

BEVERLEY BLVD - ATTACHED GARAGE

1 239 BEVERLEY BLVD SW

CALGARY, AB



PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

DRAWING LISTS:

ARCHITECTURAL

A.00	COVER PAGE
A.01	GENERAL NOTES
A.02a	EXISTING SITE PLAN
A.02b	PROPOSED SITE PLAN
A.02c	PROPOSED TREE PROTECTION PLAN
A.03	EXISTING MAIN FLOOR PLAN
A.04	PROPOSED GARAGE FLOOR PLAN
A.05	EXISTING & PROPOSED ROOF PLAN
A.06	EXISTING & PROPOSED EAST ELEVATION
A.07	EXISTING & PROPOSED SOUTH ELEVATION
A.08	EXISTING & PROPOSED WEST ELEVATION
A.09	PROPOSED SECTIONS
A.10	DOOR & WINDOW SCHEDULE
A.11	DETAILS

ELECTRICAL

E.01	PROPOSED GARAGE ELEC. PLAN

STRUCTURAL

S.01	GENERAL NOTES
S.02	PROPOSED FOUNDATION PLAN
S.03	PROPOSED GARAGE ROOF PLAN
S.04	PROPOSED SECTION B

DRAWING INFORMATION:

CLIENT:

ADDRESS: 1 239 BEVERLEY BLVD SW

LOCATION: CALGARY , AB

DRAWN BY: KT

LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

DRAWING NO: 00

DRAWING TITLE: COVER PAGE

SHEET: A.00

SCALE: NA

REV. 0

GENERAL NOTES

1. THE FOLLOWING NOTES ARE APPLICABLE TO ALL DRAWINGS AND PERTAIN WITHIN THE SCOPE OF WORK DOCUMENTATION
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ELECTRICAL AND MECHANICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. IT IS THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE DESIGNER IN THE EVENT OF A DISCREPANCY BETWEEN THE CONSULTANTS DOCUMENTATION AND THAT OF THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION / INSTALLATION. THE DESIGN DRAWINGS SHALL TAKE PRECEDENCE OVER THE ELECTRICAL AND MECHANICAL DRAWINGS.
3. ALTHOUGH PRESUMED TO BE ACCURATE, THESE DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THE CONTRACTOR SHALL VERIFY, COORDINATE AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB SITE. DIMENSIONS REQUIRING SITE MEASUREMENT SHALL BE CONFIRMED PRIOR TO PROCEEDING WITH WORK.
4.
5. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED BY THE CITY OF CALGARY AND THE PROVINCE OF ALBERTA.
6. ALL WORK TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL BUILDING CODE - ALBERTA EDITION 2023.
7. THE GENERAL CONTRACTOR SHALL EXAMINE THE SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR A COMPLETE INSTALLATION AS REQUIRED BY THESE THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. FAILURE TO NOTE SITE CONDITIONS AND MAKE SUITABLE ALLOWANCES FOR SAME IN TENDER WILL IN NO WAY JUSTIFY A CLAIM FOR ADDITIONAL CHARGES OR COMPENSATION.
8. THESE CONTRACT DOCUMENTS ARE DIAGRAMMATIC IN NATURE AND ARE FURNISHED TO ESTABLISH SCOPE, MATERIAL, QUANTITIES, AND DESIGN INTENT. THE DOCUMENTS ARE NOT DETAILED INSTALLATION DRAWINGS. MINOR DETAILS USUALLY NOT SHOWN OR SPECIFIED AND ANY INCIDENTAL ACCESSORIES REQUIRED FOR PROPER INSTALLATION OF THE DESIGN ARE TO BE INCLUDED IN THE WORK AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUB-TRADES.
9. ALL CONSTRUCTION AND MATERIALS SHALL BE OF THE HIGHEST QUALITY AND CONFORM TO ACCEPTED INDUSTRY/TRADE STANDARDS FOR BEST QUALITY DESIGN AND CONSTRUCTION. ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS. ANY MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED PURPOSE.
10. THE GENERAL CONTRACTOR TO PROVIDE TO THE OWNER/TENANT WRITTEN MAINTENANCE INSTRUCTIONS FOR ALL NEW MATERIALS AND EQUIPMENT SUPPLIED.
11. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE DELIVERY TIME OF THE SPECIFIED MATERIALS DO NOT CAUSE A DELAY IN THE SCHEDULED COMPLETION OF THE PROJECT.
12. ANY WORK THAT CAN BE DEEMED DISRUPTIVE OR NOISY TO OTHER TENANTS, SHALL BE UNDERTAKEN AFTER HOURS. COORDINATE WITH LANDLORD AND/OR TENANT FOR SPECIFIC HOURS. ALLOWANCE FOR ALL AFTER HOURS WORK OR SCHEDULING TO BE INCLUDED IN BASE BID.
13. PROVIDE A SLIP JOINT AT THE TOP OF FULL HEIGHT WALLS WHICH MEET THE FLOOR SLAB ABOVE, TO ALLOW FOR 1" SLAB DEFLECTION.
14. SUPPLY AND INSTALL SOLID WOOD INTERNAL BLOCKING IN ALL WALLS TO RECEIVE WALL MOUNTED MILLWORK, EQUIPMENT AND OTHER OBJECTS FASTENED TO THE WALL.
15. THE CONTRACTOR IS TO REPAIR ALL DAMAGE TO WALL, FLOOR OR CEILING CAUSED BY THE CONSTRUCTION OR BUILD OUT OF THIS SPACE.
16. THE GENERAL CONTRACTOR IS TO ENSURE THAT PROPER AIR BALANCING TAKES PLACE PRIOR TO OCCUPANCY.
17. ALL MILLWORK SHALL CONFORM WITH THE LATEST VERSION OF THE A.W.M.A.C. (ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA) STANDARDS GUIDE.
18. THE GENERAL CONTRACTOR IS TO KEEP ONE SET OF RECORD DRAWINGS ON SITE AT ALL TIMES.
19. THIS INDICATES FOR RESIDENTIAL PROJECTS ONLY.
20. THE ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER AND FABRICATED BY A TRUSS SUPPLIER. SUPPLIER TO DO DRAWINGS FOR THE TOTAL ROOF AND VERIFY ALL DETAILS SHOWN ON THE DESIGNER'S DRAWINGS THE ROOF APPEARANCE MAY VARY.
21. ALL NAILING AND CONNECTIONS AS PER THE NATIONAL BUILDING CODE - ALBERTA EDITION 2023.
22. INSTALL EAVESTROUGHING , DOWNSPROUTS AND EXTENSIONS, AS REQUIRED
23. ELECTRICAL, PLUMBING AND HEATING SYSTEM DESIGNED BY OTHERS
24. FACTORY-FIREPLACES ARE TO BE SUPERIOR CF3860 OR EQUIVALENT AND SHALL BE INSTALLED TO CONFORM TO ULC561 00, ABC AND MANUFACTURER'S SPECIFICATIONS.
25. GRADES SHOWN MAY VARY ON SITE AND MAY ALTER THE APPEARANCE OF THE BUILDING
26. ANY ENGINEERING REQUIRED ON THESE DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER
27. SOIL BEARING IS ASSUMED TO BE MINIMUM OF 2,500 p.s.f. SOIL BEARING TO BE CHECKED BY THE GENERAL CONTRACTOR. CONSULT WITH A PROFESSIONAL ENGINEER IF THE SOIL BEARING IS LESS THAN 2,500 p.s.f. AND ALSO IF A PROBLEM SOIL EXISTS. THE FOUNDATION DESIGN MAY HAVE TO BE REVISE BY AN ENGINEER.

BUILDING ANALYSIS:

MUNICIPAL ADDRESS:
1 239 BEVERLEY BLVD SW, EDMONTON, AB

LEGAL PLAN: PLAN 5815 HT, BLOCK 2, LOT 1

SITE SIZE: 9638.57 SQ FT

MAIN FLOOR SIZE: 2502.31 SQ FT

ATTACHED GARAGE SIZE: 588.20 SQ FT (54.64 SQ M)

LOT COVERAGE: 32.06%

ZONING: R-CG

BUILDING: SINGLE DETACHED

SCOPE OF WORK: NEW ATTACHED GARAGE

WI

EXTERIOR WALL
VINYL SIDING
1X3 FURRING
2X6 WOOD STUD
BATT INSULATION
VAPOUR BARRIER
½" GYPSUM BOARD

RI

ROOF
STADING METAL SEAM
ROOF SHEATHING
VAPOUR BARRIER
TRUSS
WOOD FURRING
½" GYPSUM BOARD



PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

DRAWING INFORMATION:

CLIENT:

ADDRESS: 1 239 BEVERLEY BLVD SW

LOCATION: CALGARY , AB

DRAWN BY: KT

LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

DRAWING NO: 00

DRAWING TITLE: GENERAL NOTES

SHEET: A.01

SCALE: NA

REV. 0



PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

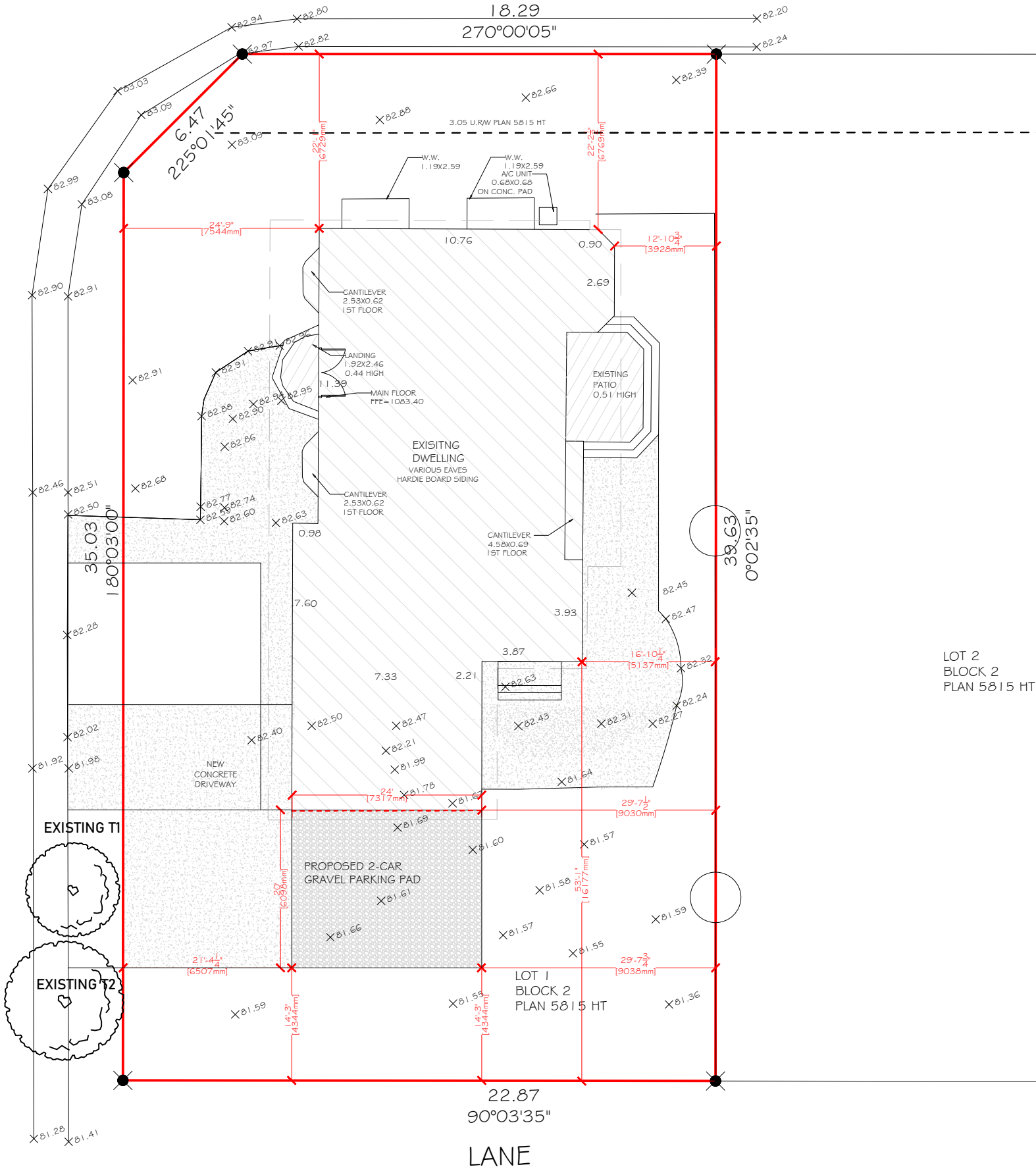
DRAWING INFORMATION:

CLIENT:
ADDRESS: 1 239 BEVERLEY BLVD SW
LOCATION: CALGARY , AB
DRAWN BY: KT
LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

DRAWING NO: 01
DRAWING TITLE: EXISTING SITE PLAN
SHEET: A.02a
SCALE: 1/16" = 1'-0"
REV. 0

MALIBOU ROAD SE

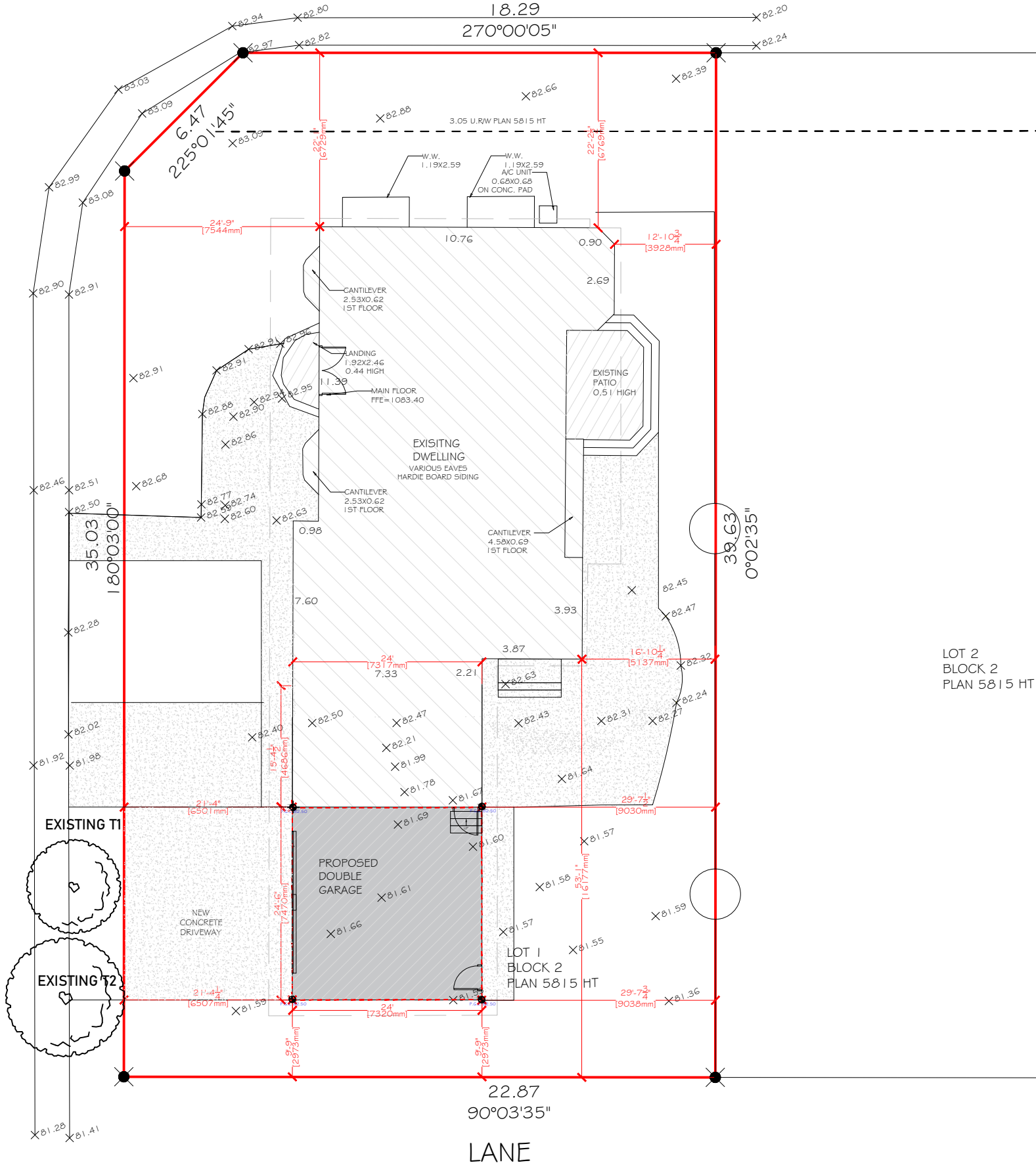
BEVERLEY BOULEVARD SE





MALIBOU ROAD SE

BEVERLEY BOULEVARD SE



PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

DRAWING INFORMATION:

CLIENT:
ADDRESS: 1 239 BEVERLEY BLVD SW
LOCATION: CALGARY , AB
DRAWN BY: KT
LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

DRAWING NO: 02
DRAWING TITLE: PROPOSED SITE PLAN
SHEET: A.02b
SCALE: 1/16" = 1'-0"
REV. 0



PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

DRAWING INFORMATION:

CLIENT:

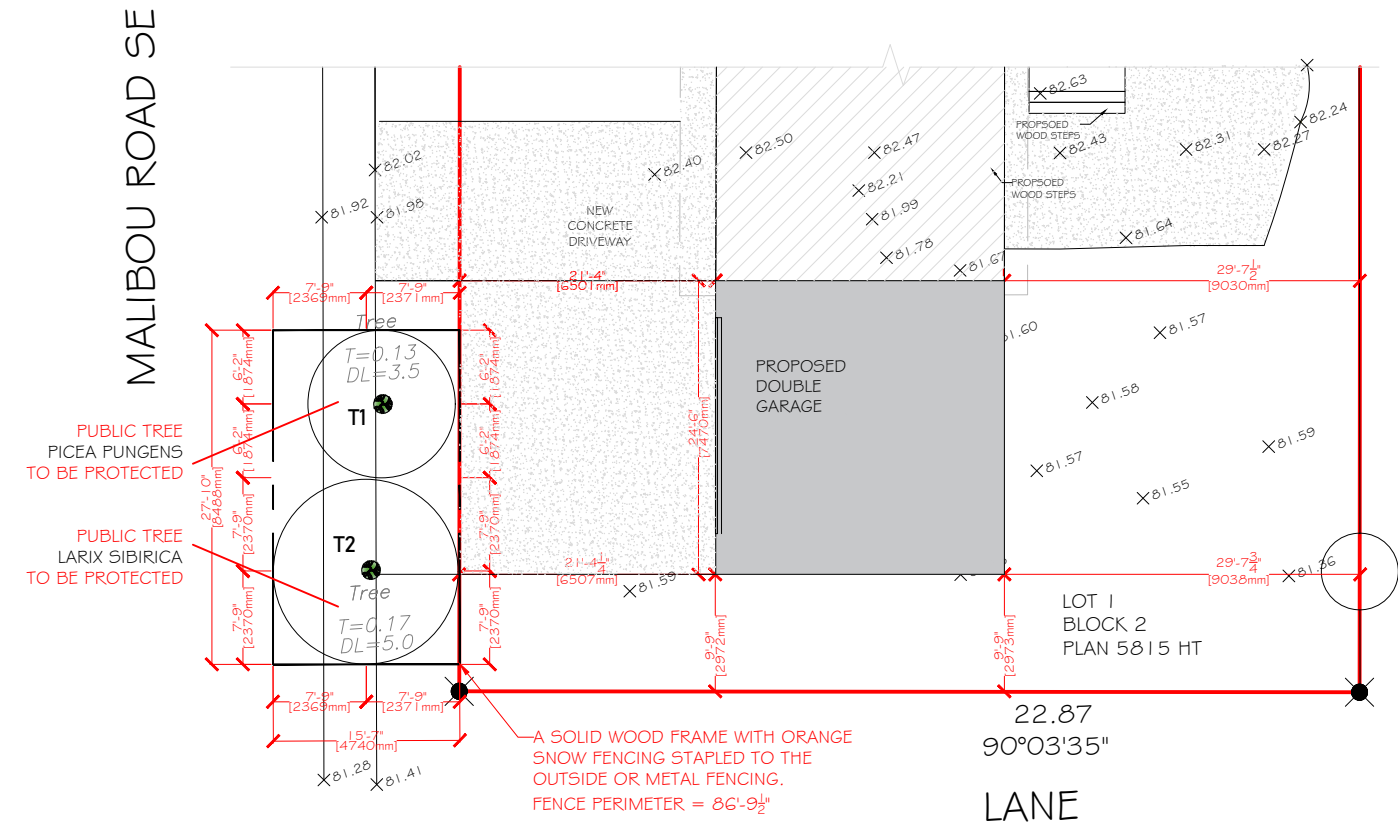
ADDRESS: 1239 BEVERLEY BLVD SW

LOCATION: CALGARY , AB

DRAWN BY: KT

LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

DRAWING NO:	02
DRAWING TITLE:	TREE PROTECTION PLAN
SHEET:	A.02c
SCALE:	1/16" = 1'-0"
REV.	0



EXTENDING THE TREE PROTECTION ZONE TO THE DRIP LINE (OUTER LIMIT OF THE TREE CANOPY) OF EACH PROTECTED TREE IS RECOMMENDED

PUBLIC TREE

UPON APPROVAL OF TREE PROTECTION PLAN, THE CITY WILL PROVIDE A SIGN INDICATING THE PROTECTED TREE STATUS. THIS SIGNAGE IS TO BE ATTACHED TO EACH PROTECTIVE FENCE.

PUBLIC TREE

A SOLID WOOD FRAME WITH ORANGE SNOW FENCING STAPLED TO THE OUTSIDE OR METAL FENCING.

NOTES:

- A) IF CLEARANCE PRUNING OF PUBLIC TREES IS REQUIRED, URBAN FORESTRY MUST BE NOTIFIED (MINIMUM TWO BUSINESS DAYS NOTICE). WRITTEN AUTHORIZATION MUST BE OBTAINED PRIOR TO TREE PRUNING. AN INDEMNIFIED CONTRACTOR MUST BE USED AT THE APPLICANTS EXPENSE. PLEASE CONTACT URBAN FORESTRY AT 311 FOR MORE INFORMATION.
- B) NO GRADE CHANGES ARE PERMITTED IN THE BOULEVARD WITHIN THE DRIP LINE OR OUTER EDGE OF BRANCHES OF THE PUBLIC TREE.

PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

DRAWING INFORMATION:

CLIENT:

ADDRESS: 1 239 BEVERLEY BLVD SW

LOCATION: CALGARY , AB

DRAWN BY: KT

LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

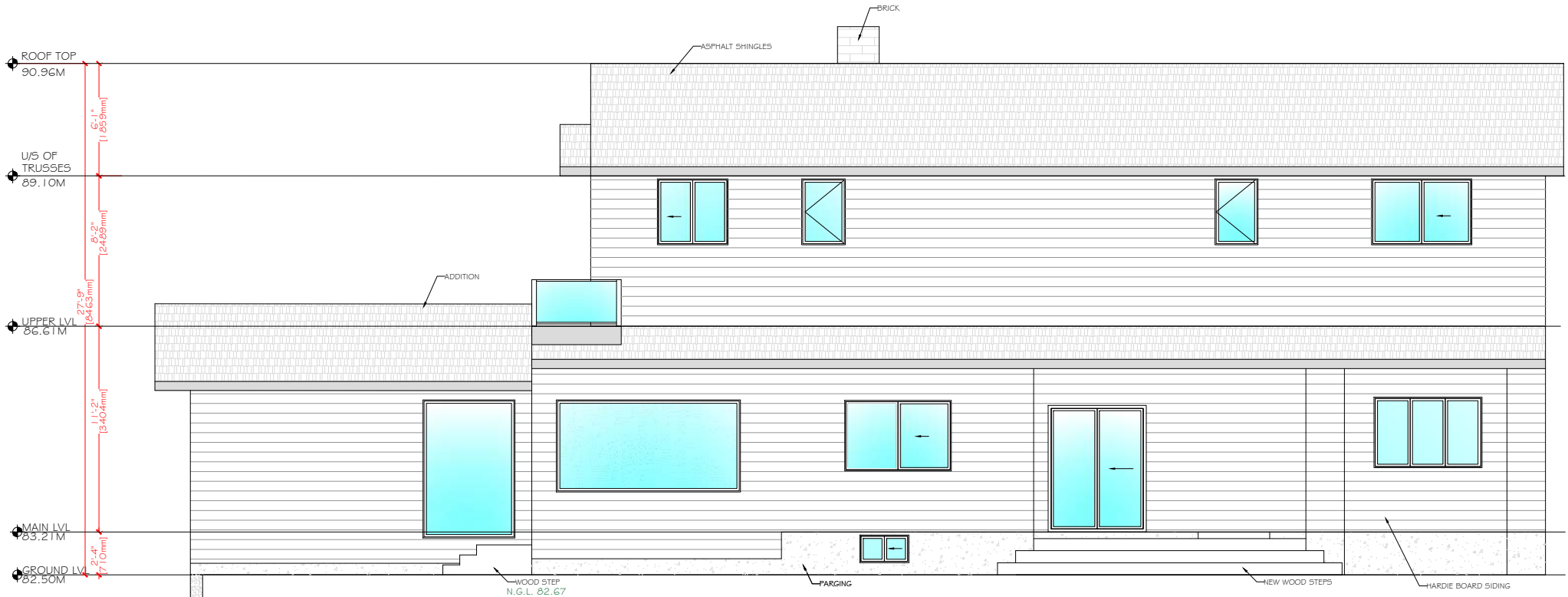
DRAWING NO: OG

DRAWING TITLE: EAST ELEVATION

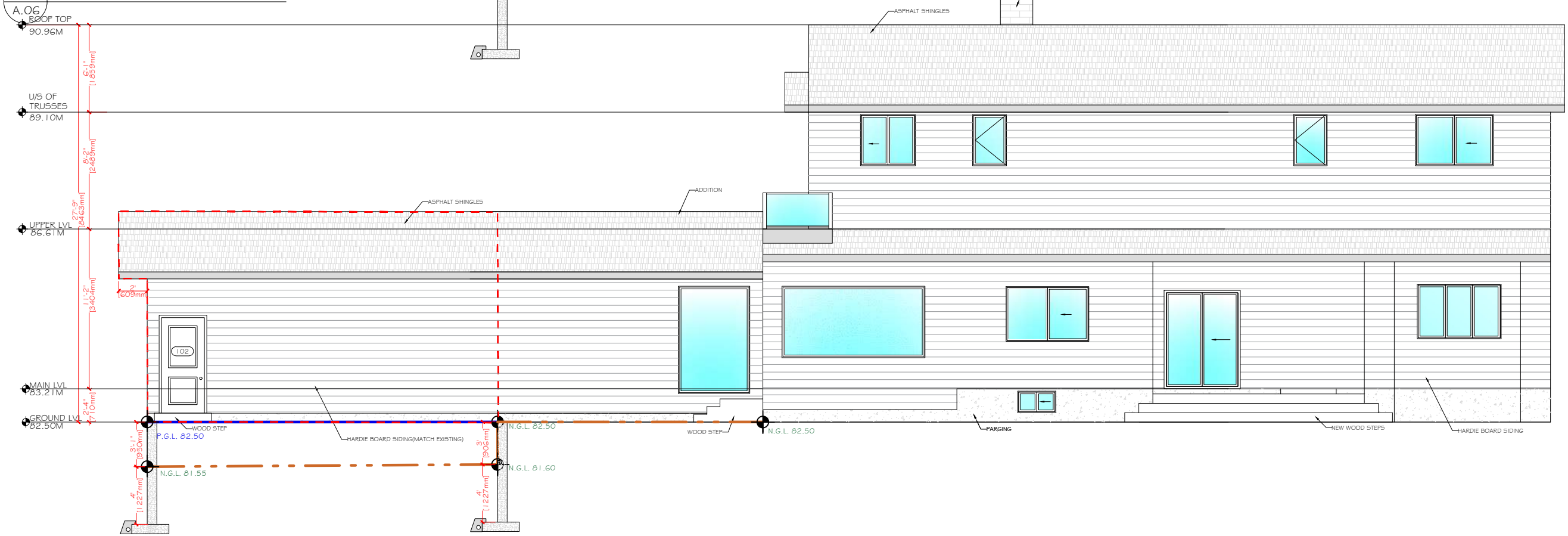
SHEET: A.06

SCALE: 1/8" = 1'-0"

REV. 0



1 EXISTING EAST ELEVATION



2 PROPOSED EAST ELEVATION

A.06

PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

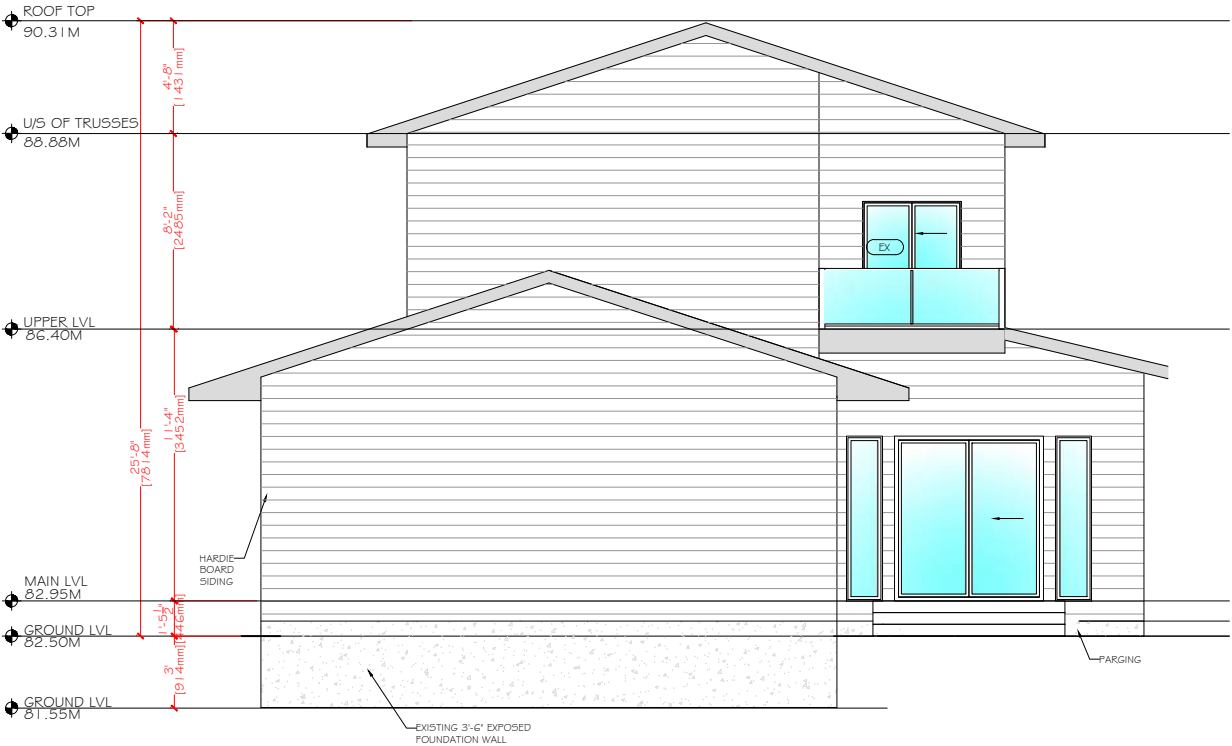
NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

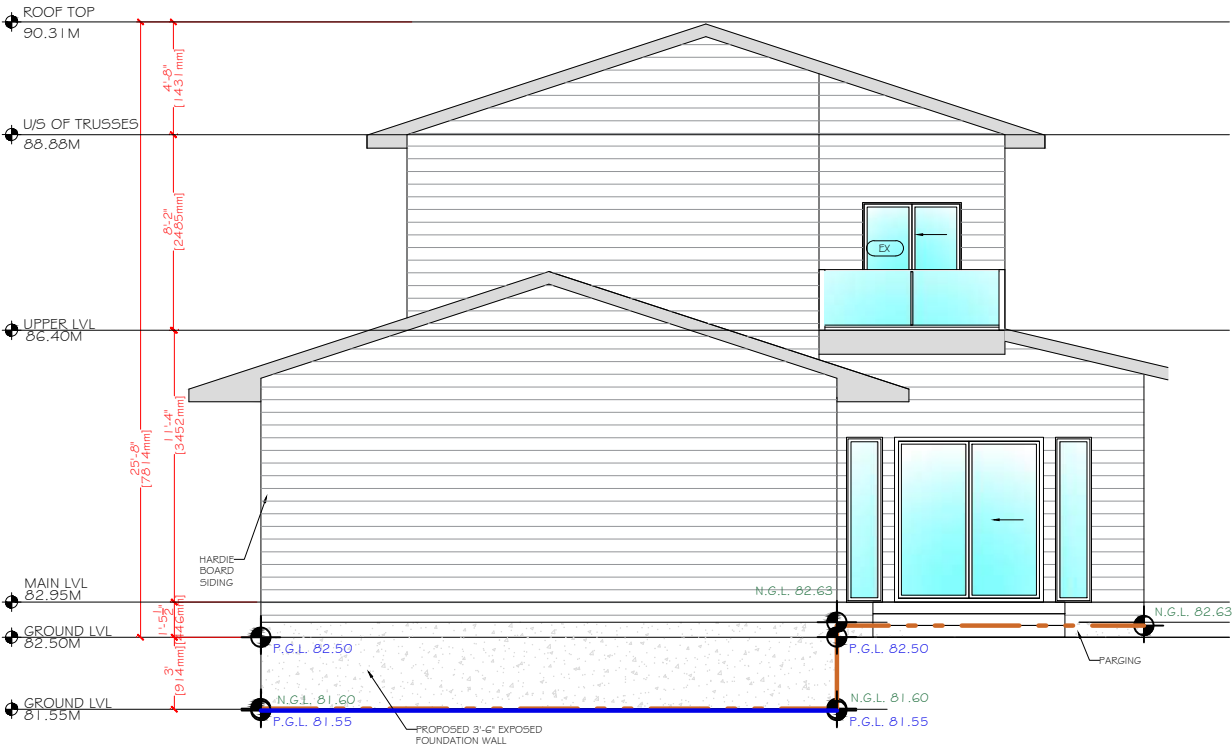
DRAWING INFORMATION:

CLIENT:
ADDRESS: 1 239 BEVERLEY BLVD SW
LOCATION: CALGARY , AB
DRAWN BY: KT
LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

DRAWING NO: 07
DRAWING TITLE: SOUTH ELEVATION
SHEET: A.07
SCALE: 1/8" = 1'-0"
REV. 0



1
A.07
EXISTING SOUTH ELEVATION



2
A.07
PROPOSED SOUTH ELEVATION

PROJECT

ATTACHED GARAGE

STAMP

ISSUED:

NO.	ISSUE	DATE
1	ISSUE FOR REVIEW	09.02.2026

NOTES

DRAWING INFORMATION:

CLIENT:

ADDRESS: 1 239 BEVERLEY BLVD SW

LOCATION: CALGARY , AB

DRAWN BY: KT

LEGAL PLAN: 5815 HT, BLOCK 2, LOT 1

DRAWING NO: 08

DRAWING TITLE: WEST ELEVATION

SHEET: A.08

SCALE: 1/8" = 1'-0"

REV. 0

