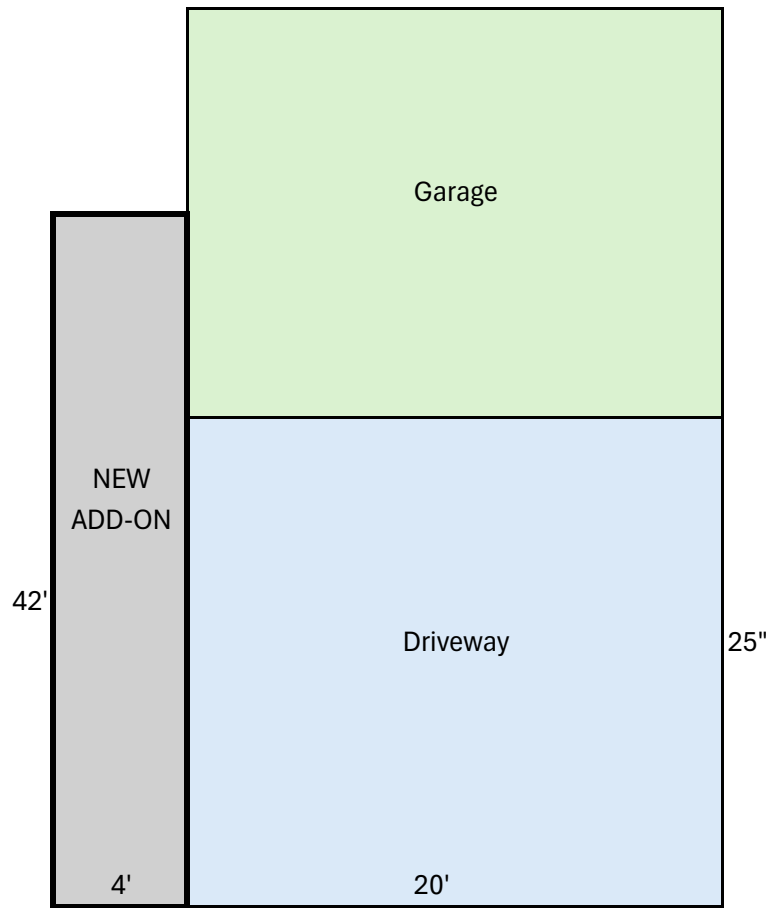


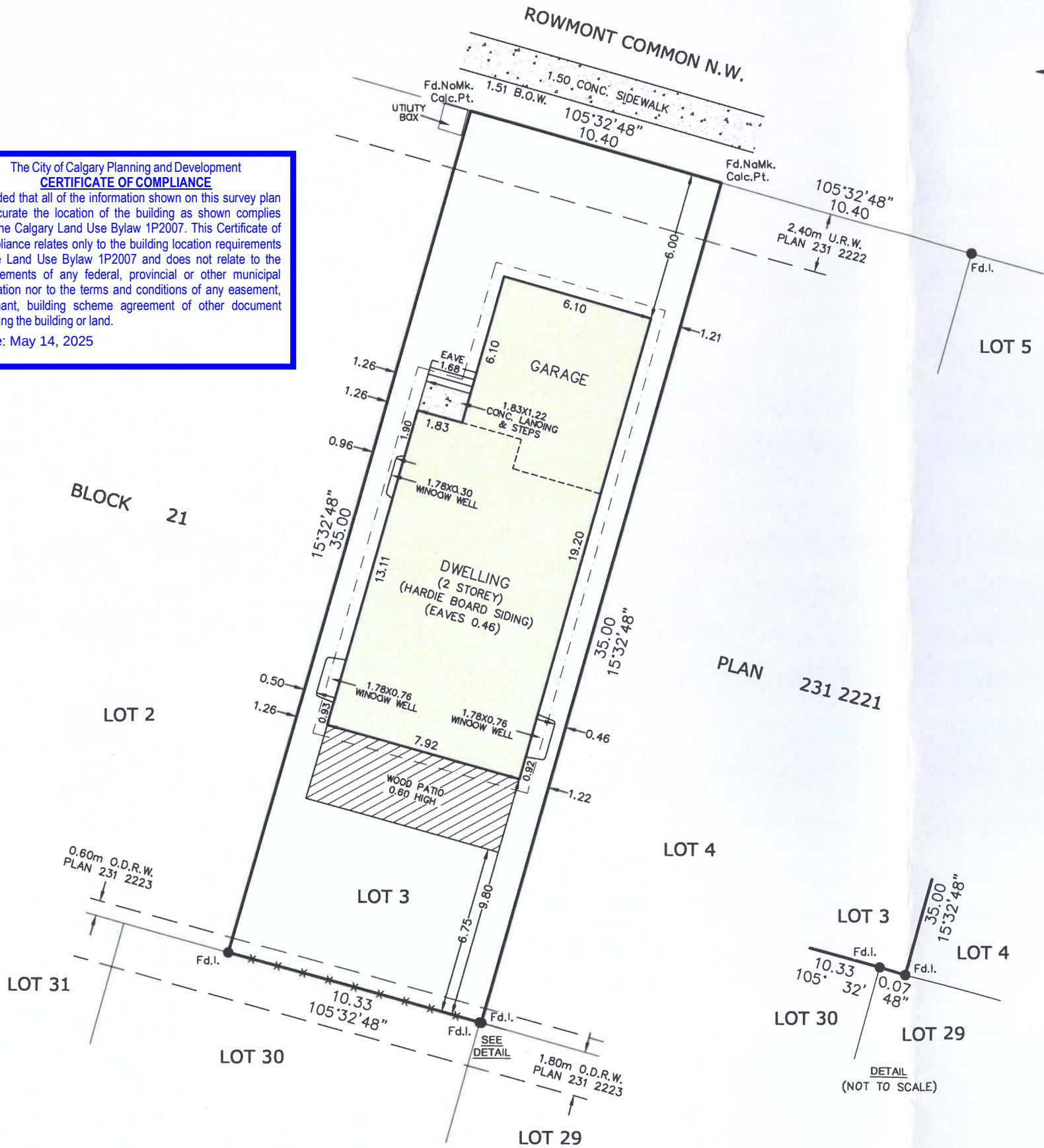


Driveway extension is approximately 4'X42"

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



The City of Calgary Planning and Development
CERTIFICATE OF COMPLIANCE
Provided that all of the information shown on this survey plan is accurate the location of the building as shown complies with the Calgary Land Use Bylaw 1P2007. This Certificate of Compliance relates only to the building location requirements of the Land Use Bylaw 1P2007 and does not relate to the requirements of any federal, provincial or other municipal legislation nor to the terms and conditions of any easement, covenant, building scheme agreement or other document affecting the building or land.
Date: May 14, 2025



LOT(S): 3

BLOCK(S): 21

REG'D PLAN No.(s) 231 2221

Certificate of Title Number(s) :251 099 442

Date searched:MAY 9th, 2025

The survey was performed between:
JULY 9th, 2024 and APR. 29th, 2025

Municipal Address :
85 ROWMONT COMMON N.W.
CALGARY, ALBERTA

To :THE CEDARGLEN GROUP INC.
4770-110th AVENUE S.E.
CALGARY, ALBERTA

ALBERTA LAND SURVEYOR'S CERTIFICATION:
I hereby certify that this Report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association's Manual of Standard Practice and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- the plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way affecting the extent of the title to the Property;
- the improvements are entirely within the boundaries of the Property;
- no visible encroachments exist on the Property from any improvements situated on an adjoining property; and
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of the Property;

PURPOSE OF REPORT:
This Report and attached plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents for the purpose of (a land conveyance, support of a subdivision application, a mortgage application, a submittal to the municipality for a compliance certificate, etc.). Copying is permitted only for the benefit of these parties, and only if the plan remains attached.
Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this Report. The attached plan should not be used to establish boundaries because of the risk of misinterpretation or measurement error by the user.
The information shown on this Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

NOTES:
Property is subject to the following Encumbrances, Liens and Interests:
1. Utility/Easement registration number(s): 231 346 201.
2. Restrictive covenant, caveat, etc. registration number(s): 231 346 198, 231 346 203.

LEGEND:		
Found _____	Fd. _____	Mark _____ Mk.
Iron _____	I. _____	Calculation _____ Calc.
Countersunk _____	cs _____	Point _____ Pt.
Utility-Right-of-Way _____	U.R.W. _____	Statutory iron post found _____
Overland Drainage Right-of-Way _____	O.D.R.W. _____	Drill hole found _____
Back of walk _____	B.O.W. _____	
Concrete _____	Conc. _____	
Contilever _____	Cont. _____	
Fences are shown thus — x — x — x — x —		
Fences are within 0.20m of property line unless otherwise noted.		

Distances are expressed in metres and decimals thereof.
All eaves are measured to the fascia.
All building dimensions and ties are to the foundation.
All ties are perpendicular.

Dated at Calgary, Alberta on MAY 9th, 2025.

© Wayne E Berg, Alberta Land Surveyor.

This document is not valid unless it bears a signature (in blue ink) and an Al-Terra Geomatics Ltd. permit stamp (in red ink).

Scale : 1:200 Date: MAY 9th, 2025 File No.:
Drawn by : D.C. Chk'd by : W.E.B. 900-694

AL-TERRA GEOMATICS LTD.
120-6807 RAILWAY STREET S.E.
CALGARY, ALBERTA T2H 3A8
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