

This is a **contextual** application

What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



Contextual Single Detached Dwelling

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

- ☒ The City
- ☒ The public

Single Detached Dwelling

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

- ☒ The City
- ☒ The public

Tip: Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

Contextual Single Detached dwelling applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

What if the application does not meet the rules?

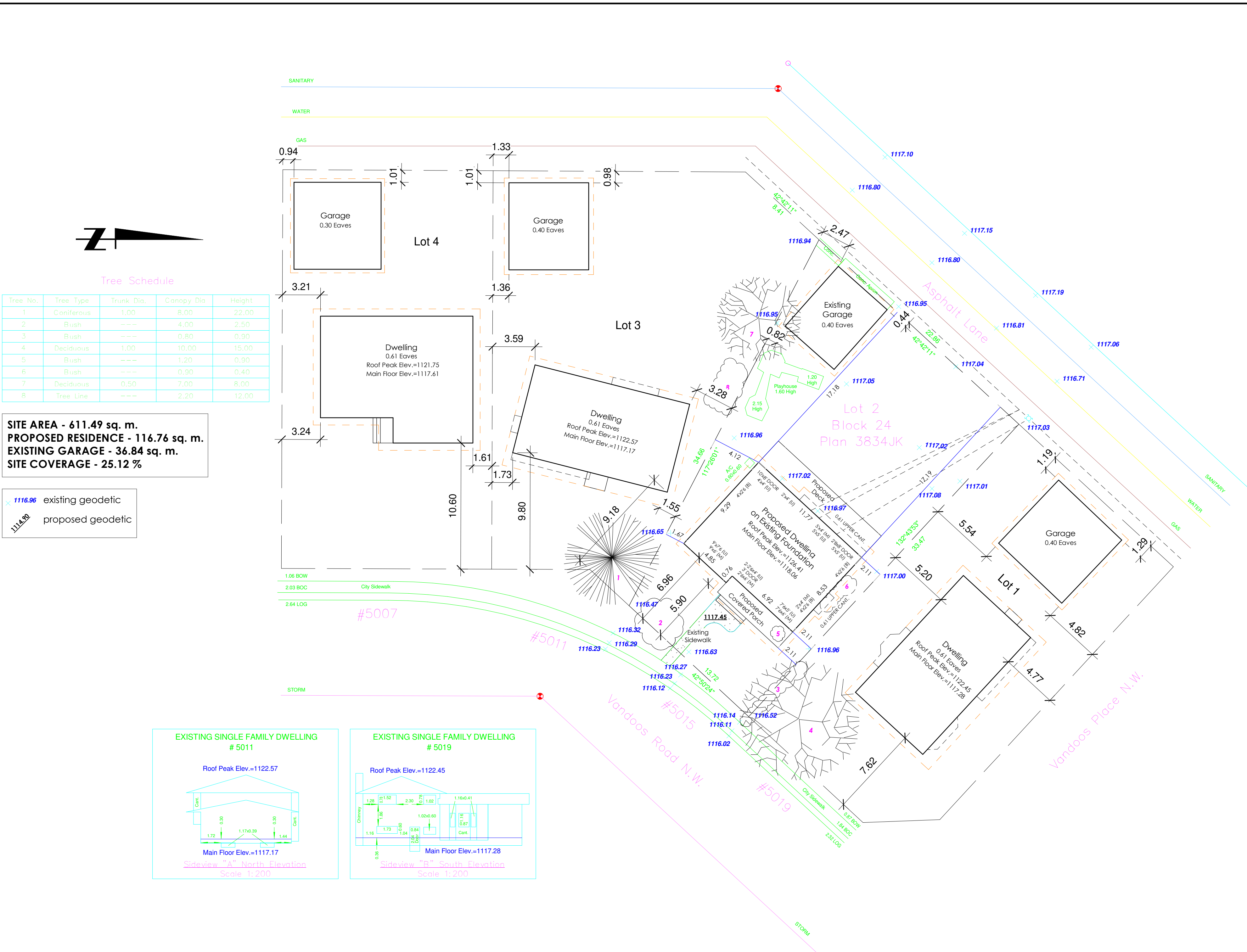
If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Single Detached** dwelling which would allow The City and the public to comment.

The City has reviewed this application and determined that it meets the contextual rules.

These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.

Learn more at:
Calgary.ca/development



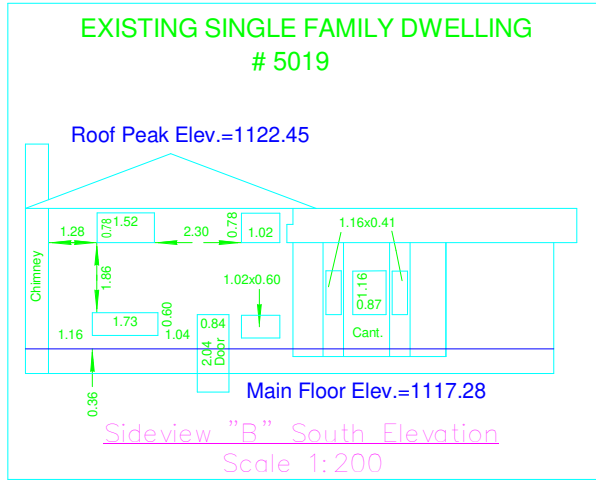
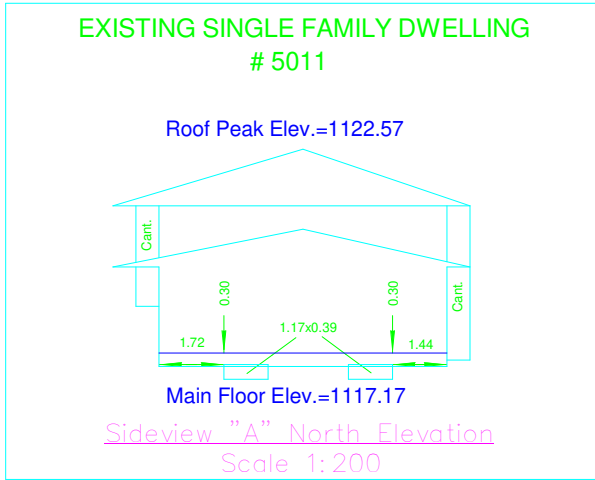


Tree Schedule

Tree No.	Tree Type	Trunk Dia.	Canopy Dia	Height
1	Coniferous	1.00	8.00	22.00
2	Bush	---	4.00	2.50
3	Bush	---	0.80	0.90
4	Deciduous	1.00	10.00	15.00
5	Bush	---	1.20	0.90
6	Bush	---	0.90	0.40
7	Deciduous	0.50	7.00	8.00
8	Tree Line	---	2.20	12.00

SITE AREA - 611.49 sq. m.
PROPOSED RESIDENCE - 116.76 sq. m.
EXISTING GARAGE - 36.84 sq. m.
SITE COVERAGE - 25.12 %

1116.96 existing geodetic
1116.20 proposed geodetic



SITE & BLOCK PLAN

mkm design

mark k. matsubara, b.e.s. (arch), a.t.
residential design

p 403.938.7908
c 403.601.7306
mkmdesign@shaw.ca

MELANSON
Homes & Renovations

DESIGNER: M. k. M.	DATE: Aug. 20, 2026
REVISED BY:	DATE: REVISION:

PRINTED:
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ALL DIMENSIONS INDICATED
ARE FOR FRAMING PURPOSES AND
ARE TO BE CONFIRMED ON SITE

DRAWING NAME:
SITE & BLOCK PLAN

SCALE: 1 : 200

MODEL:
New Detached
Single-Family Dwelling

FLOOR AREA'S (sq.ft.)
Main:
Upper:
Total:
Basement:
Garage:

STATUS: DP APPLICATION SET

SIGNATURES:

X _____

X _____

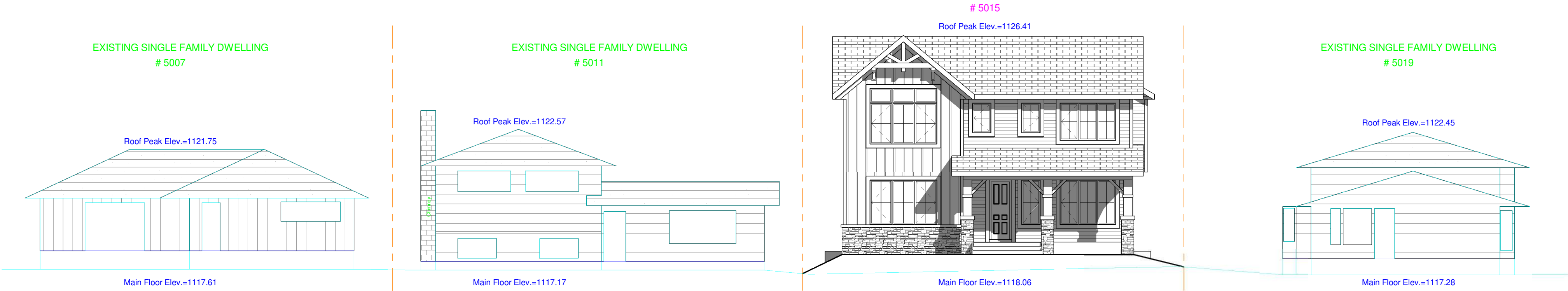
CLIENT:

ADDRESS:
5015 Vandoos Road NW

LEGAL:
Lot 2, Block 24, Plan 3834JK

JOB #:

SHEET:
S - 1



STREETSCAPE

mkm

mkm design

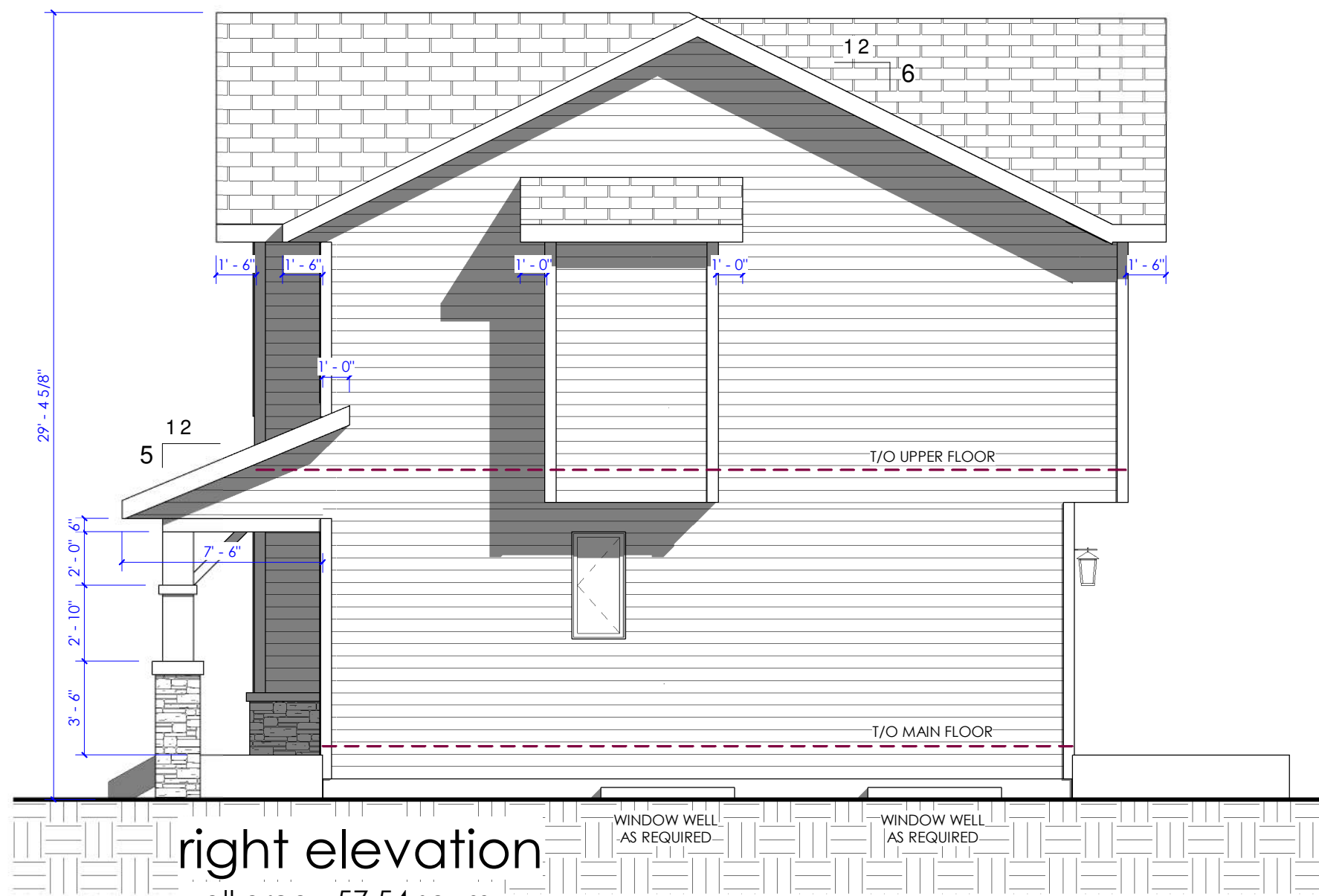
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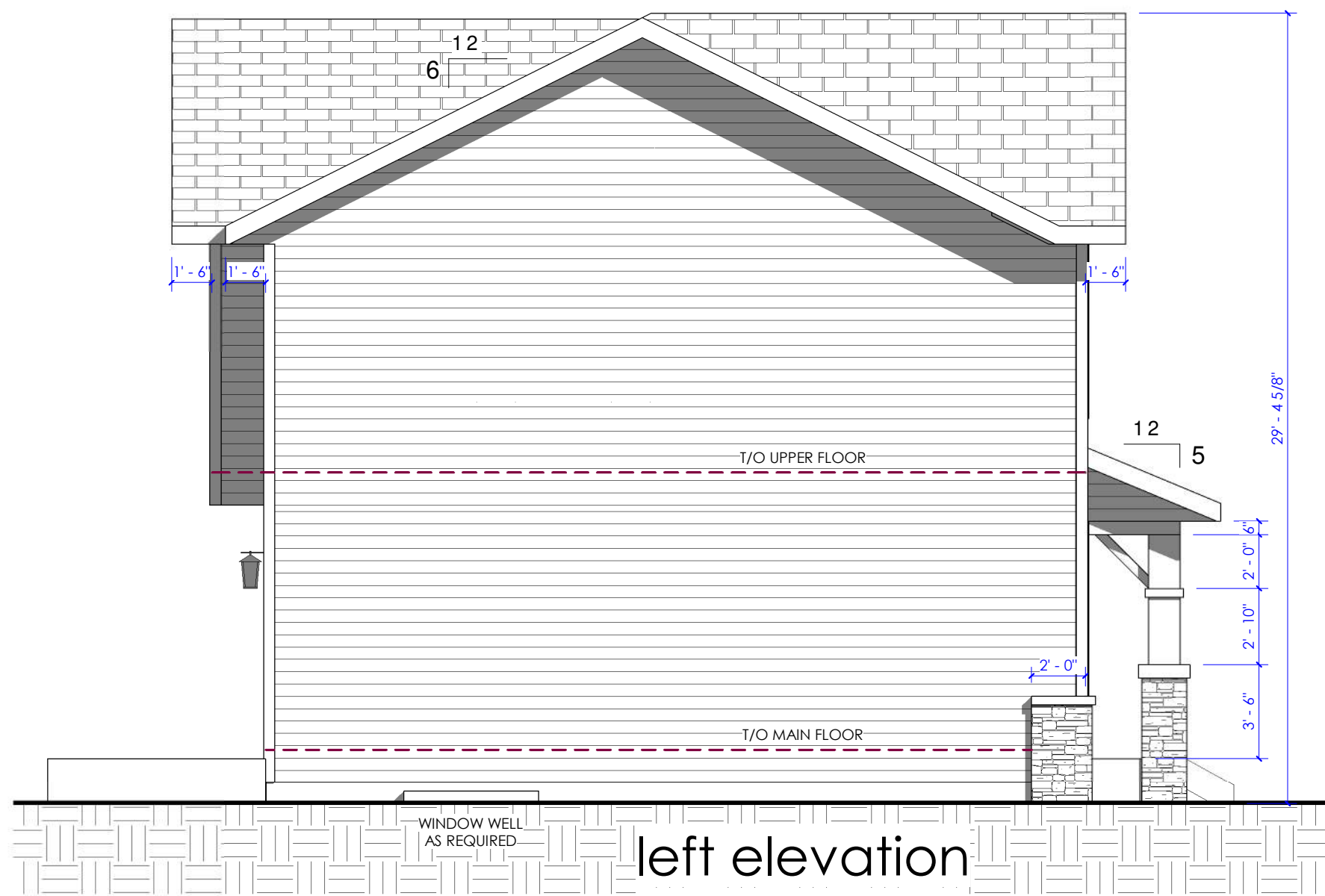
Homes & Renovations

DESIGNER: M. k. M.	DATE: Aug. 19, 2026
REVISED BY:	DATE: REVISION:
PRINTED: 2026-08-20 7:28:35 PM	
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DRAWING NAME: STREETSCAPE	
SCALE: 1" = 10'-0"	
MODEL: New Detached Single-Family Dwelling	
FLOOR AREA'S (sq.ft.)	
Main:	
Upper:	
Total:	
Basement:	
Garage:	
STATUS: DP APPLICATION SET	
SIGNATURES:	
X _____	
X _____	
CLIENT:	
ADDRESS: 5015 Vandoos Road NW	
LEGAL: Lot 2, Block 24, Plan 3834JK	
JOB #:	
SHEET: A - 1	



right elevation

wall area - 57.54 sq. m.
unprotected openings - 1.08 sq. m.
% unprotected openings - 1.88 %



left elevation

wall area - 60.55 sq. m.
unprotected openings - 0.17 sq. m.
% unprotected openings - 0.28 %

RIGHT & LEFT ELEVATIONS