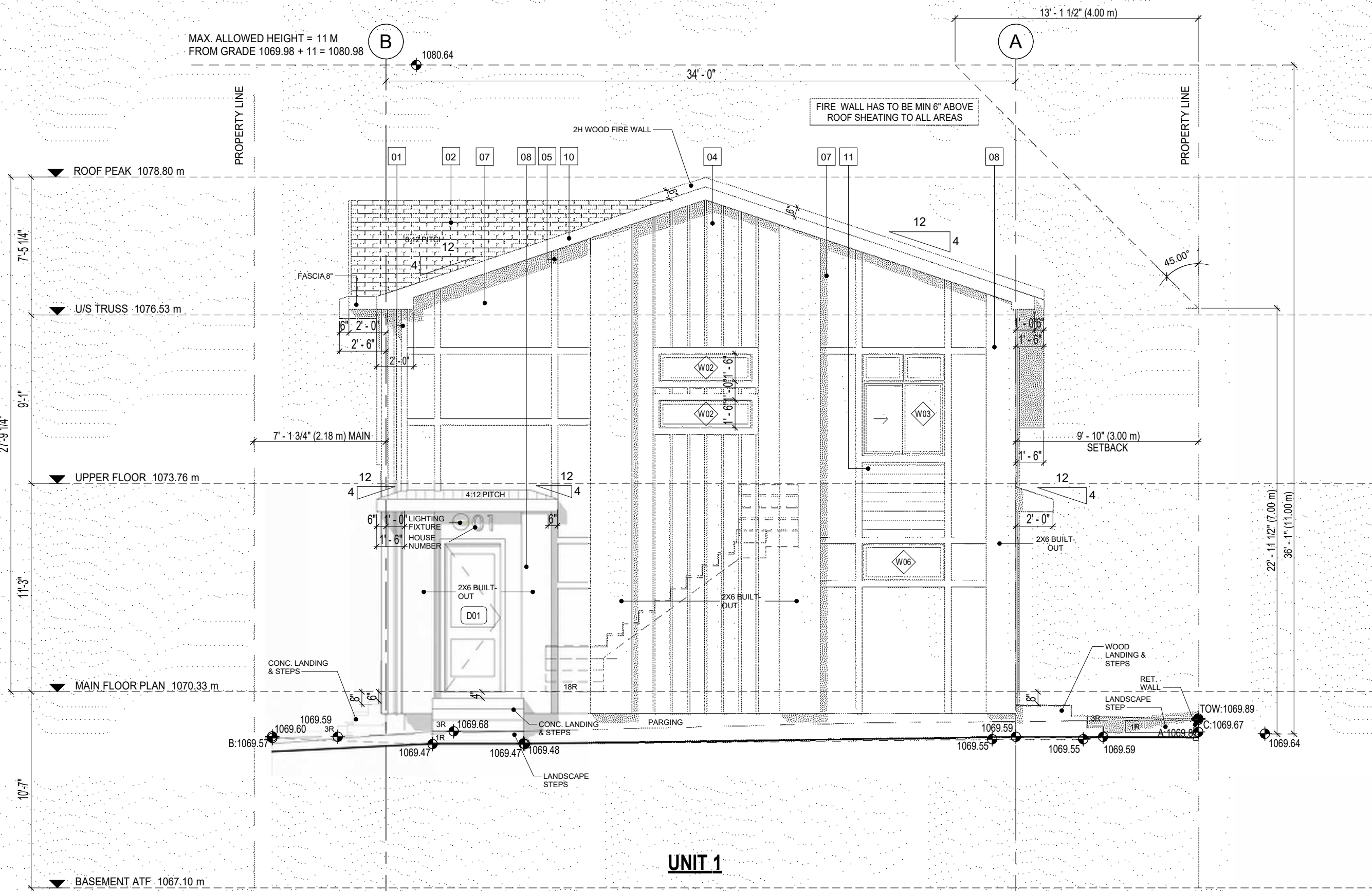
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E.R. / M.A. / T.J.

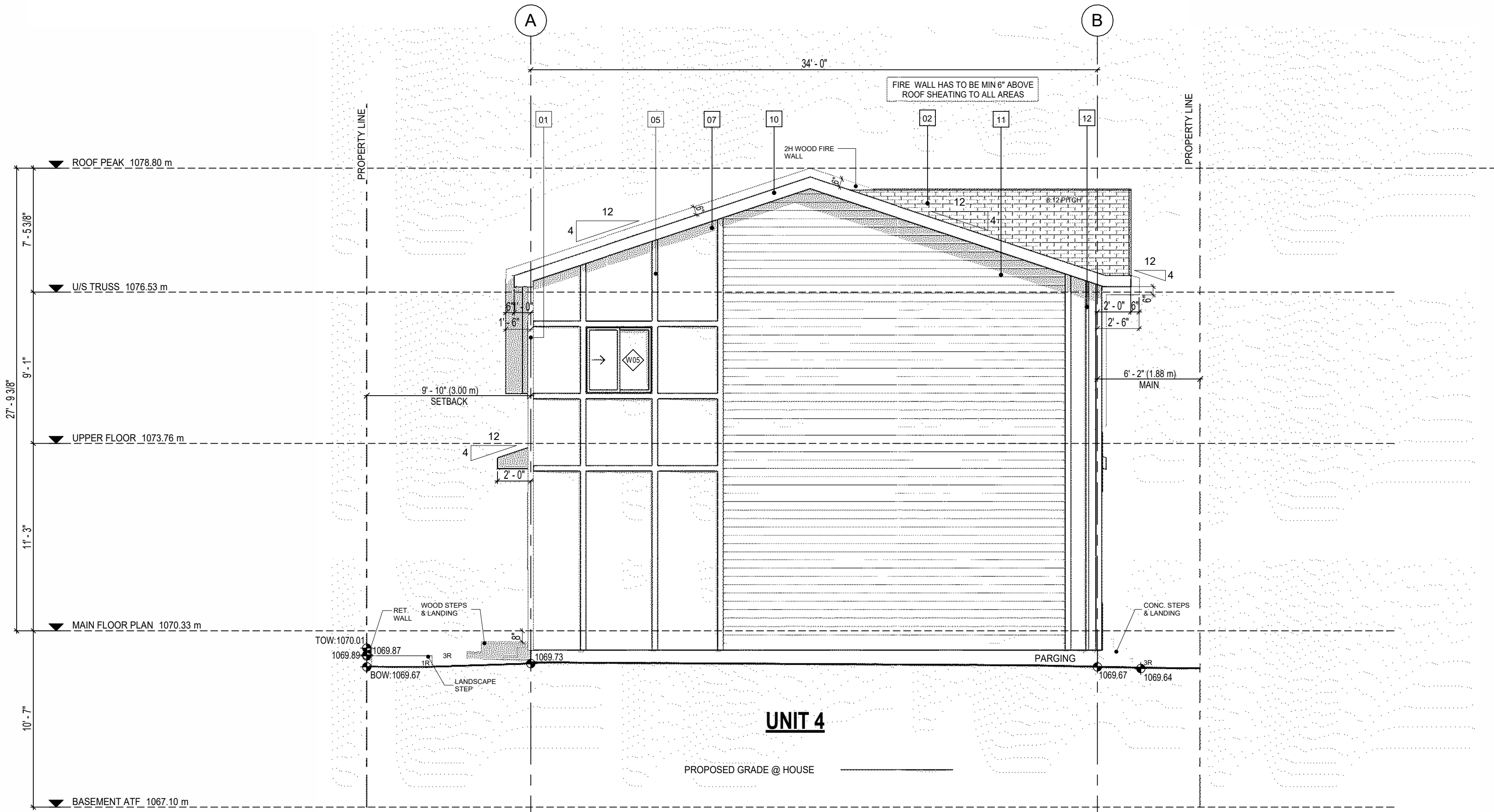
SCALE:

1:100

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	CORNER BOARD 4"
02	ASPHALT SHINGLES
03	STUCCO CLADDING
04	BOARD AND BATTEN
05	4" TRIM
06	HORIZONTAL SIDING - HARDIE WHITE
07	SMART BOARD
08	SMART BOARD GRAY
09	METAL ROOF
10	8" PRE-FINISHED METAL FASCIA
11	HORIZONTAL SIDING GRAY - HARDIE
12	1.5" BATTEN



1 PROPOSED FRONT (NORTH) ELEVATION
3/16" = 1'-0"



2 PROPOSED REAR (SOUTH) ELEVATION
3/16" = 1'-0"

UNPROTECTED OPENINGS		
CODE CHECK	781.61 SQ. FT.	70.75 SQ M²
EXPOSED BUILDING FACE	4'-0"	1.22 M
MINIMUM SETBACK	7.07%	
PERCENTAGE OF ALLOWED OPENINGS	53.84 SQ. FT.	5.00 SQ M²
SQ. FTG. OF ALLOWED OPENINGS	18.00 SQ. FT.	1.48 SQ M²
ACTUAL SQ. FTG. OF OPENINGS	28.92 SQ. FT.	2.50 SQ M²
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)		

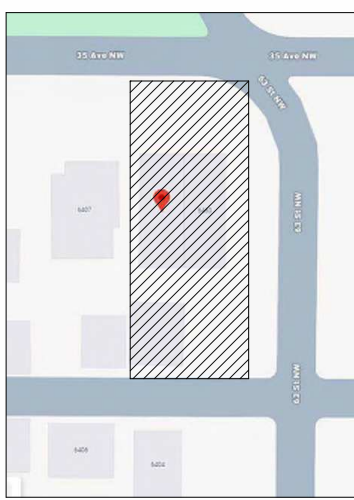
DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.

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CALGARY, AB
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KEY PLAN



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THE CLIENT :

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PROJECT :

4_PLEX

ADDRESS:

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CALGARY, ALBERTA.
LOT 11, BLOCK 28, PLAN 4610AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-201

PROJECT NO. :

26-1073

CHECKED BY:

E.Z.

DATE:

2026-08-18

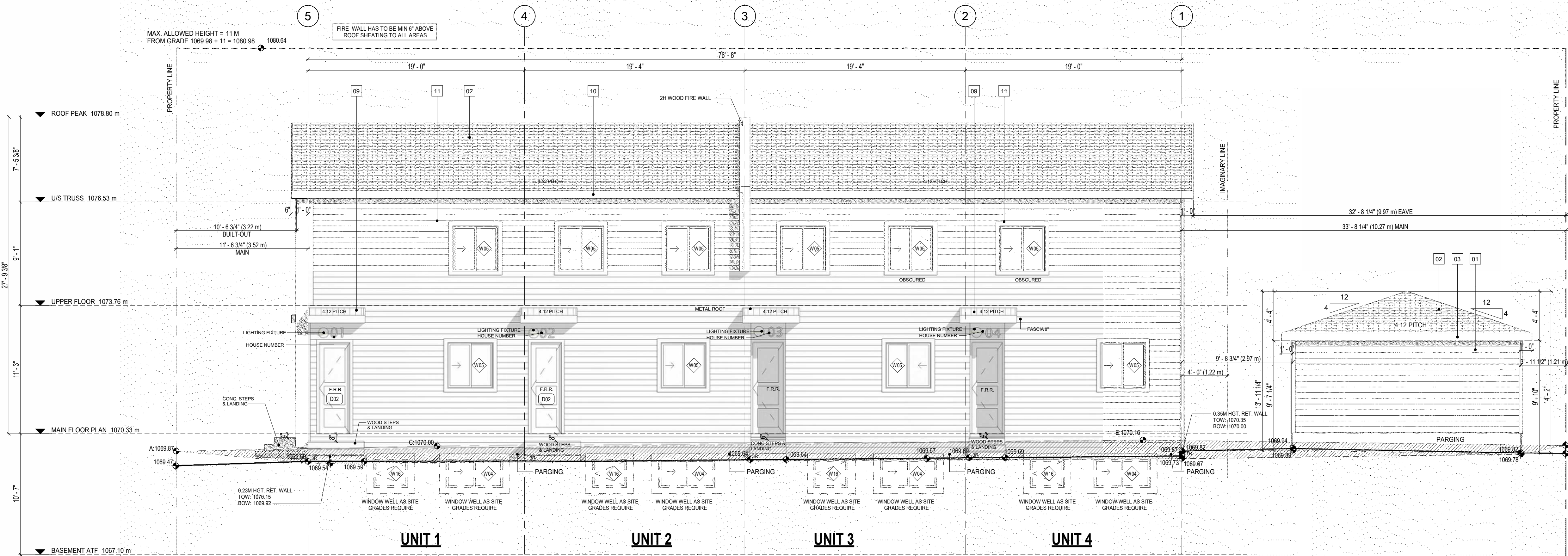
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SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	CORNER BOARD 4"
02	ASPHALT SHINGLES
03	STUCCO CLADDING
04	BOARD AND BATTEN
05	4" TRIM
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07	SMART BOARD
08	SMART BOARD GRAY
09	METAL ROOF
10	8" PRE-FINISHED METAL FASCIA
11	HORIZONTAL SIDING GRAY - HARDIE
12	1.5" BATTEN



UNPROTECTED OPENINGS	
CODE CHECK	
EXPOSED BUILDING FACE	1732.89 SQ. FT.
MINIMUM SETBACK	9' 10"
PERCENTAGE OF ALLOWED OPENINGS	10.00%
SQ. FTG. OF ALLOWED OPENINGS	173.27 SQ. FT.
ACTUAL SQ. FTG. OF OPENINGS	160.00 SQ. FT.
MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	86.63 SQ. FT.

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE

1 PROPOSED RIGHT (EAST) ELEVATION
3/16" = 1'-0"



2 PROPOSED LEFT (WEST) ELEVATION
3/16" = 1'-0"

PROPOSED GRADE @ HOUSE
EXISTING GRADE @ PROPERTY LINE
PROPOSED GRADE @ PROPERTY LINE

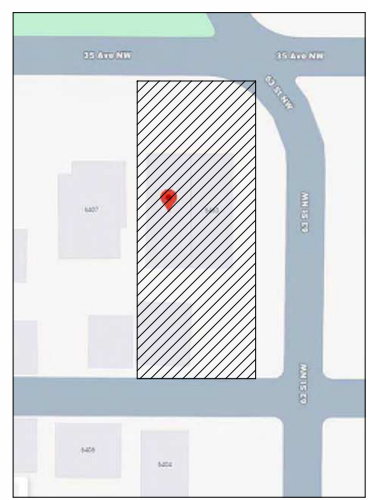
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NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-08-18	DEVELOPMENT PERMIT SET	E.R. / M.A. / T.J.	E.Z.
02				
03				
04				
05				

THE CLIENT:

PRIVATE CLIENT

PROJECT:

4_PLEX

ADDRESS:

6403 35TH AVENUE N.W.,
CALGARY, ALBERTA.
LOT 11, BLOCK 28, PLAN 4610AJ

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

PROJECT NO.:

26-1073

CHECKED BY:

E.Z.

DATE:

2026-08-18

DRAWN BY:

E.R. / M.A. / T.J.

SCALE:

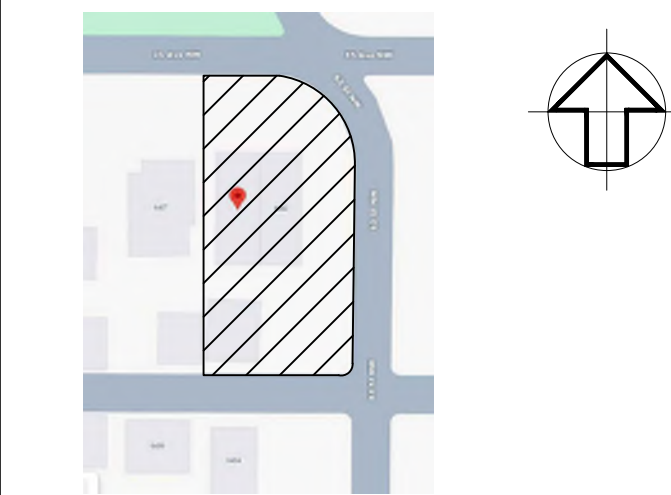
3/16" = 1'-0"

DESIGNED BY:



#202 - 4216 10 STREET NE.
CALGARY AB,
T2E 6K3
P: 403.203.1970 FAX: 403.203.1990
info@tricordg.ca
www.tricordesigns.com

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

AUTHORITIES HAVING JURISDICTION.

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REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01				
02				
03				
04				
05				

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-08-18	DEVELOPMENT PERMIT SET	E.R. / T.I.	E.Z.

THE CLIENT :

PRIVATE CLIENT

PROJECT :

4-PLEX BUILDING

ADDRESS:

**6403 - 35TH AVENUE N.W.
CALGARY, ALBERTA
LOT 11, BLOCK 28, PLAN 4610AJ**

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

ACCESSORIES BUILDING GARAGE

DRAWING NO.

A-501

PROJECT NO. :

26-1073

CHECKED BY:

E.Z.

DATE:

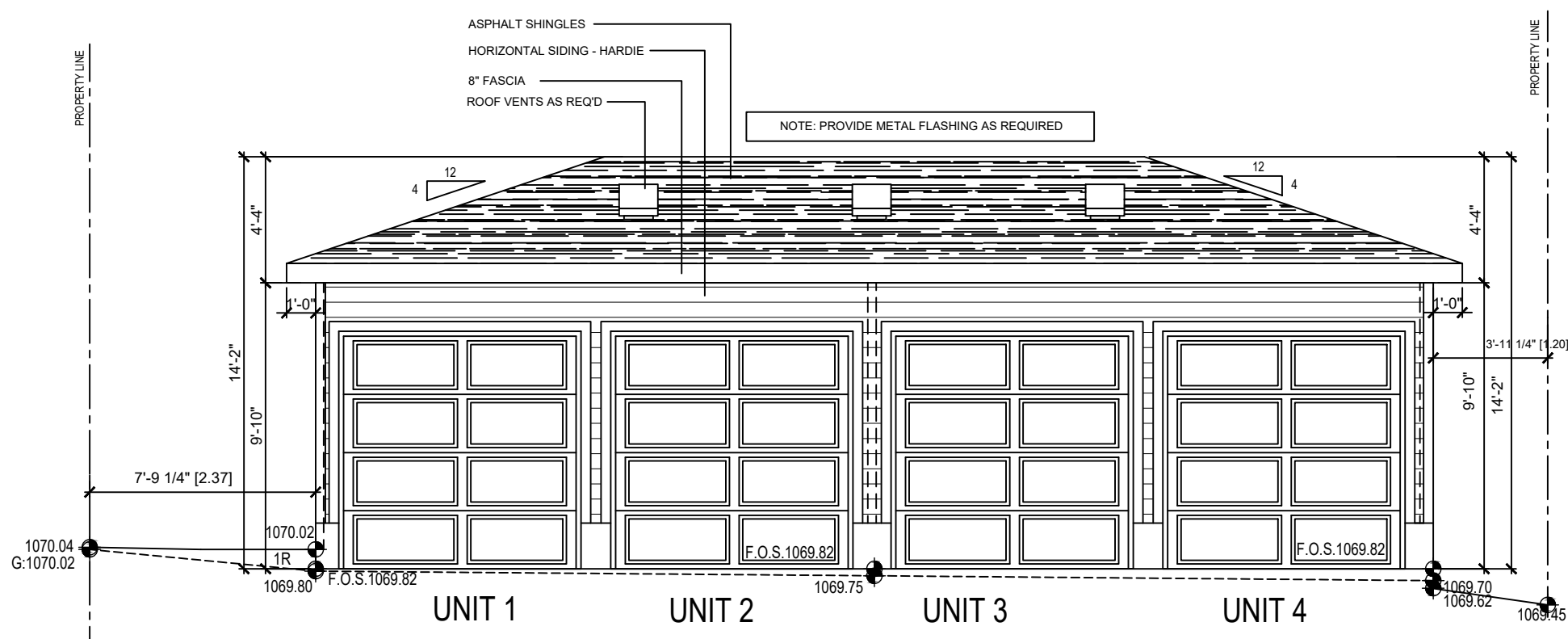
2026-08-18

DRAWN BY:

E.R. / M.A. / T.I.

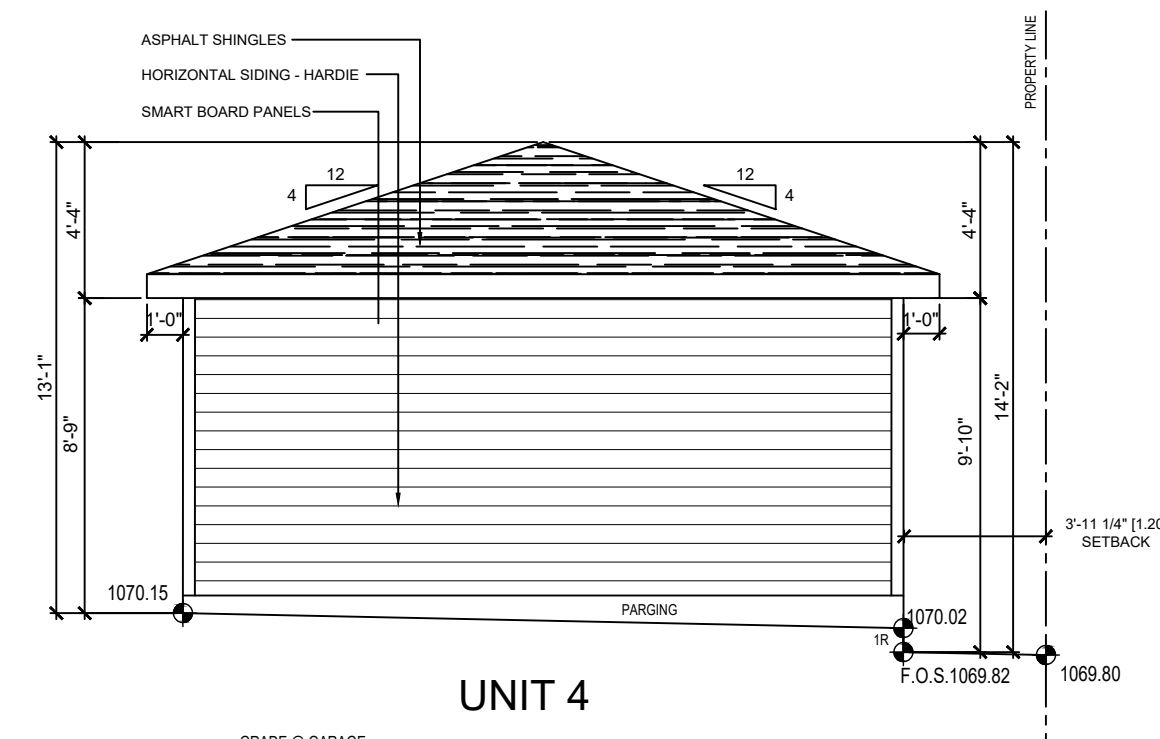
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3/16" = 1'-0"



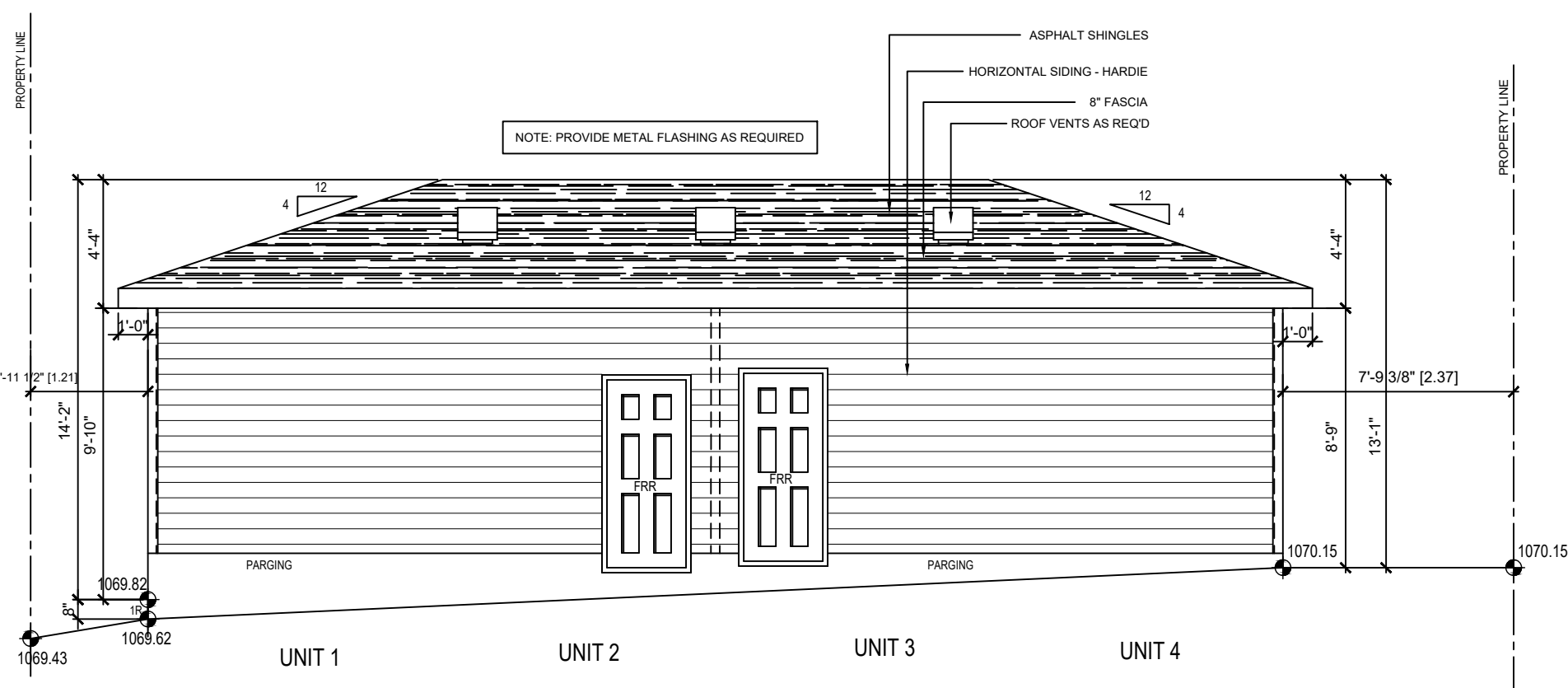
FRONT (SOUTH) ELEVATION

SCALE: 3/16"=1'-0"



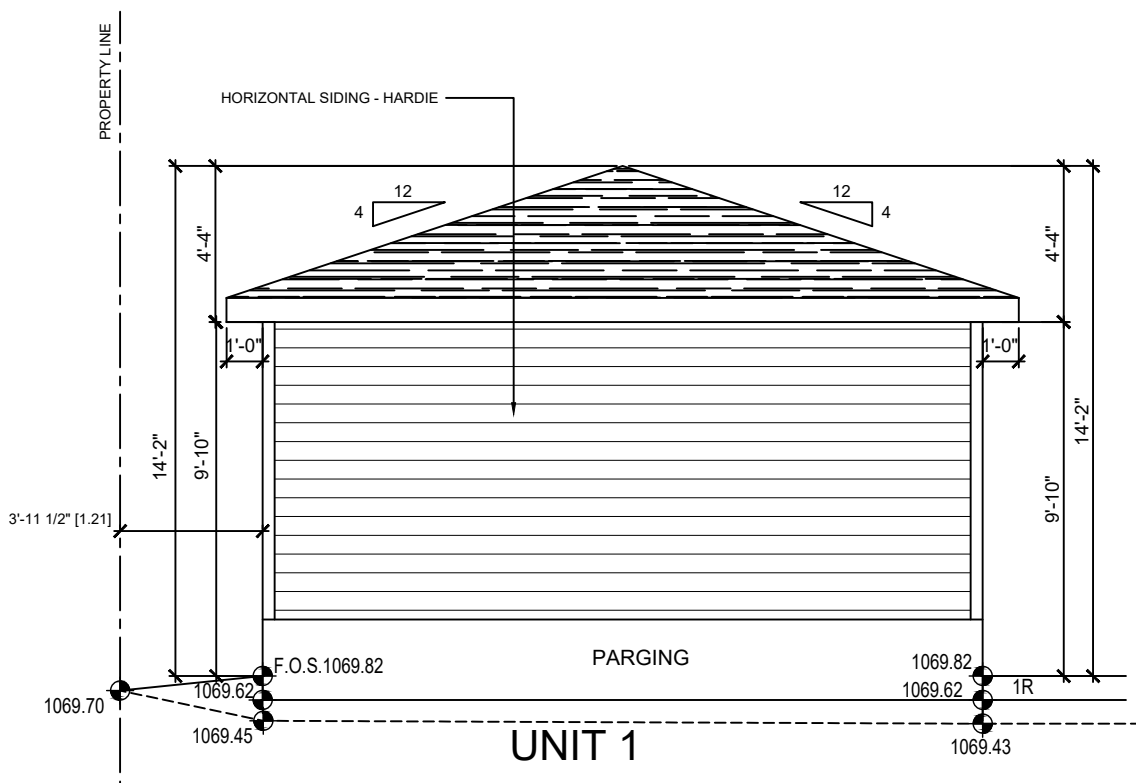
LEFT (WEST) ELEVATION

SCALE: 3/16"=1'-0"



REAR (NORTH) ELEVATION

SCALE: 3/16"=1'-0"



RIGHT (EAST) ELEVATION

SCALE: 3/16"=1'-0"

NOTE:

GARAGE TO BE BUILT AS PER VARIANCE (SPV-003)

GR-1

ROOF AND CEILINGS AS PER SPV003

- ASPHALT SHINGLE ROOFING AS SPEC'D
- BUILDING PAPER
- 1 LAYER 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT (EXTERIOR SHEATHING)
- APPROVED WOOD TRUSSES @ 24" O/C (EAVE PROTECTION TO EXTEND MIN. 3'-0" UP ROOF SURFACE TO A LINE NOT LESS THAN 12" BEYOND INNER FACE OF EXTERIOR WALL)(2X4 TRUSS BRACING TO OCCUR @ 7'-0" O.C. AT BOTTOM CHORD)
- ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES
- MIN R55 LOOSE FILL OR CELLULOSE INSUL.
- VAPOUR BARRIER (6 MIL POLY)
- 5/8" TYPE 'X' DRYWALL

GF-4

GARAGE SLAB

4" DURACRETE CONC. SLAB
5" COMP. GRAVEL (SLOPE 4")
(EXCAVATE UNDER FOOTINGS ONLY UNEXCAVATED SOIL UNDER SLAB AREA)

WA-13

SPV-003 EXTERIOR WALL

UL U465, ULC W415 1-HOUR

- 1- LAYER 5/8" (15.9MM) TYPE X EXTERIOR GYPSUM BOARD OR THE EQUIVALENT TO PROVIDE A MINIMUM 45 MIN FIRE RESISTANCE RATING (FRR) WITH ALL VERTICAL JOINTS FULLY SUPPORTED.
- 2- SINGLE PLY AIR BARRIER.
- 3- MINIMUM 38MM X 89MM (2" X 4") WOOD STUDS AT A MAXIMUM SPACING OF 400MM (16") ON CENTRE.
- 4- EXTERIOR WALL STUD CAVITIES TO BE FILLED WITH MINERAL FIBER INSULATION CONFORMING TO CAN/ULC-S702, HAVING A MASS NOT LESS THAN 1.22 KG/M2 OF WALL SURFACE.
- 5- A SINGLE PLY 6MIL (0.15MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CGSB-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3 OF DIVISION B OF THE NBC - AE
- 6- INTERIOR SHEATHING TO CONSIST OF 1 LAYER 5/8" (15.9MM) TYPE X GYPSUM BOARD OR EQUIVALENT.

W-7

(W13-A) 1HR FRR STC-57

- 5/8" TYPE 'X' DRYWALL
- 6 MIL POLY V-B
- 2X4 STUDS ON EDGE @ 24" OC
- 6 MIL POLY V-B
- 5/8" TYPE 'X' DRYWALL

NOTE

- SOIL BEARING CAPACITY 2000 # FT²