



Guidelines for Electronic Circulation of Planning & Development Applications

This document is intended to provide guidelines on the proper use of electronic materials that are circulated as part of the application review process.

- The information included in the circulation package may be subject to copyright and must only be used for the review of the submitted application.
- Application materials are provided to you for the specific and sole purpose of allowing (i) members of the Community Association Planning Committee and/or Board of Directors and (ii) members of the public who would be directly affected by the application's approval (collectively, the "Identified Recipients") to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution beyond the Identified Recipients is strictly prohibited and may constitute an offense under the Copyright Act (Canada). Accordingly, any distribution of the materials to the Identified Recipients must be accompanied with the following instructions in writing:

"Application materials are provided to you for the specific and sole purpose of allowing you to review and comment on the application for a development permit for a proposed project in your area of business/residence. Please note that use of these materials for any other purpose or making further reproduction or distribution of them is strictly prohibited and may constitute an offense under the Copyright Act (Canada)."

The City will not be responsible or liable for any claim that may arise as a result of any misuse or unauthorized reproduction or distribution of the application materials by you or any Identified Recipients.

- Citizens who wish to view the plans can do so at the Municipal Building (800 Macleod Trail S.E.) by contacting either the File Manager or the Circulation Department at 403.268.5744 or dp.circ@calgary.ca
- The information provided must not be made available on the internet.

Should anyone wish to obtain additional information regarding the application, please contact the File Manager directly.



Application Notice DP2026-04868

August 27, 2026

A new Development Permit Application has been submitted at the below noted address(es), and we are sending this information for comments.

If you have questions or concerns related to this application, please contact the file manager directly at any point in the process.

Application Details

File Number: DP2026-04868

File Manager: Cindy Cheng

Phone: (368) 887-0731 **eMail:** Cindy.Cheng@calgary.ca

Address: 1424 20 ST NW

Legal: 1161GJ;2;22

Land Use Bylaw: 1P2007

L.U.D.: R-C1

Community: HOUNSFIELD HEIGHTS/BRIAR HILL

Ward: 07

Application Description: New: Backyard Suite (garage), Accessory Residential Building (garage)

Thank you for taking the time to respond. Your input is greatly appreciated.

Please note that any written submissions made in response to the application will form part of the official record, and upon final decision of the application the correspondence will be available for public viewing.

Please submit your response through the [Development Map link](#).

Comments are due by: September 17, 2026

This information is released and may only be used for the sole purpose of your organizations meeting to discuss the recommendations of comments to be made to the City of Calgary on this permit.



FRONT LEFT PRESPECTIVE



FRONT RIGHT PRESPECTIVE



REAR LEFT PRESPECTIVE

NOTES

Do not scale drawings

Dimensions are "best representations" and may be adjusted due to site conditions.

All dimensions are to be verified prior to construction. Report any errors, discrepancies, or omissions to the consultant.

All dimensions are taken from face of existing finishes, unless otherwise noted.

All dimensions are in feet and inches unless otherwise noted.

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NW
CALGARY, AB

BACKYARD SUITE
PRESPECTIVES

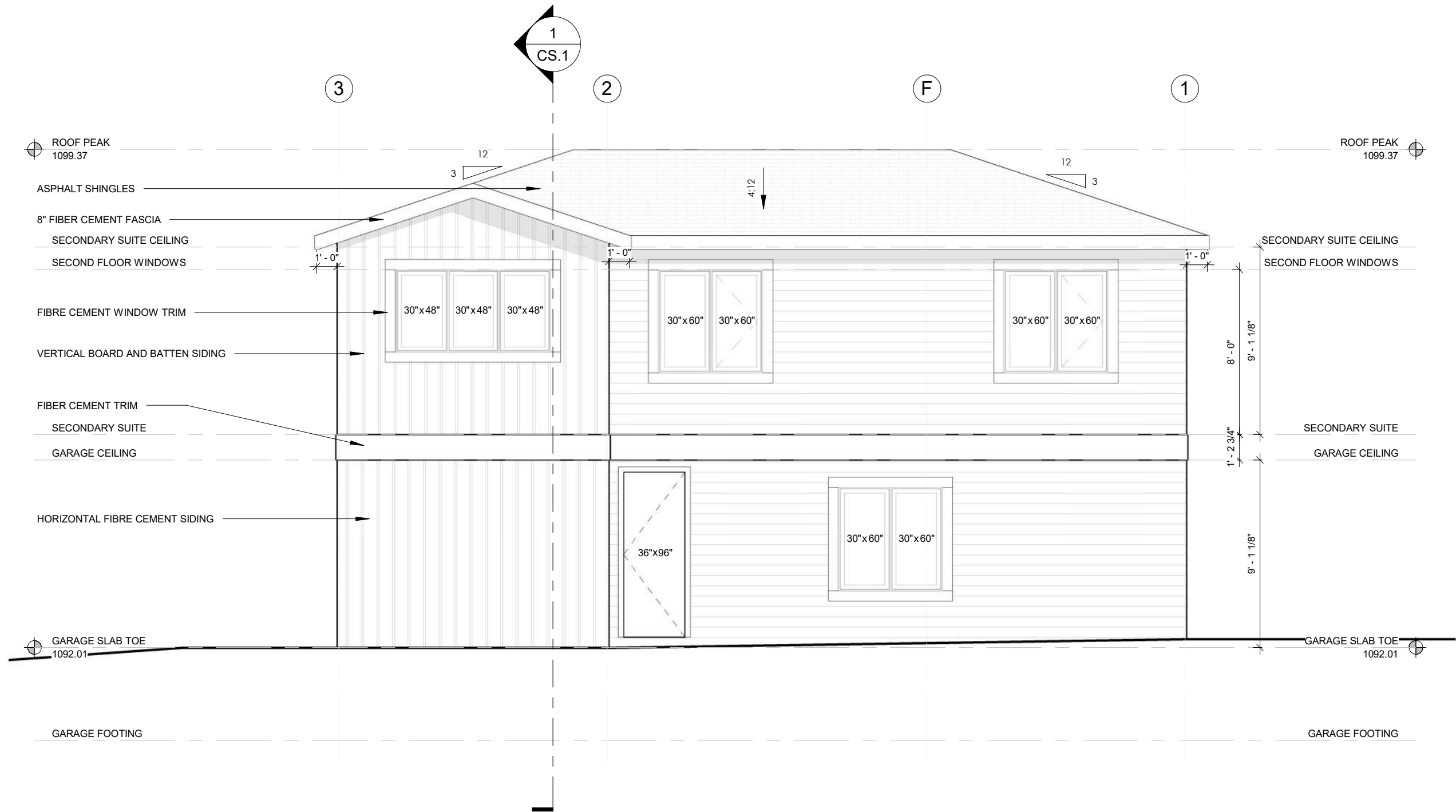
INTERIOR DESIGNER
PINNACLE

DRAWN BY:
BP

DRAWING DATE
2026-08-21 12:23:05 PM

SCALE

PAGE A.0



FRONT ELEVATION

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FRONT
ELEVATION

INTERIOR DESIGNER

PINNACLE

DRAWN BY:

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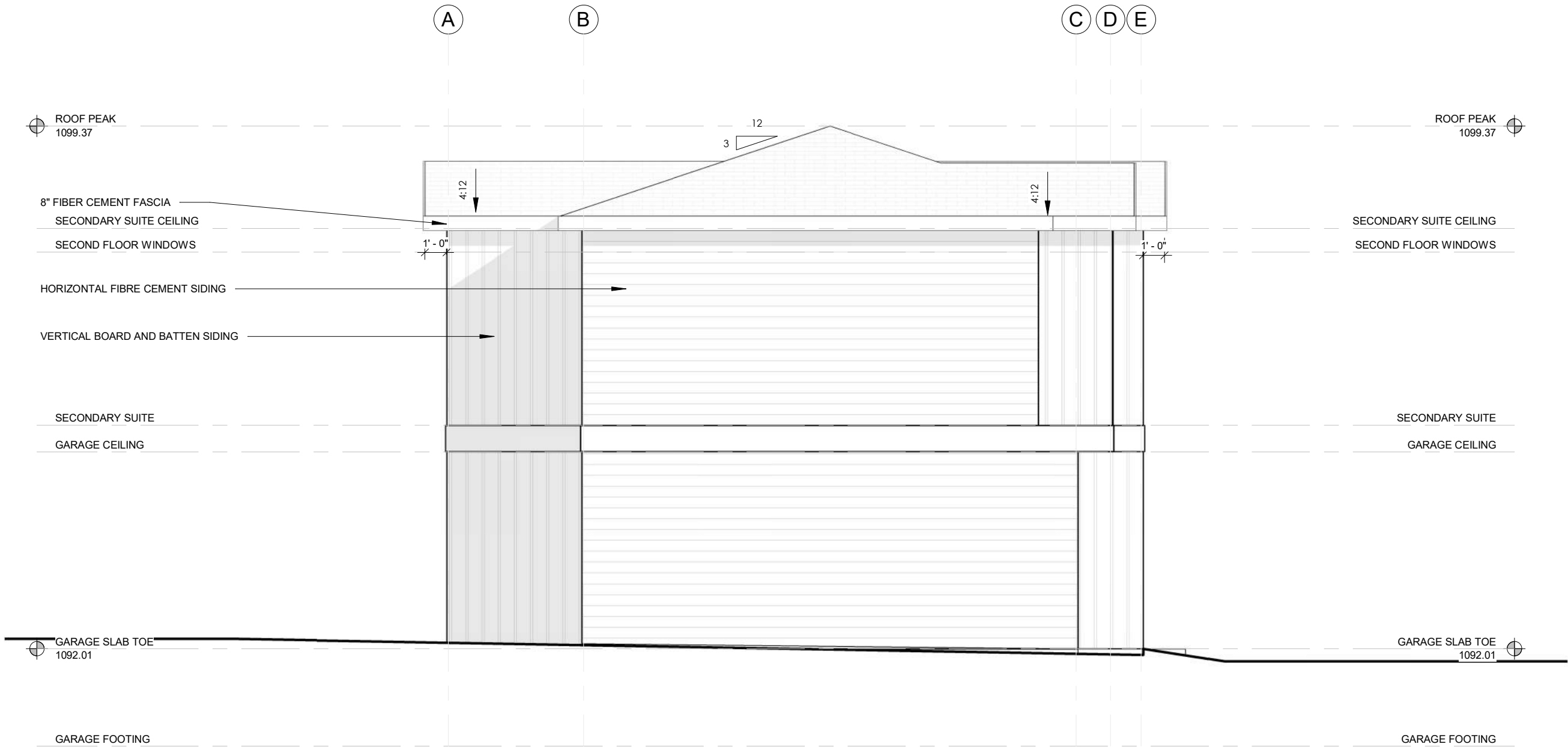
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SCALE

3/16" = 1'-0"

PAGE A.1



LEFT ELEVATION

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LEFT ELEVATION

INTERIOR DESIGNER

PINNACLE

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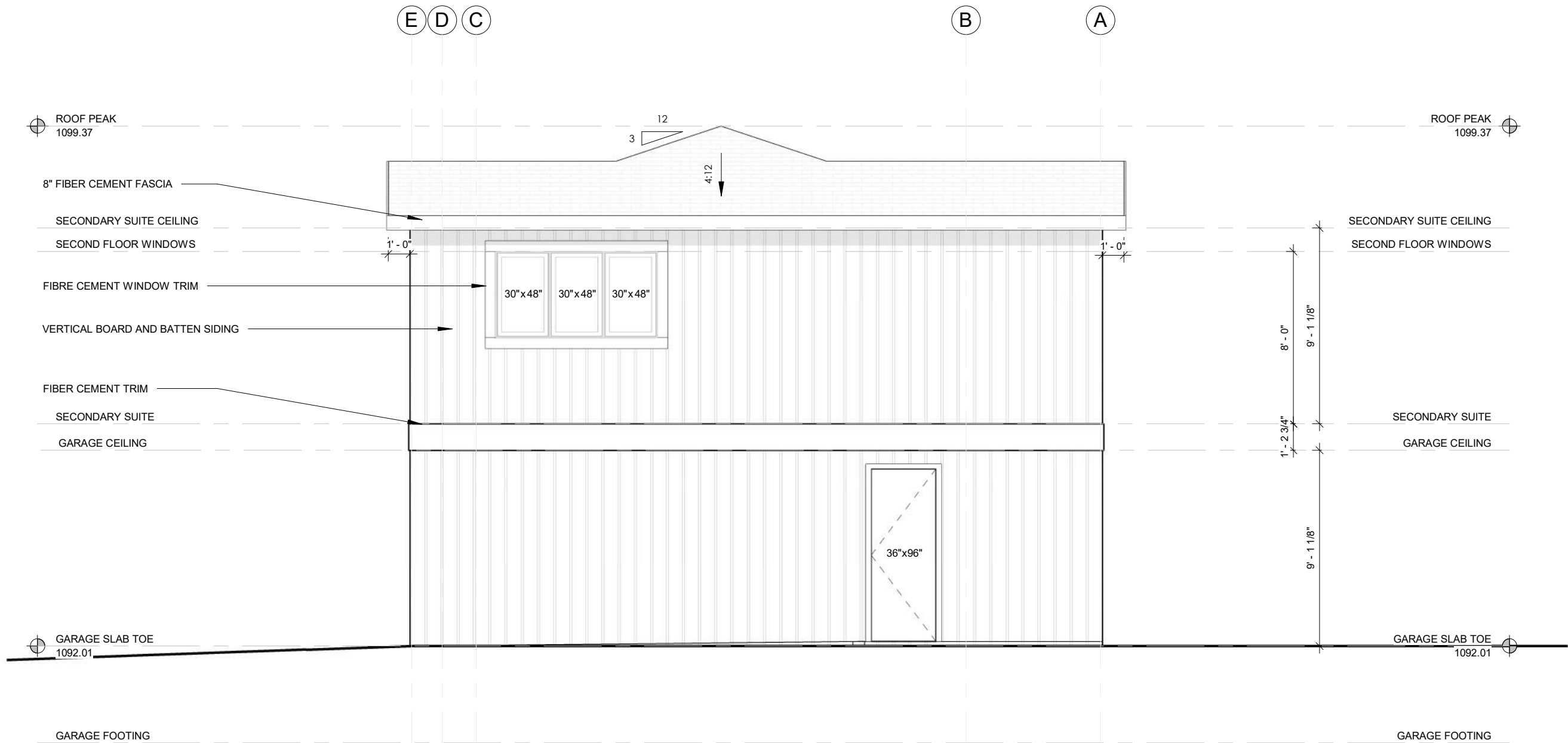
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SCALE

3/16" = 1'-0"

PAGE A.2



RIGHT ELEVATION

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RIGHT
ELEVATION

INTERIOR DESIGNER

PINNACLE

DRAWN BY:

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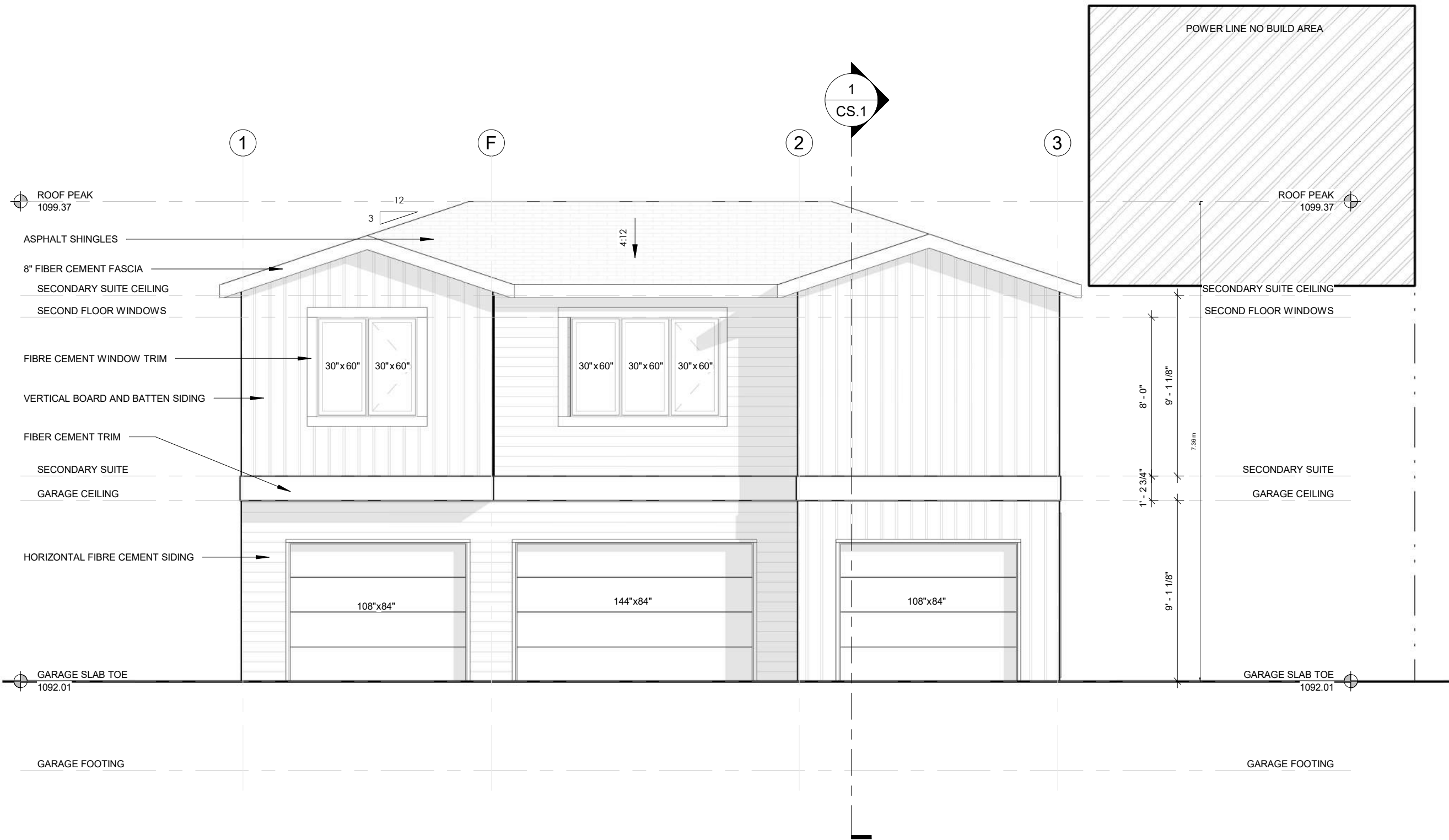
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3/16" = 1'-0"

PAGE A.3



REAR ELEVATION

NOTES

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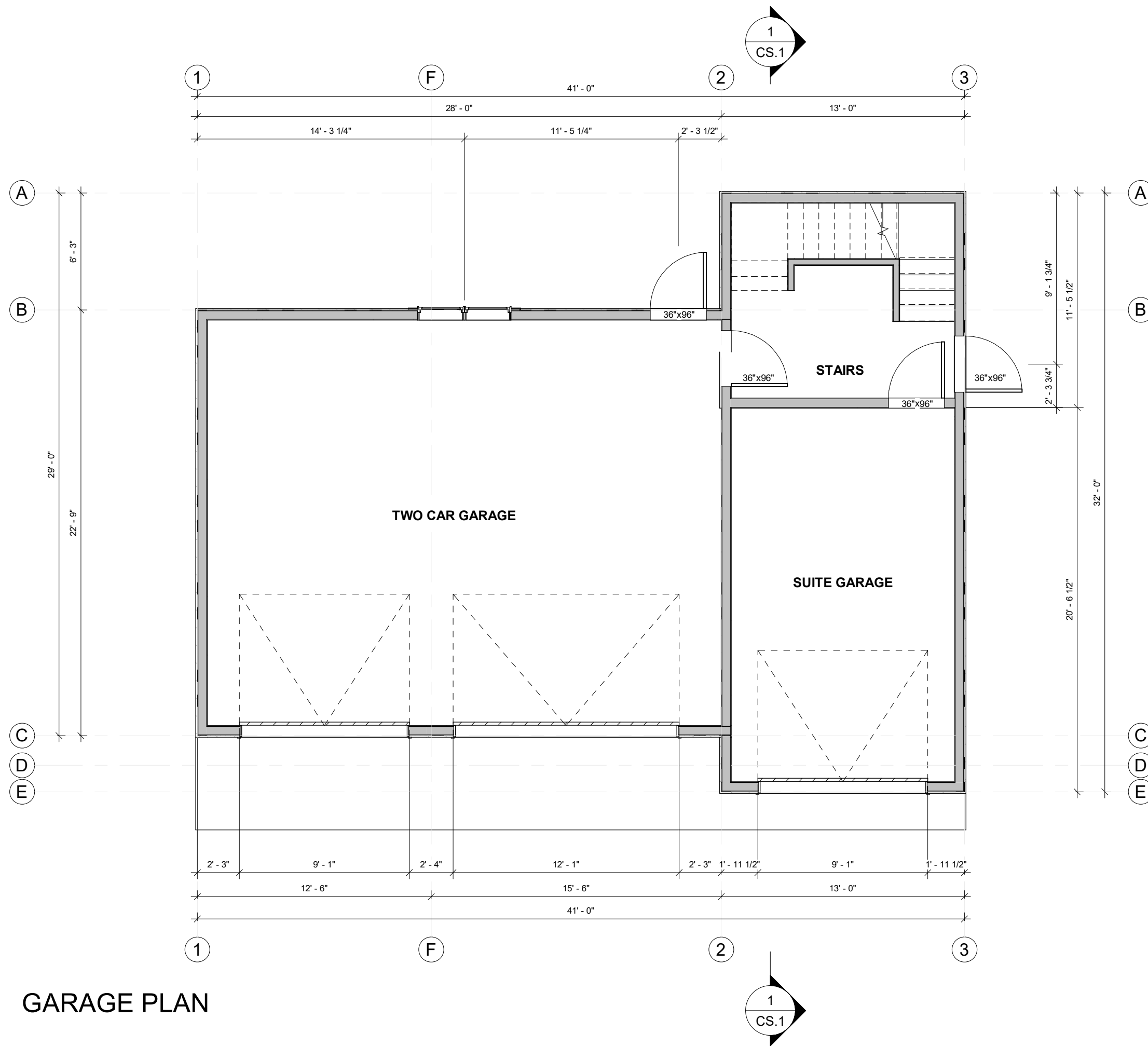
REAR ELEVATION

INTERIOR DESIGNER
PINNACLE

DRAWN BY:
BP

DRAWING DATE
2026-08-21 12:23:15 PM

SCALE
3/16" = 1'-0"



GARAGE PLAN

NOTES

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GARAGE PLAN

SUITE	978 SF
Garage	1053 SF

INTERIOR DESIGNER

PINNACLE

DRAWN BY:

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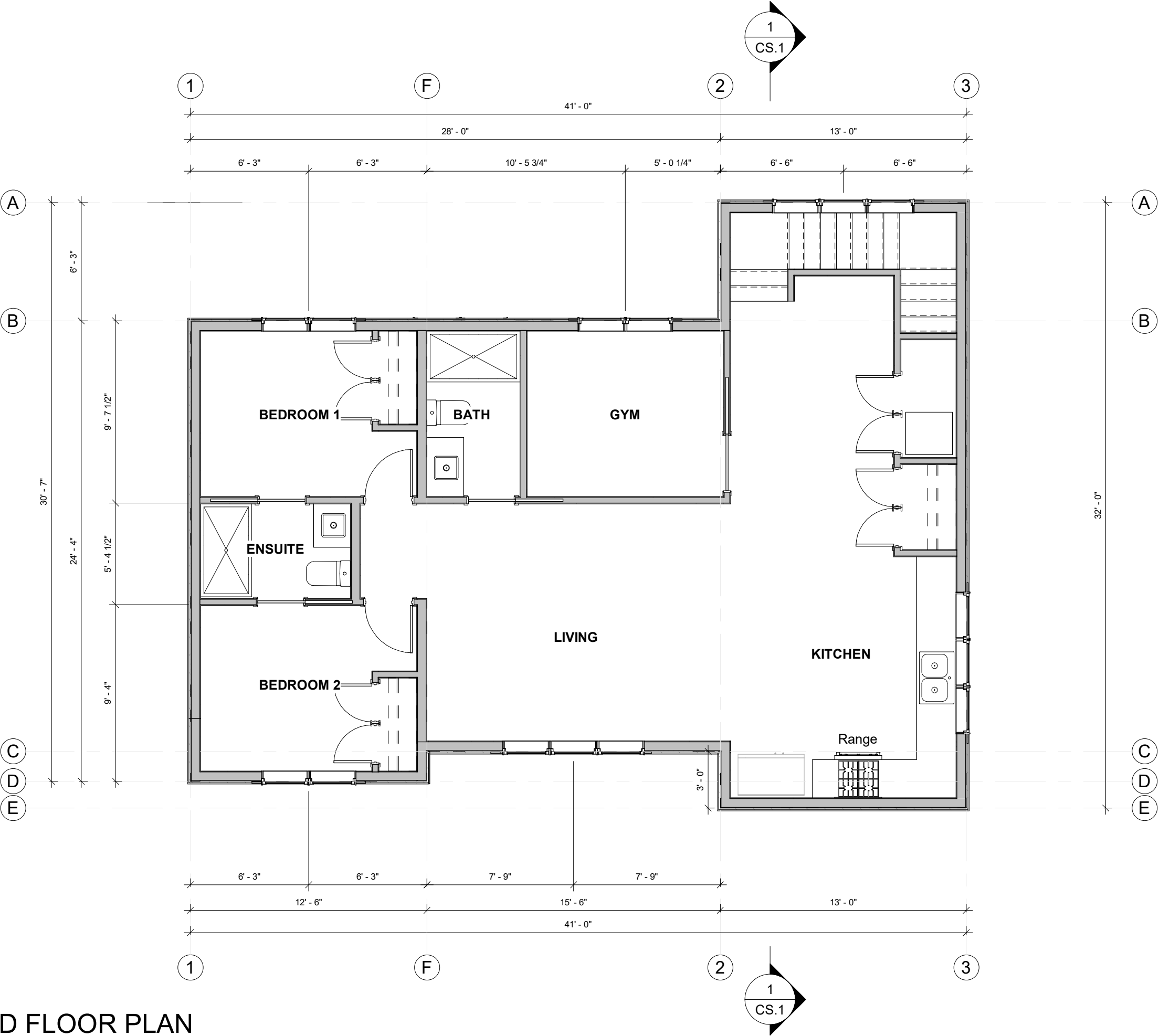
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SCALE

3/16" = 1'-0"

SECOND FLOOR PLAN



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CALGARY, AB

SUITE PLAN

SUITE	978 SF
Garage	1053 SF

INTERIOR DESIGNER

Designer

DRAWN BY:

Author

DRAWING DATE

2026-08-21 12:23:17 PM

SCALE

3/16" = 1'-0"



SECTION 1

NOTES

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SECTION

INTERIOR DESIGNER

PINNACLE

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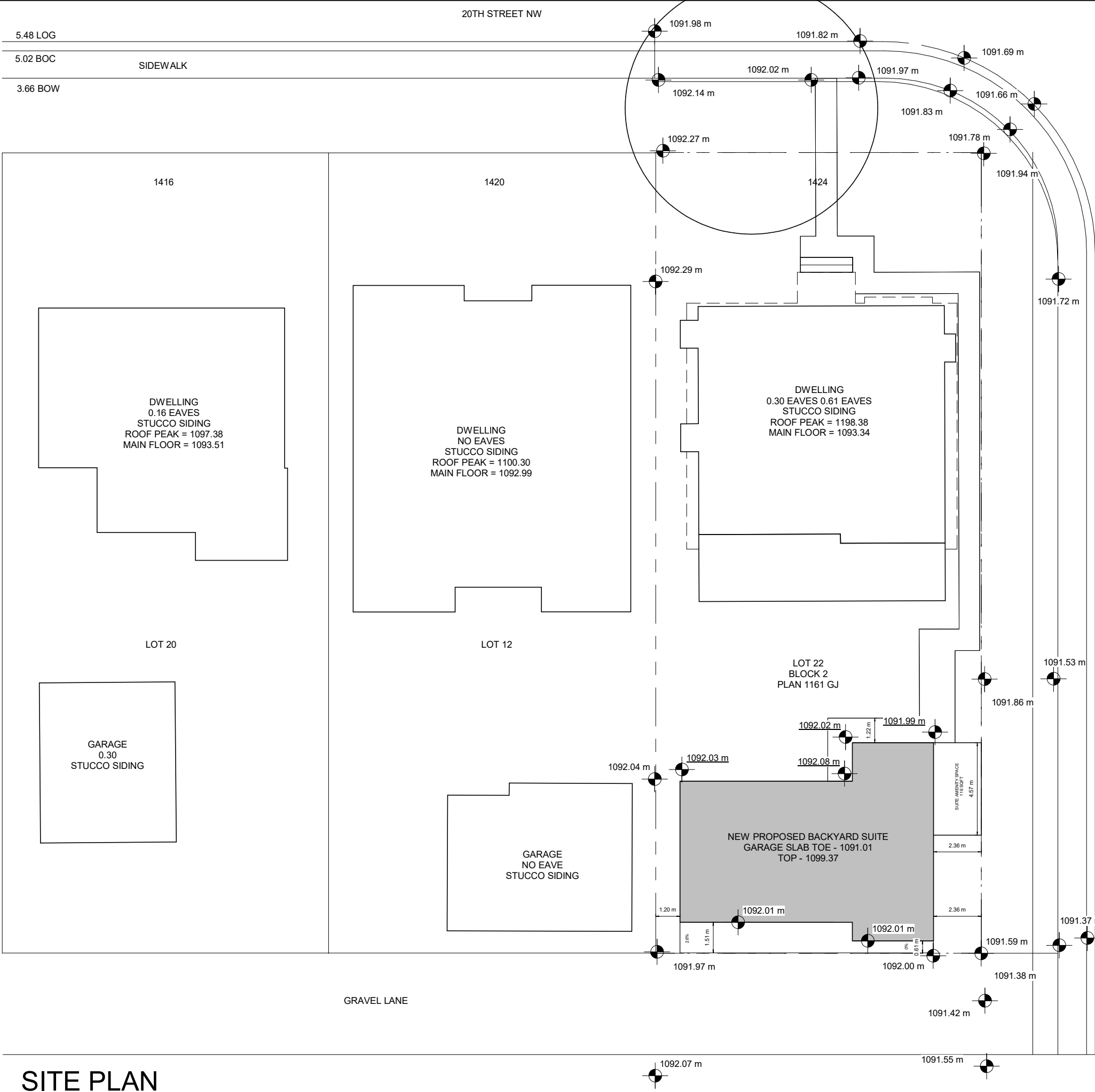
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SCALE

3/16" = 1'-0"

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CONTEXTUAL BYLAW REVIEW NOTES

BYLAW: CITY OF CLAGARY LAND USE BYLAW 1P2007

CURRENT ZONING: R-C1 RESIDENTIAL

COMMUNITY: HOUNSFIELD HEIGHTS/BRIAR HILL

SIDE SETBACK: 1.2M

REAR SETBACK: 0.60M

SITE: 6871 SF
PARCEL COVERAGE: 45% MAXIMUM
MAX. 3091 SQFT
DWELLING: 1540 SQFT
BACKYARD SUITE: 1065 SQFT
TOTAL: 2605 SQFT 36%

MAX: BUILDING HEIGHT 7.5M
CURRENT BUILDING HEIGHT 7.36M

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SITE PLAN

INTERIOR DESIGNER

Designer

DRAWN BY:

Author

DRAWING DATE

2026-08-20 8:25:36 PM

SCALE

1 : 200

PAGE S.1

SITE PLAN