

[illegible]

- SURVEYOR NOTES:**
- DISTANCES ARE SHOWN IN METERS & DECIMALS THEREOF.
 - ELEVATIONS ARE GEODETIC AND DERIVED FROM :
 ASCH 87608 ELEVATION = 1048.22
 - TO OBTAIN ACTUAL ELEVATION ADD 0000 TO SPOT ELEVATIONS.
 - SURVEY WAS PERFORMED ON :
 MAY 12, 2025
 - ALL UNDERGROUND UTILITIES WERE PLOTTED FROM CITY OF CALGARY BLOCK
 PROFILES PLANS.
 - PRIOR TO DIGGING UNDERGROUND LINES MUST BE LOCATED.
 - DEEP UTILITIES ARE NOT PLOTTED TO SCALE.

- ## GENERAL PLOT PLAN NOTES :
- ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE
 - FINAL NUMBER OF RSERS AND GRADES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION
 - CONTRACTOR TO CONFIRM ALL DIMENSIONS & SERVICES PRIOR TO BEGINNING OF WORK
 - ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER / DESIGNER PRIOR TO CONSTRUCTION START
 - STREET LAMPS, SITE FURNITURE, ETC. ARE SHOWN FOR REPRESENTATION PURPOSES ONLY. ACTUAL TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
 - BEARING CERTIFICATE REQUIRED
 - PLUMBER TO ENSURE THAT THE SEWER PIPE BE LOCATED & INSTALLED WITH A MINIMUM 3% SLOPE TO THE STREET OR SEWER INVERT OR SANITARY FIELD
 - IF A SUMP PUMP IS REQUIRED THEN IT IS TO BE LOCATED & INSTALLED WITHIN THE MECHANICAL ROOM @ THE HOUSE
 - DRIVEWAY & SIDEWALK SQ.FT. BREAKDOWN :

SIDEWALK TO FRONT STEP	N / A	SQ.M.
DRIVEWAY TO BACK OF CURB	N / A	SQ.M.
ORCHARDLANDSUR PLAT W/IN	N / A	SQ.M.
 - EXISTING ELEVATIONS ARE METRIC AND ARE SHOWN AS THIS.....
 - NEW ELEVATIONS ARE METRIC AND ARE SHOWN AS THIS.....
 - PROPOSED NEW PLANTING ONLY - FINAL PLACEMENT @ BUILDERS / OWNERS DISCRETION
 - ADDITIONAL PLANTING AS REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS
 - PLANTING TO BE COMPLETE WITHIN THE RESPECTIVE SUBJECT SITE
 - DO NOT SCALE DRAWING
- 10000
1:1000

WILLIAM
BLAKE
HOMES

MASTER BUILDER

WILLIAMBLAKEHOMES.COM

PROJECT ADDRESS :
409 11 STREET N.W.
CALGARY, ALBERTA
COMMUNITY OF HILLHURST

LOT: 6 BLOCK: 0 PLAN: 5609J

REVIEW PERMIT SUBMISSION AUG 24, 2021



CRC
SURVEYS LTD.

02 337 41 Avenue N.E.
Calgary, Alberta T2E 2N4

Phone : (403) 277-1272
www.arcsurveys.ca

DRAWING STAGE :

DEVELOPMENT
PERMIT
SUBMISSION

- NOT FOR CONSTRUCTION -

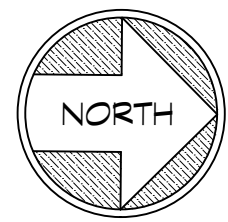
DRAWINGS REMAIN SUBJECT TO ONGOING
INCREMENTAL REVIEW / REVISIONS
HOWEVER SUBSTANTIALLY COMPLETE

SQUARE FOOTAGES :	
MAIN FLOOR PLAN	1 2 8 0
UPPER FLOOR PLAN	1 1 5 2
TOTAL ABOVE GRADE	2 4 3 2
BASEMENT DEVELOPMENT	1 0 3 2
GARAGE AREA	2 7 2

DRAWING DATE :
AUGUST 24, 2026

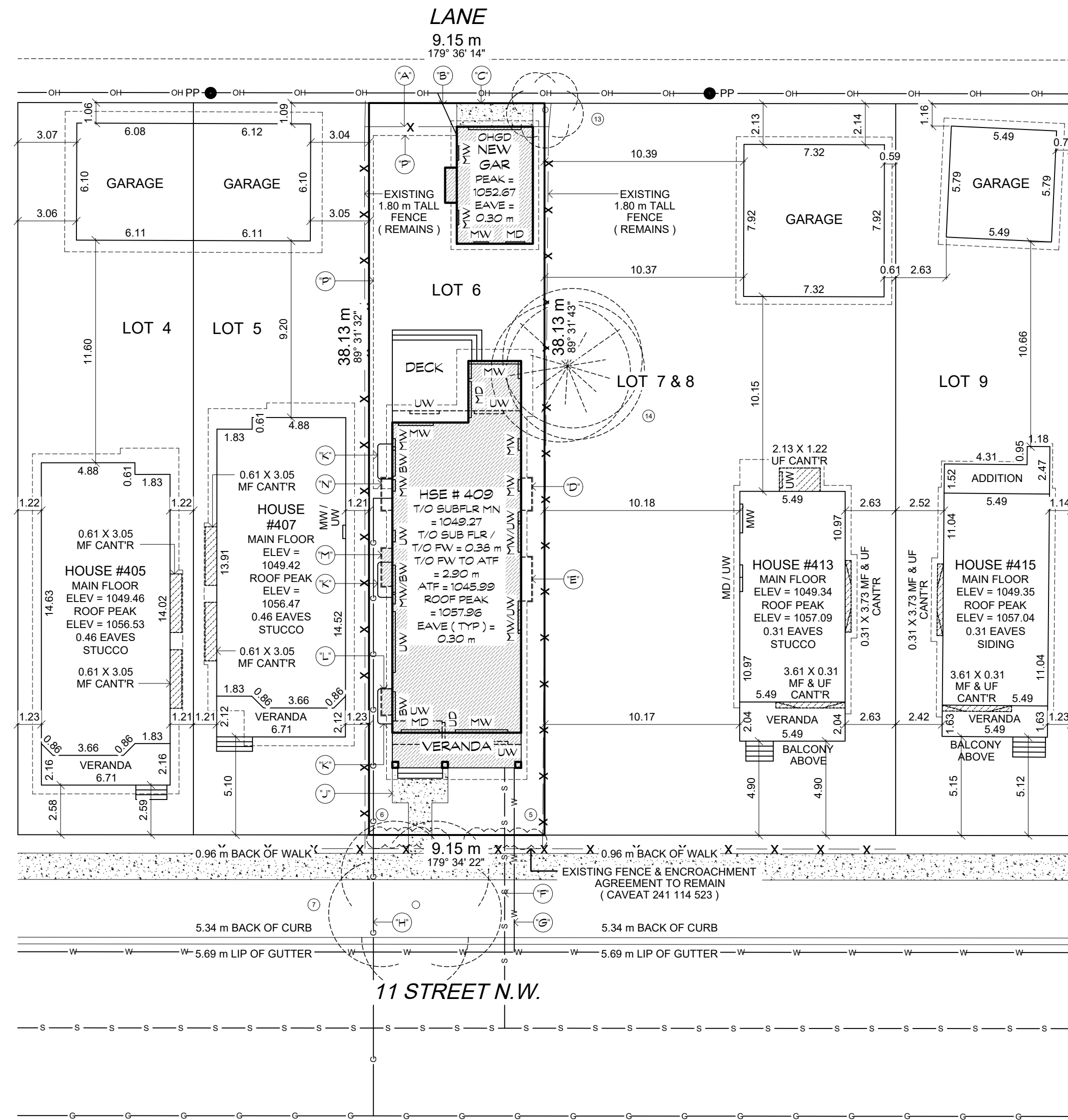
DRAWING SCALE :
AS NOTED

SP 1 / 2



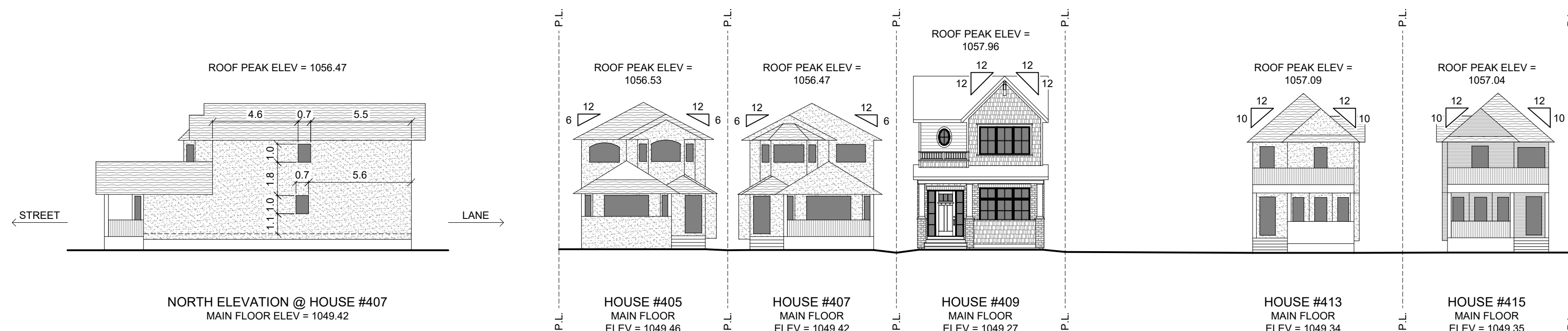
NEW BLOCK & SITE PLAN

SCALE = 1:200



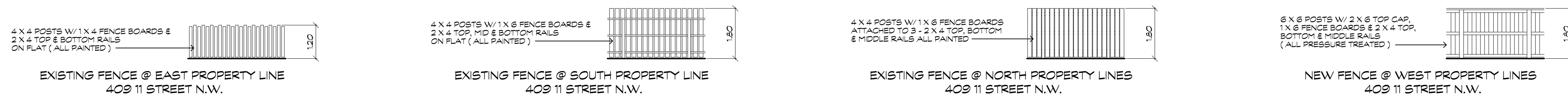
STREETSCAPE & PROFILES

SCALE = 1:200



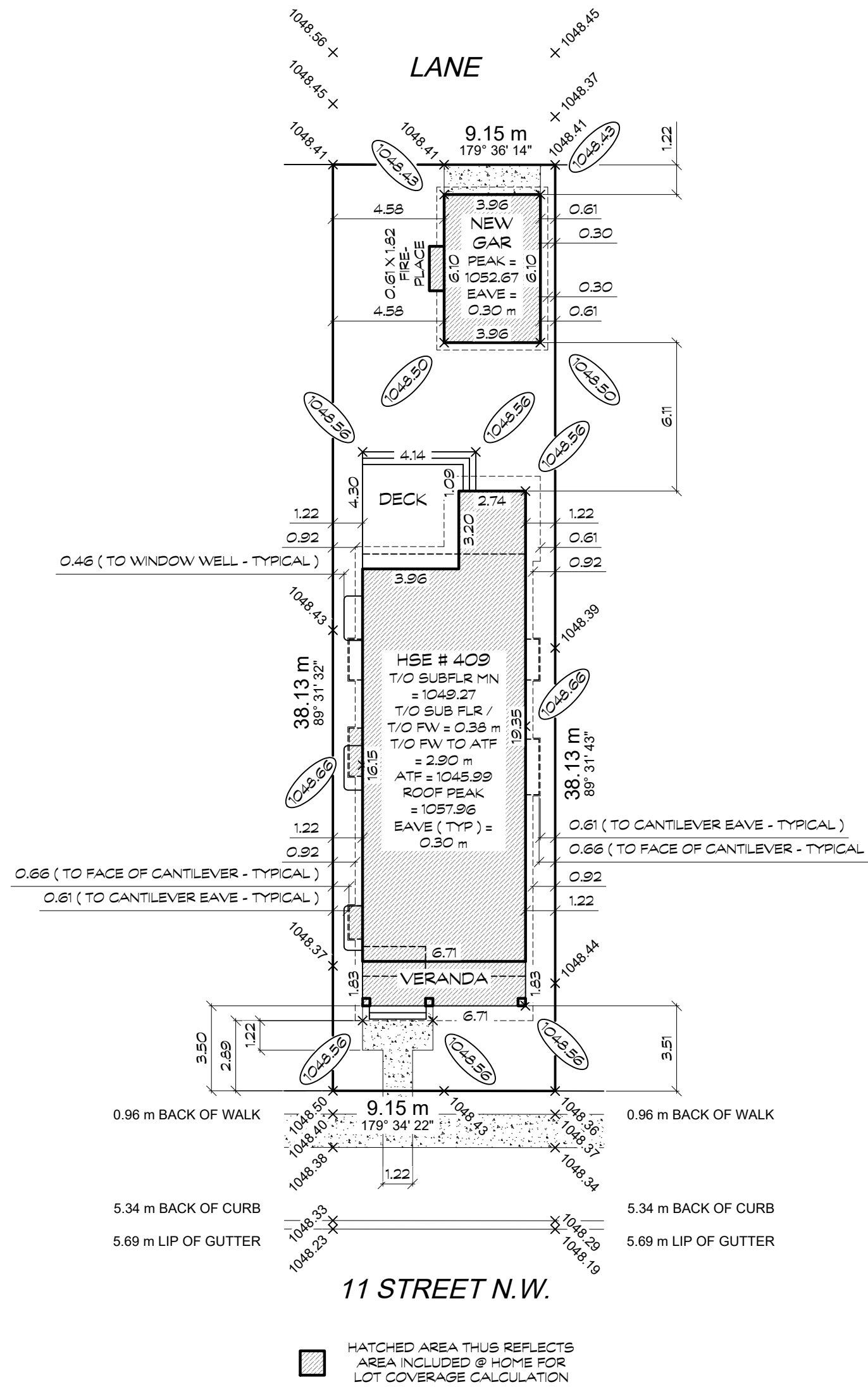
FENCE DETAILS

SCALE = N.T.S.



NEW BUILDING GRADE PLAN

SCALE = 1:200



PROPOSED PARCEL COVERAGE CALCULATIONS:	
TOTAL PARCEL AREA	348.70 m ²
MAXIMUM ALLOWABLE PARCEL COVERAGE: 45 %	156.91 m ²
HOUSE FOOTPRINT INC. PROJECTIONS LESS THAN 2.4M ABOVE GRADE	191.24 m ²
GARAGE FOOTPRINT TOTAL (MAX 75 SQ.M.)	25.27 m ²
TOTAL COMBINED FOOTPRINT COVERAGE	156.51 m ²
TOTAL PARCEL COVERAGE	44.88 %

CONTEXTUAL BUILDING SETBACK CALCULATIONS:	
BUILDING SETBACK FROM FRONT PROPERTY LINE	3.50 m
BUILDING SETBACK FROM SIDE PROPERTY LINE	1.20 m
MAX CONTEXTUAL BUILDING DEPTH FROM FRONT PROPERTY LINE	25.04 m
MAX BUILDING HEIGHT	1058.43 m

TREE TABLE (m)					
TREE	DIA	SPREAD	HEIGHT	TYPE	STATUS
1	0.20	4.00	5.00	DECIDUOUS	REMOVED
2	MULTI	2.50	3.00	BUSH	REMOVED
3	MULTI	2.50	3.00	BUSH	REMOVED
4	MULTI	1.20	2.00	BUSH	REMOVED
5	MULTI	0.75	1.25	BUSH	EXISTING
6	MULTI	0.75	1.25	BUSH	EXISTING
7	0.36	9.00	13.00	ASH - T3202150	PUBLIC TREE - PROTECT
8	0.35	5.00	25.00	CONIFEROUS	REMOVED
9	MULTI	3.00	4.00	BUSH	REMOVED
10	MULTI	1.90	3.00	BUSH	REMOVED
11	0.40	8.00	23.00	DECIDUOUS	REMOVED
12	0.50	6.00	14.00	DECIDUOUS	REMOVED
13	0.30	4.00	8.00	DECIDUOUS	NOT ON PARCEL
14	0.60	8.00	25.00	CONIFEROUS	NOT ON PARCEL

MISCELLANEOUS NOTES	
A	NEW 1.80 HIGH WOOD FENCE (SEE DETAIL)
B	NEW OVERHEAD POWER TO NEW MAST
C	BROOM FINISHED CONCRETE APRON
D	0.55 X 1.65 UPPER FLOOR CANTILEVER
E	0.55 X 2.25 UPPER FLOOR CANTILEVER
F	APPROXIMATE LOCATION FOR NEW SEWER LINE
G	APPROXIMATE LOCATION FOR NEW WATER LINE
H	APPROXIMATE LOCATION FOR NEW GAS LINE (TBD ON SITE)
J	NEW BROOM FINISHED CONCRETE WALKWAY & LANDING
K	0.76 X 1.33 ALUMINUM WINDOW WELL
L	0.55 X 1.38 MAIN FLOOR CANTILEVER
M	0.55 X 1.38 MAIN FLOOR CANTILEVER
N	0.55 X 1.65 UPPER FLOOR CANTILEVER
P	RELOCATE NEW SERVICES BELOW GRADE BETWEEN HOUSE & GARAGE

LEGEND & ABBREVIATIONS:

PROPERTY LINE	OR	CONCRETE	CONCRETE
GAS LINE	G	FIRE HYDRANT	FIRE HYDRANT
UNDERGROUND ELECTRIC	-----	LIGHT STANDARD	LIGHT STANDARD
OVERHEAD POWER LINES	OH	POWER POLE	POWER POLE
SANITARY SEWER	-----S	WATER VALVE	WATER VALVE
STORM SEWER	-----	BUSH	BUSH
TELLUS LINE	-----	CONIFEROUS TREE	CONIFEROUS TREE
WATER LINE	W - W	DECIDUOUS TREE	DECIDUOUS TREE
FENCE	X		
MAIN FLOOR DOOR	MD		
UPPER FLOOR DOOR	UD		
BASEMENT WINDOW	BW		
MAIN FLOOR WINDOW	MW		
UPPER FLOOR WINDOW	UW		
OVERHEAD GARAGE DOOR	OHGD		
WINDOW WELL	WW		
EXISTING CURB CUT	CC		

SURVEYOR NOTES:

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ASCM 87809 ELEVATION = 1046.22
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MAY 12, 2022
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- DRIVEWAY & SIDEWALK SQ.FT. BREAKDOWN:
SIDEWALK TO FRONT STEP 6.51 SQ.M.
GARAGE APRON 4.85 SQ.M.
MISCELLANEOUS FLAT WORK N/A SQ.M.
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WILLIAM BLAKE HOMES

MASTER BUILDER

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PROJECT ADDRESS:

409 11 STREET N.W.

CALGARY, ALBERTA
COMMUNITY OF HILLHURST

LEGAL ADDRESS:

LOT: 6 BLOCK: 0 PLAN: 5609J

REVISIONS DESCRIPTION & DATE:

- DEVMENT PERMIT SUBMISSION AUG 24, 2026

SURVEYOR:



202 337 41 Avenue N.E. Phone: (403) 277-1272
Calgary, Alberta T2E 2N4 www.arcsurveys.ca

DRAWING STAGE:

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DRAWINGS REMAIN SUBJECT TO ONGOING INCREMENTAL REVIEW / REVISIONS HOWEVER SUBSTANTIALLY COMPLETE

SQUARE FOOTAGES:

MAIN FLOOR PLAN	1280
UPPER FLOOR PLAN	1152

TOTAL ABOVE GRADE	2432
BASEMENT DEVELOPMENT	1032
GARAGE AREA	272

DRAWING DATE:

AUGUST 24, 2026

DRAWING SCALE:

AS NOTED

PAGE / SHEET:

SP 2 / 2

409 11 STREET S.W.

HILLHURST
CALGARY, ALBERTA



~ ARCHITECTURAL RENDERING IS FOR ILLUSTRATION PURPOSES ONLY - VARIANCES IN THE ACTUAL COLOUR PALATE, BUILDING GRADES & OVERALL LANDSCAPING WILL VARY FROM SHOWN ~

DRAWING INDEX :

SP 1 / 2	EXIST BLOCK PLANS & STREETSCAPE	3 / 8	MAIN & UPPER FLOOR PLANS	8 / 8	CONSTRUCTION DETAILS & ROOF PLAN
SP 2 / 2	NEW BLOCK PLANS & STREETSCAPE	4 / 8	FND & BASEMENT DEVELOPMENT	E1 / E2	MAIN & UPPER ELECTRICAL
T P P	TREE PROTECTION PLAN (IF APPLICABLE)	5 / 8	BUILDING SECTIONS	E2 / E2	BASEMENT ELECTRICAL
1 / 8	WEST & SOUTH EXTERIOR ELEVATIONS	6 / 8	BUILDING SECTIONS	GAR	GARAGE PACKAGE (IF APPLICABLE)
2 / 8	EAST & NORTH EXTERIOR ELEVATIONS	7 / 8	CONSTRUCTION DETAILS		

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CALGARY, ALBERTA
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SQUARE FOOTAGES :

MAIN FLOOR PLAN	12 6 0
UPPER FLOOR PLAN	11 5 2
TOTAL ABOVE GRADE	2 4 3 2
BASEMENT DEVELOPMENT	1 0 3 2
GARAGE AREA	2 7 2

DRAWING DATE :

AUGUST 24, 2026

DRAWING SCALE :

3 / 16" = 1' - 0"

PAGE / SHEET :

COVER

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MASTER BUILDER

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PROJECT ADDRESS :

409 11 STREET N.W.

CALGARY, ALBERTA
COMMUNITY OF HILLHURST

LEGAL ADDRESS :

LOT: 6 BLOCK: 0 PLAN: 5603U

REVISIONS DESCRIPTION & DATE :

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SQUARE FOOTAGES :

MAIN FLOOR PLAN 1260
UPPER FLOOR PLAN 1152

TOTAL ABOVE GRADE 2432
BASEMENT DEVELOPMENT 1032
GARAGE AREA 272

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AUGUST 24, 2026

DRAWING SCALE :

3/16" = 1'-0"

PAGE / SHEET :

1 / 5

EXTERIOR COLOURS :

ROOF

TYPE : ASPHALT SHINGLES COLOUR : DUAL BLACK

EXTERIOR WALLS

TYPE : HARDEPANEL SIDING COLOUR : TIMBER BARK
TYPE : HARDESHANE SIDING COLOUR : TIMBER BARK
TYPE : CANTILEVER SIDING COLOUR : MONTRENY TAUPE
TYPE : BOARD & BATTEN COLOUR : IRON GRAY

MASONRY

TYPE : MANUFACTURED BRICK COLOUR : IRONSTONE MATTE
TYPE : WALL CAP / CORING COLOUR : LIMESTONE

TRIM & MILLWORK DETAILS

TYPE : SMARTBOARD COLOUR : CHANTILLY LACE
TYPE : THYBER COLOUR : TO MATCH NATURAL CEDAR

FASCIA & EAVESTROUGH

TYPE : ALUMINUM COLOUR : WHITE

SOFFIT

TYPE : PRE-FIN ALUMINUM COLOUR : WHITE
TYPE : TONGUE & GROOVE COLOUR : TO MATCH NATURAL CEDAR

FRONT DOOR

TYPE : VINYL COLOUR : GREEN

WINDOWS

TYPE : VINYL COLOUR : BLACK

WINDOW GRILLS

TYPE : AS PER ELEVATIONS COLOUR : BLACK

REAR DOOR

TYPE : VINYL COLOUR : BLACK

GARAGE DOOR (IF APPLICABLE - SEE DETACHED GARAGE)

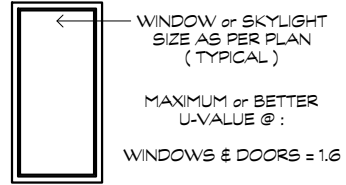
COLOUR : CHANTILLY LACE

RAILINGS

TYPE : WOOD COLOUR : CHANTILLY LACE

WINDOW PENETRATION INFORMATION & U-VALUE KEY

PRODUCT HEIGHT	10"	ROUGH
TERRAIN TYPE	ROUGH	ROUGH
PERFORMANCE CLASS	25	ROUGH
MINIMUM PERFORMANCE GRADE (PS)	25	ROUGH
MINIMUM POSITIVE DESIGN PRESSURE	1200 ps	ROUGH
MINIMUM NEGATIVE DESIGN PRESSURE	1200 ps	ROUGH
MINIMUM WATER PENETRATION RESISTANT TEST PRESSURE	250 ps	ROUGH
MINIMUM CANADIAN AIR INFILTRATION / EXFILTRATION	A2 ps	ROUGH
* AS PER NORTH AMERICAN PENETRATION STANDARD (NAPS)		



EAST (FRONT) ELEVATION

SOUTH (LEFT) ELEVATION

UNOBSTRUCTED GLASS CALC @ 1.22 m
TOTAL WALL AREA 1368.69 SQ.FT.
TOTAL WALL AREA @ 1.22 m 1182.72 SQ.FT.
MAX ALLOWABLE GLASS (7.00 %) 82.79 SQ.FT.
GLAZING ROUGH OPENING AREA 78.41 SQ.FT.

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UPPER FLOOR PLAN 1152

TOTAL ABOVE GRADE 2432
BASEMENT DEVELOPMENT 1032
GARAGE AREA 272

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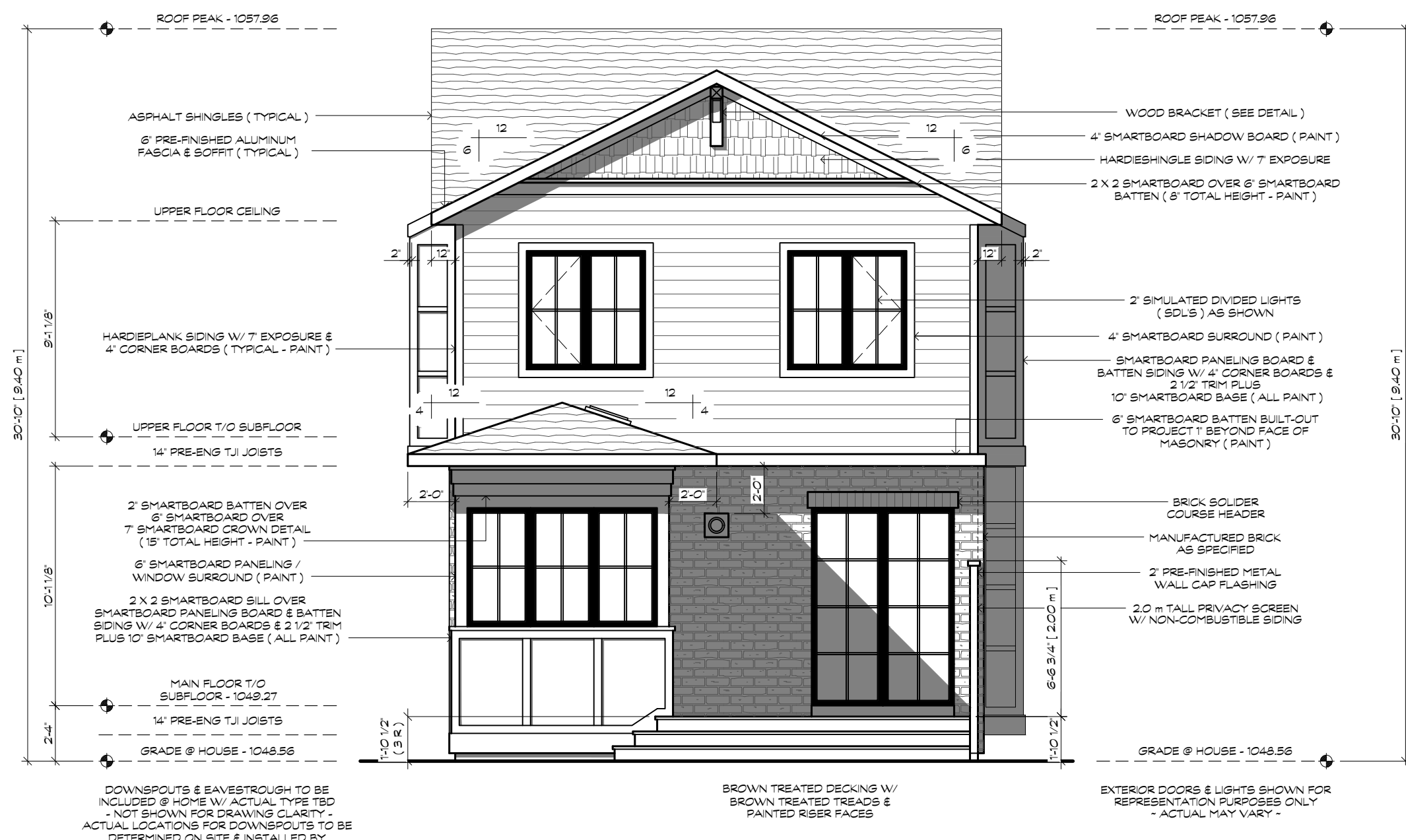
AUGUST 24, 2026

DRAWING SCALE :

3/16" = 1'-0"

PAGE / SHEET :

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WEST (REAR) ELEVATION

EXTERIOR COLOURS :

ROOF

TYPE : ASPHALT SHINGLES COLOUR : DUAL BLACK

EXTERIOR WALLS

TYPE : HARDEPANEL SIDING COLOUR : TYMBER BARK
TYPE : HARDESHAKE SIDING COLOUR : TYMBER BARK
TYPE : CANTILEVER S & S COLOUR : MONTREY-TAUPE
TYPE : BOARD & BATTEN COLOUR : IRON GRAY

MASONRY

TYPE : MANUFACTURED BRICK COLOUR : IRONSTONE MATTE
TYPE : WALL CAP / COPING COLOUR : LIMESTONE

TRIM & MILLWORK DETAILS

TYPE : SMARTBOARD COLOUR : CHANTILLY LACE
TYPE : TYMBER COLOUR : TO MATCH NATURAL CEDAR

FASCIA & EAVESTROUGH

TYPE : ALUMINUM COLOUR : WHITE

SOFFIT

TYPE : PRE-FIN ALUMINUM COLOUR : WHITE
TYPE : TONGUE & GROOVE COLOUR : TO MATCH NATURAL CEDAR

FRONT DOOR

TYPE : VINYL COLOUR : GREEN

WINDOWS

TYPE : VINYL COLOUR : BLACK

WINDOW GRILLS

TYPE : AS PER ELEVATIONS COLOUR : BLACK

REAR DOOR

TYPE : VINYL COLOUR : BLACK

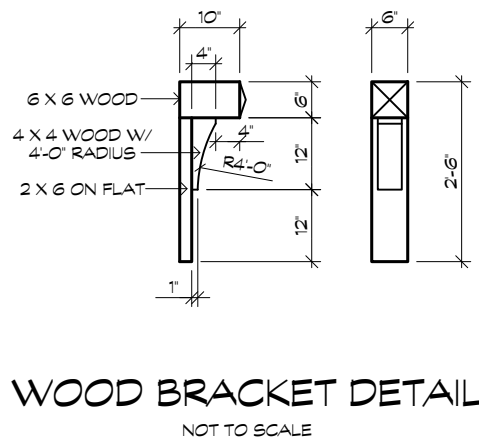
GARAGE DOOR (IF APPLICABLE - SEE DETACHED GARAGE)

COLOUR : CHANTILLY LACE

RAILINGS

TYPE : WOOD COLOUR : CHANTILLY LACE

WINDOW PENETRATION INFORMATION & U-VALUE KEY			
PRODUCT HEIGHT	10 m	ROUGH	WINDOW or SKYLIGHT
TERRAIN TYPE	10 m	ROUGH	SIZE AS PER PLAN
PERFORMANCE CLASS	10 m	ROUGH	(TYPICAL)
MINIMUM PERFORMANCE GRADE (PG)	25	ROUGH	
MINIMUM POSITIVE DESIGN PRESSURE	1200 ps	ROUGH	
MINIMUM NEGATIVE DESIGN PRESSURE	1200 ps	ROUGH	
MINIMUM WATER PENETRATION RESISTANT TEST PRESSURE	250 ps	ROUGH	
MINIMUM CANADIAN AIR INFILTRATION / EXFILTRATION	A2 ps	ROUGH	
* AS PER NORTH AMERICAN PENETRATION STANDARD (NAPS)			



WOOD BRACKET DETAIL

NOT TO SCALE



NORTH (RIGHT) ELEVATION

UNOBSTRUCTED GLASS CALC @ 1.22 m	
TOTAL WALL AREA	1366.84 SQ.FT.
TOTAL WALL AREA @ 1.22 m	1232.74 SQ.FT.
MAX ALLOWABLE GLASS (7.00 %)	86.28 SQ.FT.
GLAZING ROUGH OPENING AREA	84.70 SQ.FT.

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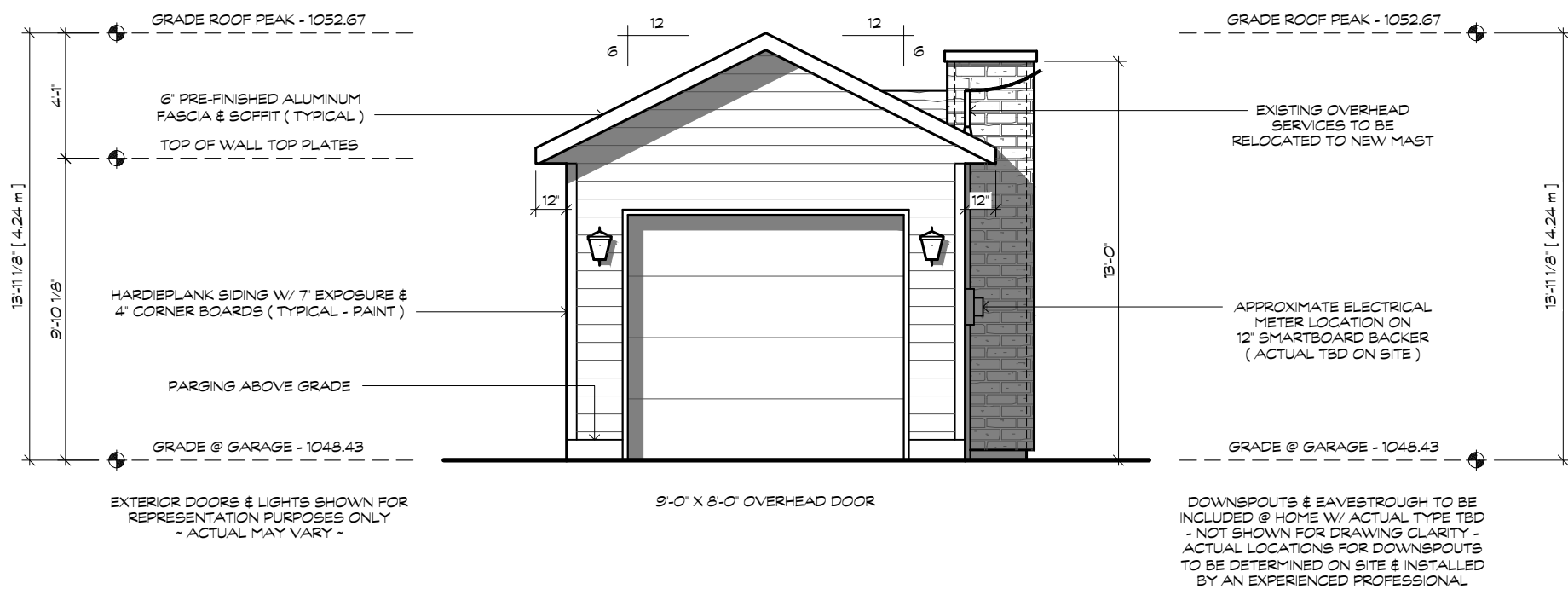
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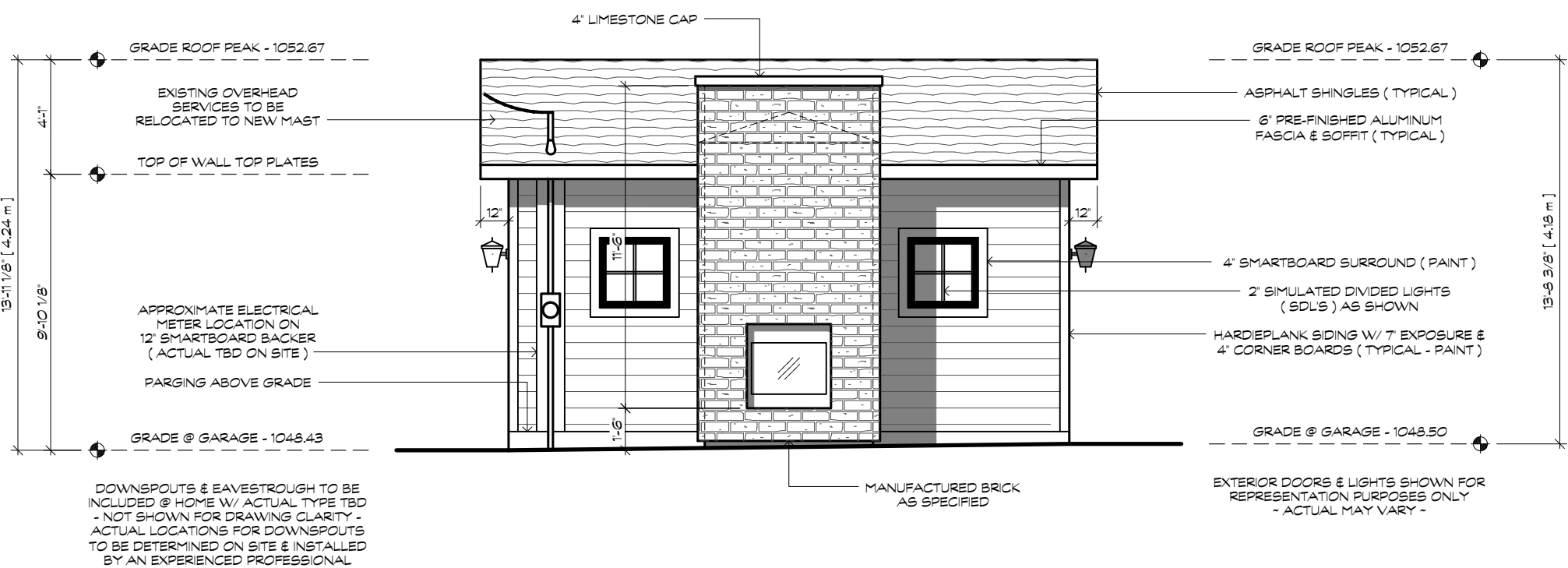
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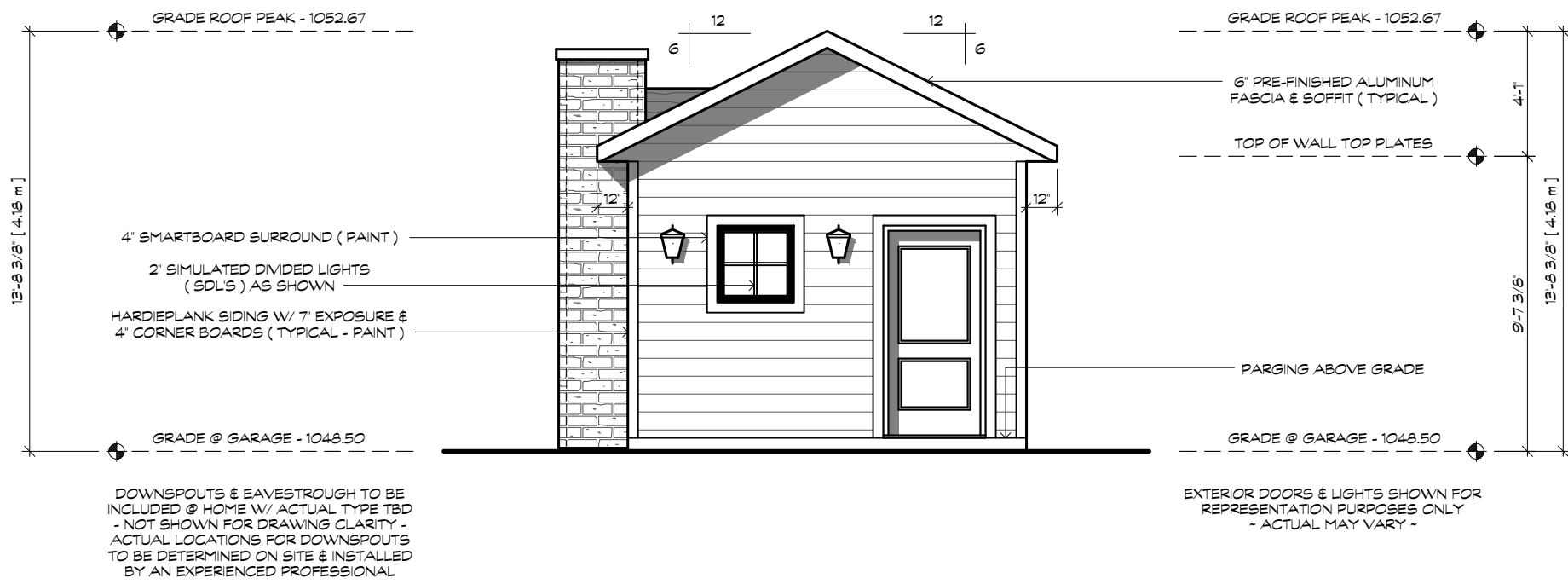
5 / 5



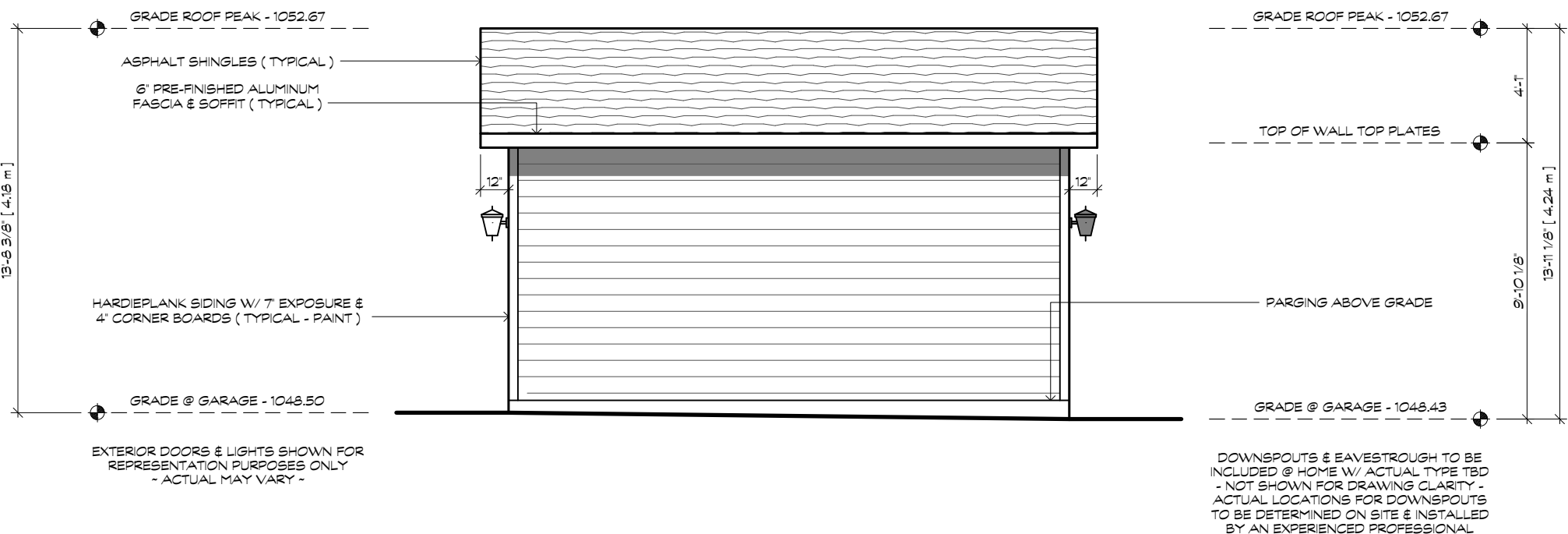
WEST (FRONT) ELEVATION



SOUTH (RIGHT) ELEVATION



EAST (REAR) ELEVATION



NORTH (LEFT) ELEVATION