

PROJECT INFORMATION

- DRAWINGS ARE NOT TO BE SCALED
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE
- BUILDER IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS + INFORMATION ON DRAWINGS
- ANY DISCREPANCIES MUST BE REPORTED TO SDP FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- **ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED**
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK

LEGAL ADDRESS:

PLAN: 151 0242
BLOCK: 36
LOT: 8

PROPERTY INFORMATION:

LAND-USE DISTRICT = DC 1Z98
YEAR OF CONSTRUCTION = 2018
WALK-OUT = ☐ YES / ☒ NO
FLOOD FRINGE = ☐ YES / ☒ NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = ☐ YES / ☒ NO
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = ☐ YES / ☒ NO
LANLESS LOT = ☒ YES / ☐ NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = ☒ YES / ☐ NO
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING = ☐ YES / ☒ NO
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES = ☐ YES / ☒ NO
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT = ☐ YES / ☒ NO
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) = ☐ YES / ☒ NO
*IF YES: SHOW ON SITE W/ GEODETICS

Drawing List

- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 Project Specific Notes
- A1.0 Site Plan
- A2.0 Floor Plan
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A4.0 Sections
- S1.0 Louver Details
- S1.1 Louver Details
- S1.2 Louver (Misc. Details)
- S1.3 Pergola (Solid Roof)



Email: rob@sevendaypermits.ca
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• SCREW PILES: TORQUE REPORT
• SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS
CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

GENERAL CONTRACTOR

SUNCOAST



ENCLOSURES™

ENGINEER

PROJECT SCOPE

- ATTACHED PERGOLA
- -
- -

RELAXATIONS

- REAR SETBACK
- -
- -

1014 DORCHESTER AVE SW
CALGARY, AB

ATTACHED PERGOLA

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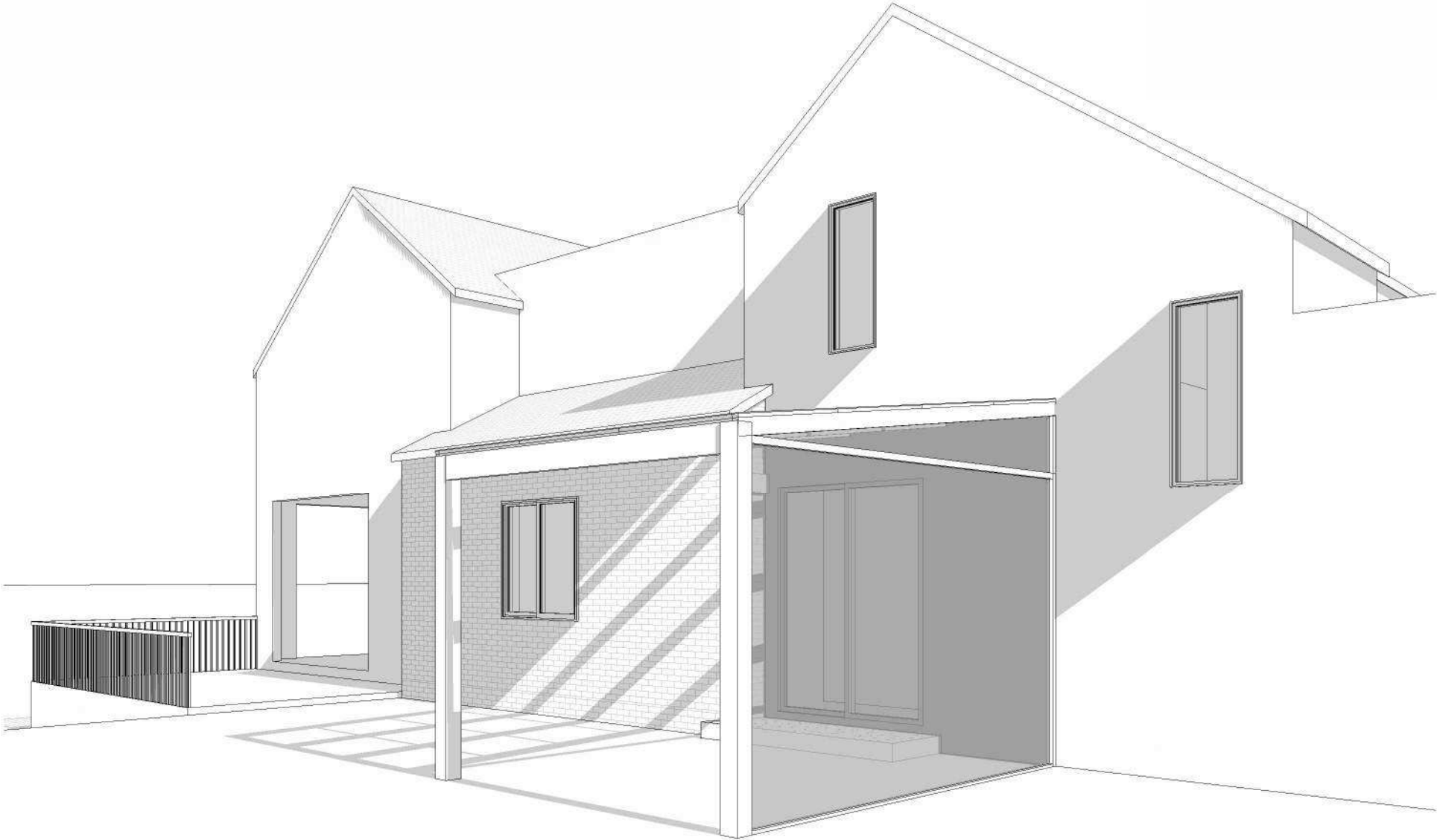
Cover Sheet

Project : 2026-376DP

Scale:

Drawn By: RFC

A0.0



Stair Type	Rectangular Treads, Tapered Treads and Winders	
	Rise, mm	
	Max.	Min.
Private ⁽¹⁾	200	125
Public ⁽²⁾	180	125

Stair Type	Rectangular Treads	
	Run, mm	
	Max.	Min.
Private ⁽¹⁾	355	255
Public ⁽²⁾	No limit	280

NOTE:
ARCHITECTURAL PLANS INCLUDE COLOR SPECIFIC
NOTES/LEGENDS/HATCHES **PLANS MUST BE PLOTTED IN COLOR**



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SITE PLAN HATCH

EXISTING STRUCTURES

CANTILEVER (MAIN)

CANTILEVER (2nd)

EXISTING DECK

EXISTING BALCONY

EXISTING PORCH

DRIVEWAY / SIDEWALK

PROPOSED (PRIMARY)

PROPOSED (SECONDARY)

PROPOSED NEW OPENING

WALL LEGENDS

EXTERIOR WALL LEGEND:

EXISTING WALL

PROPOSED WALL

RATED WALL

GARAGE COMMON WALL

BACKYARD SUITE COMMON WALL

TALL WALL

SPRAY FOAM WALL

INTERIOR WALL LEGEND:

EXISTING WALL

PROPOSED WALL

BARING WALL

PLUMBING WALL

SUITE SEPARATION WALL

WALL + DOOR TAGS

DOOR TAG

(EXISTING)

32.00"

WIDTH

HEIGHT

(PROPOSED)

2'-8"

6'-5"

WIDTH

HEIGHT

WINDOW TAG

(EXISTING)

48.00"

30.00"

WIDTH

HEIGHT

(PROPOSED)

2'-0"

7'-6"

WIDTH

HEIGHT

LINE STYLES

PROPERTY LINE

SITE SETBACKS

EAVES

ELECTRICAL PLAN

BEAM

FURNITURE

DEMO

ROW'S

REVISIONS

1

PROJECT SCOPE

CALLOUT LEGEND

W1

CONCRETE WALL ASSEMBLY

W2

EXTERIOR WALL ASSEMBLY

W3

INTERIOR WALL ASSEMBLY

W4

DETACHED GARAGE ASSEMBLY

F1

CONCRETE FLOOR ASSEMBLY

F2

ENGINEERED FLOOR ASSEMBLY

F3

BALCONY FLOOR ASSEMBLY

F4

DIMENSIONAL FLOOR ASSEMBLY

F5

SUITE FLOOR ASSEMBLY

R1

ENGINEERED ROOF ASSEMBLY

R2

ENGINEERED FLAT-ROOF ASSEMBLY

R3

DIMENSIONAL FLAT-ROOF ASSEMBLY

R4

ROOF ASSEMBLY (NON 9.36)

TEXT STYLES

TYPICAL NOTES

NEW CHANGES

STRUCTURAL NOTES

P.ENG COMMENTS

DEMOLITION NOTES

ELEVATION CALLOUT

ROOM DESIGNATION

EXISTING GEO

PROPOSED GEO

EXISTING / AS-BUILT NOTES

DIMENSION STYLES

0' - 2"

INTERIOR (EXISTING)

0' - 2"

INTERIOR (PROPOSED)

0.17 m

AS-BUILT MEASUREMENTS

0' - 2"

STRUCTURE

0' - 2"

DEMOLITION

0' - 2"

(0.05m)

SITE (EXISTING)

0' - 2"

(0.05m)

SITE (PROPOSED)

0' - 2"

(0.05m)

SITE (SPATIAL SEPARATION)

0' - 2"

(0.05m)

SITE (BYLAW)

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CALGARY, AB

ATTACHED PERGOLA

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Drawing Legends	
Project :	2026-376DP
Scale:	As indicated
Drawn By:	RFC

A0.1

DECKS:

General Conditions - Other - Division B 9.23.9.4. Provide blocking/bridging between joists, provide blocking no more than 2.1 m / 6'-10 11/16" away from each support (beam, ledger, etc.), or other rows of blocking/bridging.

General Conditions - Other - Division B, 9.17.2.2. 1) Columns must be securely fastened to the supported member to reduce/limit lateral differential movement between column & supported member. Columns must be laterally supported to resist racking: directly, or by connection to the supported members.

General Conditions - Other - Division B, 9.23.2.1. - Strength and Rigidity - All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.

General Conditions - Other - Division B, 9.8.8.6. Required guards shall not have members / openings that facilitate climbing.

General Conditions - Other - Division B, 9.8.8.5.1. Openings through any guard required by article 9.8.8.1 shall be of a size that will prevent the passage of a spherical object with a diameter of 100 mm (4")

General Conditions - Other - Division B 9.23.9.9. Joists & beams shall not be cantilevered more than 600 mm (24") beyond their supports.

General Conditions - Other - Division B, 9.8.9.3. Exterior wood steps shall not be in direct contact with the ground unless treated with a wood preservative.

General Conditions - Other - Division B, 9.8.7.1. 3) Handrails are required for stairs that have more than 3 risers.

Stairs Ramps Handrails & Guards - Division B 9.8.8.3 Height of Guards - Ensure a guardrail height of no less than 1,070 mm (3'- 6") where the difference in elevation from grade to walking surface exceeds 1.8 m (6'). For differences in elevation from grade to walking surface 1.8 m (6') or less, provide a guardrail height of no less than 900 mm (3').

General Conditions - Other - Division B, 9.8.7.4. 1) The height of handrails on stairs & ramps shall be measured vertically from the top of the handrail to a straight line drawn tangent to the tread nosing of the stair served by the handrail, or the surface of the ramp, floor or landing served by the handrail. The height of handrails on stairs & ramps shall be not less than 865 mm (34 1/16"), & not more than 965 mm (38"). Where guards are required, handrails required on landings shall be not more than 1070 mm (42 1/8") in height.

General Conditions - Other - Division B, 9.8.4.1. Risers shall be of uniform height in any one flight, with a maximum tolerance of 6 mm between adjacent treads or landings, & 6 mm between the tallest & shortest risers in a flight. Treads shall have a uniform run & tread depth, with a maximum tolerance of 6 mm between adjacent treads, & 6 mm between the deepest & shallowest runs & treads in a flight. Cross-slope of treads shall not exceed 1:100.

General Conditions - Other - Division B, Table 9.8.4.2. All Steps shall have a maximum rise of 200 mm (7 7/8") & a minimum rise of 125 mm (4 15/16"), a maximum run of 355 mm (14") & a minimum run of 210 mm (8 1/4"). & a maximum tread depth of 355 mm (14") & a minimum tread depth of 235 (9 1/4").

General Conditions - Other - Division B, 9.8.9.4. Wooden stair stringers shall have a min. effective depth of 90 mm (3 5/8"), measured perpendicularly to bottom of stringer at the point of min. cross- section, & an overall depth of not less than 235 mm (9 1/4"), be supported & secured top & bottom, be not less than 25 mm (1") in actual thickness if supported along their length & 38 mm (1 1/2") actual thickness if unsupported along their length, & be spaced not more than 900 mm (35 7/16") o.c. Where risers support the front portion of the tread, the space between stringers shall be not more than 1200 mm (47 1/4").

General Conditions - Other - Division B 9.8.8.7. Glass in Guards shall be safety glass of the laminated or tempered type conforming to CAN/CGSB-12.1-M "Tempered or Laminated Safety Glass". NOTE: GLASS IN GUARDS MUST BE STAMPED WITH "CAN/CGSB-12.1-M".

SCREEN ROOMS/ATTACHED PERGOLAS: (IN ADDITION TO DECK NOTES)

General Conditions - Permit Scope - Scope of this permit is limited to an unconditioned screened sunroom being added to an existing building. This structure does not include glazing.

General Conditions - Other - Division B, 9.23.2.1. - Strength and Rigidity - All members shall be so framed, anchored, fastened, tied and braced to provide the necessary strength and rigidity.

Professional Involvement - Division C 2.4.2.1 Field Review - Provide a field review bearing the seal of registered professional engineer for the manufactured sunroom structure, its attachment to existing building and the supporting structure at framing inspection.

Stairs Ramps Handrails & Guards - Division B 9.8.8.3 Height of Guards - Provide guardrails that are a minimum of 1070 mm (3'-6") high, where difference in elevation is more than 1.8 m (6'-0"). [Refer to P.Eng. documentation - screen room structure/mesh simultaneously acts as guard on Screen Rooms]

General Conditions - Other - Advisory Electrical Trade Permits - Contractor Electrical or Homeowner (if eligible) permits are required prior to any electrical work commencing.

Stairs Ramps Handrails & Guards - Division B 9.8.8.5.1 Openings in Guards - Openings through any guard that is required by Division B, Article 9.8.8.1 shall be of a size that prevents the passage of a spherical object having a diameter of 100 mm.

General Conditions - Other - Division B, 9.7.4.2. Window and door labelling on Manufactured and pre-assembled windows, doors, and skylights 9.7.4.2. General A-9.7.4.2.(1) Label Indicating Performance and Compliance with Standard - Temporary performance rating labels and permanent markings meeting Section 6.4 of the Canadian Supplement to NAFS must be affixed to all installed windows, doors, and skylights, and visible at the time of an inspection.

General Conditions - Other - Division B, 9.7.6.1. Window & Door Installation Details: The installation of windows, doors & skylights shall conform to CAN/CSA-A440.4, "Window, Door, and Skylight Installation". Window & door openings shall be equipped to receive, collect, & direct to the exterior any water that may penetrate the window or door sill, or water found on the head, running down the jambs. A water-impermeable membrane or flashing shall be applied to the sill & lower corners of the rough opening, be adequately lapped, sloped, & sealed so incidental water penetration is drained to the exterior.

General Conditions - Other - Division B, 9.3.2.9.(3) - Structural wood elements shall be pressure-treated with a preservative to resist decay, a) where the vertical clearance between structural wood elements and the finished ground level is less than 150 mm or where the wood elements are not protected from exposure to precipitation, ii) the configuration is conducive to moisture accumulation, and iii) the moisture index is greater than 1.00.

General Conditions - Other - Division B, 9.27.3.3. - Sheathing membrane conforming to CAN/CGSB-51.32-M, "Sheathing, Membrane, Breather Type." shall be applied so that joints are lapped not less than 100 mm (4").

General Conditions - Other - Division B, 9.27.3.8. - Flashing Installation - Provide flashing over exterior wall openings and at every horizontal junction between finishes and substrates, flashing shall extend upwards not less than 50mm (2") behind sheathing paper and have a minimum 25mm (1") end dam at terminations.

General Conditions - Other - Division B, 9.27.4.1. - 1) Sealant shall be provided where required to prevent the entry of water into the structure. 2) Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain. 3) Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.

General Conditions - Other - Division B, 9.18.2.1. - Access Openings - 1) An access opening of not less than 500 mm by 700 mm shall be provided to each crawl space where the crawl space serves a single dwelling unit, and not less than 550 mm by 900 mm for other crawl spaces.

General Conditions - Other - Division B, 9.18.3.1. - Ventilation of Unheated Crawl Spaces 1) Unheated crawl spaces shall be ventilated by natural or mechanical means. 2) Where an unheated crawl space is ventilated by natural means, ventilation shall be provided to the outside air by not less than 0.1 m^2 of unobstructed vent area for every 50 m^2 of floor area.

General Conditions - Other - Division B, 9.18.6.1. - Ground Cover in Unheated Crawl Spaces 1) Where a crawl space is unheated, a ground cover shall be provided consisting of not less than: a) 50 mm of asphalt, b) 100 mm of 15 MPa Portland cement concrete, c) Type S roll roofing, or d) 0.10 mm polyethylene. 2) Joints in sheet-type ground cover required in Sentence (1) shall be lapped not less than 100 mm and weighted down.



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 - SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

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ENGINEER

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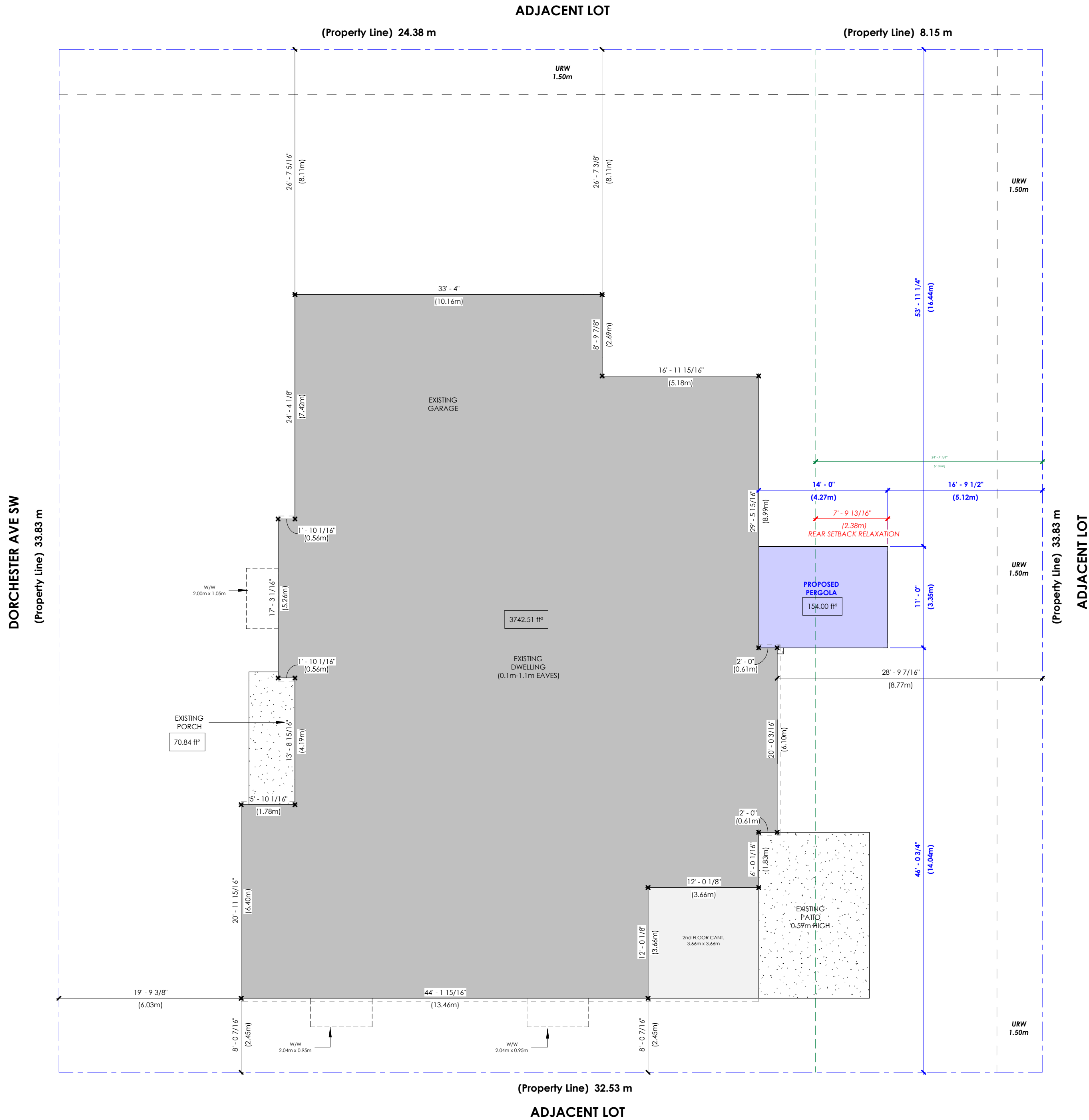
Project Specific Notes

Project : 2026-376DP

Scale:

Drawn By: RFC

A0.2



PARCEL COVERAGE:

PARCEL AREA	=	11846.95 ft²
EXISTING:		
DWELLING	=	3742.51 ft²
GARAGE	=	0.00 ft²
ACCESSORY	=	0.00 ft²
COVERED DECK	=	0.00 ft²
PORCH	=	70.84 ft²
BALCONY	=	0.00 ft²
PARKING STALLS	=	#0
EX. TOTAL	=	3813.35 ft²
EX. COVERAGE	=	32.19 %
BYLAW MAX. (%)	=	35 %
REMAINING PERMITTED =		333.08 ft²

PROPOSED:

NEW AREA	=	154.00 ft²
NEW PARKING STALLS	=	#0
NEW PARKING AREA	=	0 ft²
NEW TOTAL AREA	=	3967.35 ft²
NEW REMAINING	=	179.08 ft²
RELAXATION (%)	=	-4.32 %

PARCEL COVERAGE = 33.49 %

1 Site
1 : 100

NOTE:

- ALL MATERIAL STORAGE ON SITE
- SITE ACCESS FROM ROAD OR LAKE AS APPLICABLE
- ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED
- BUILDER TO CONFIRM ALL MEASUREMENTS PRIOR TO CONSTRUCTION
- BUILDER TO CONFIRM ROOF SLOPE AND HILL HEIGHT PRIOR TO CONSTRUCTION (IF APPLICABLE)

NOTE:

PROPERTY LINE VALUES AND EXISTING SITE INFORMATION TO BE CONFIRMED PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS PLAN ACQUIRED FROM SUPPLIED BPP/SURVEY.

SEVEN DAY PERMITS

Robert Carpenter
owner

Phone: 416.700.2024
Email: rob@seven-day-permits.ca
Web: www.sevendaypermits.ca

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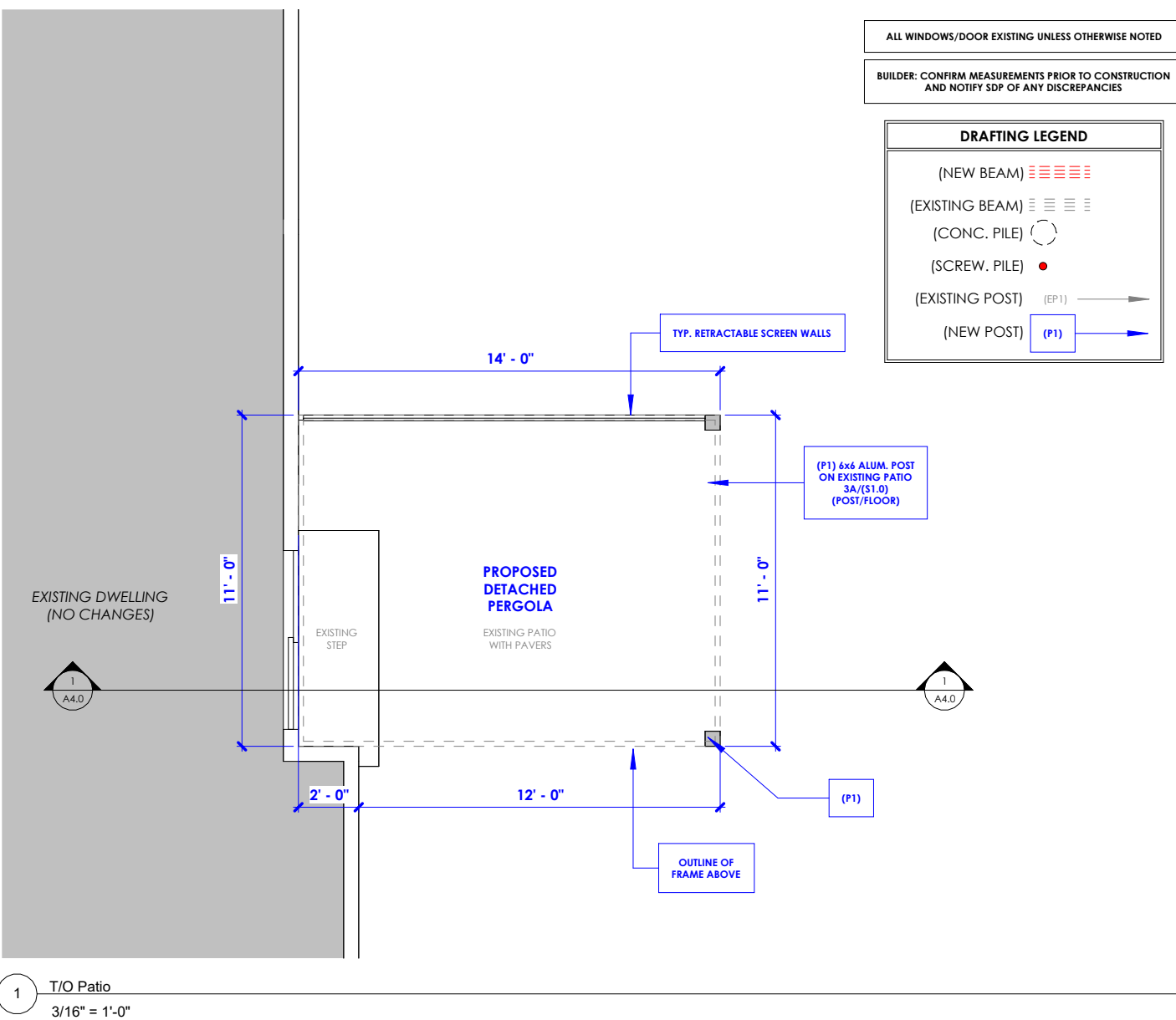
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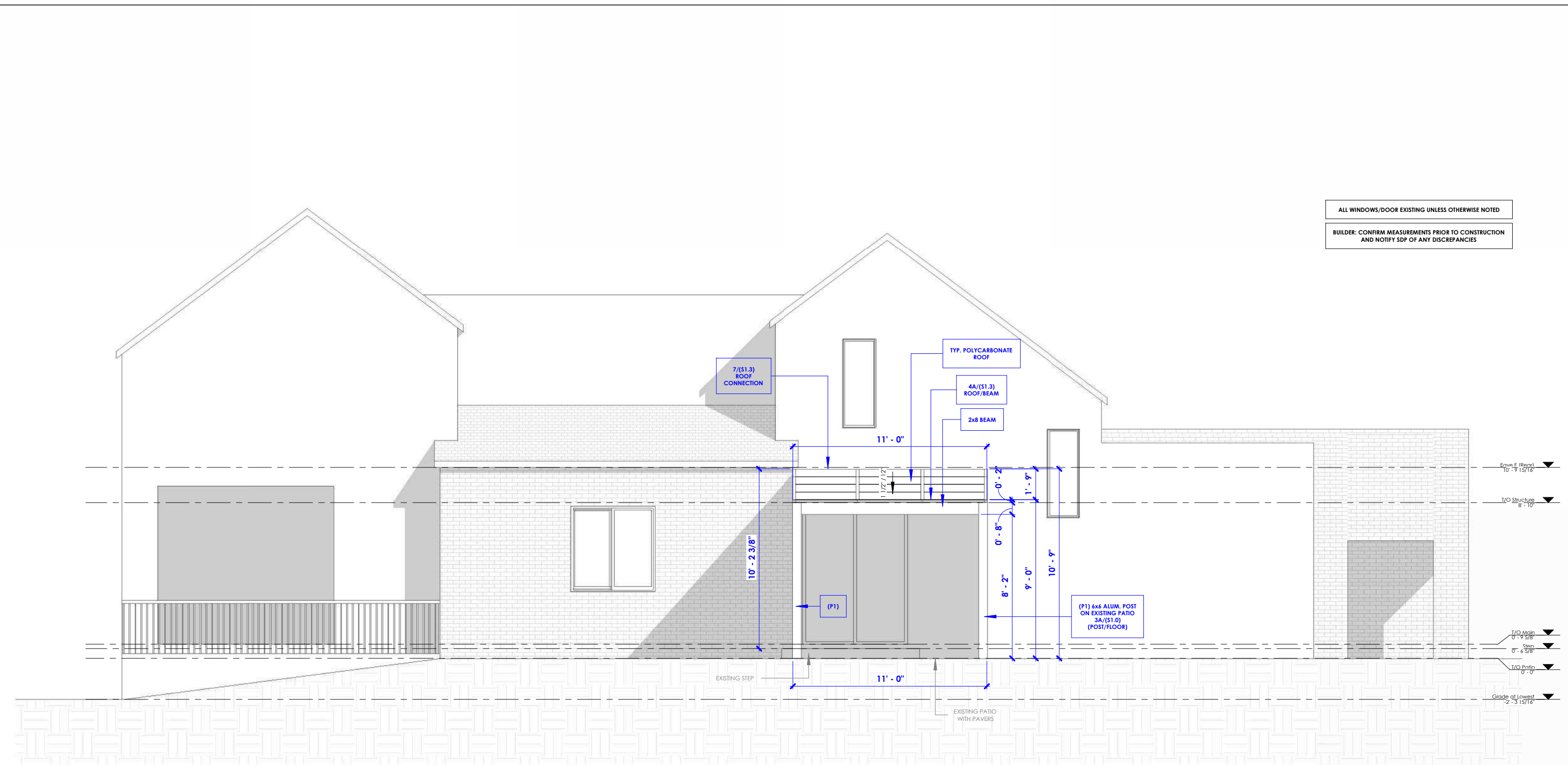
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Site Plan		
Project :	2026-376DP	
Drawn By:	RFC	Scale: 1 : 100
A1.0		





ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION AND NOTIFY SDP OF ANY DISCREPANCIES

1 Rear Elevation
3/16" = 1'-0"



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ENGINEER



GENERAL CONTRACTOR

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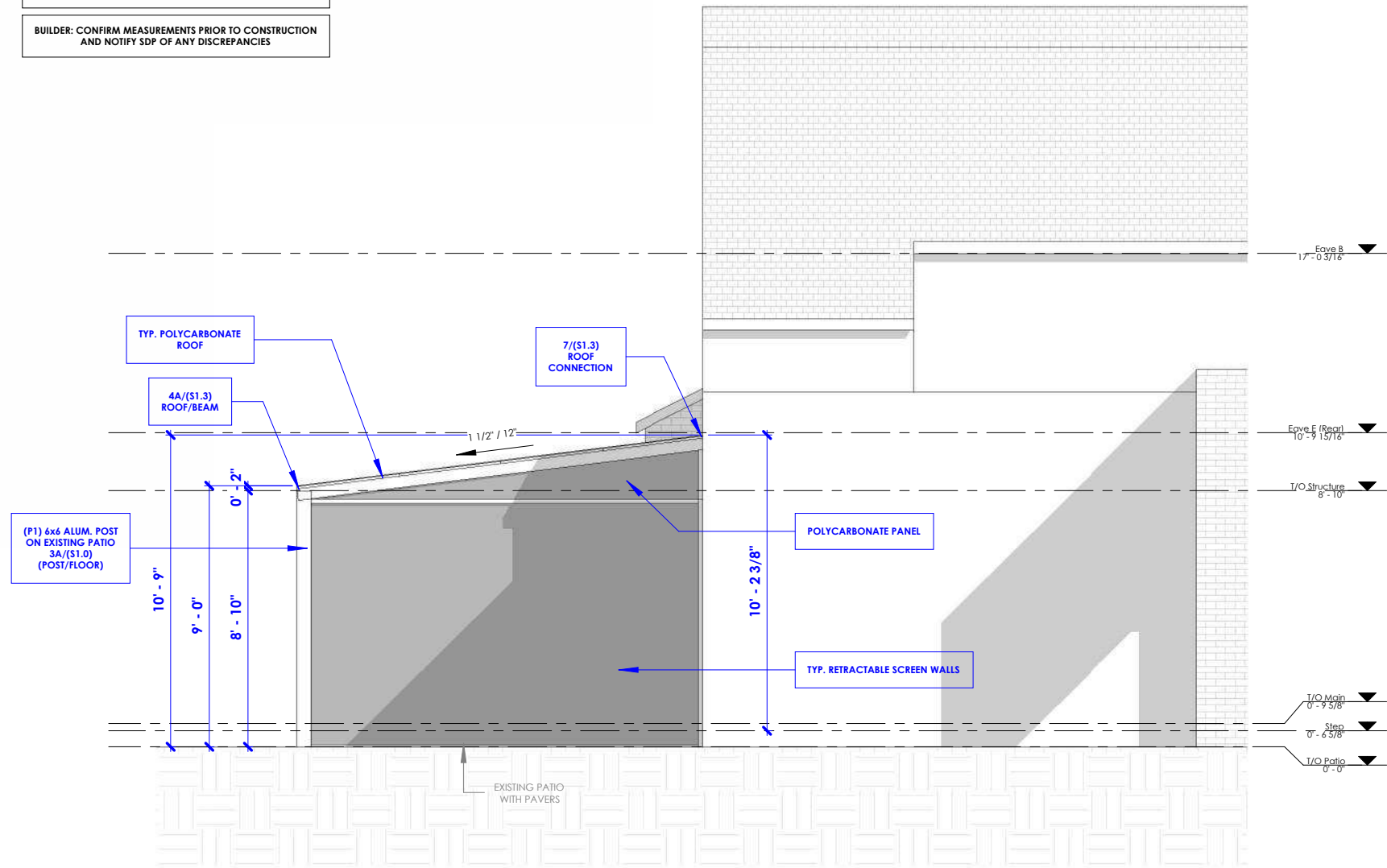
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Elevations	
Project :	2026-376DP
Scale:	3/16" = 1'-0"
Drawn By:	RFC
A3.0	

ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION
AND NOTIFY SDP OF ANY DISCREPANCIES



1 Right Elevation
3/16" = 1'-0"



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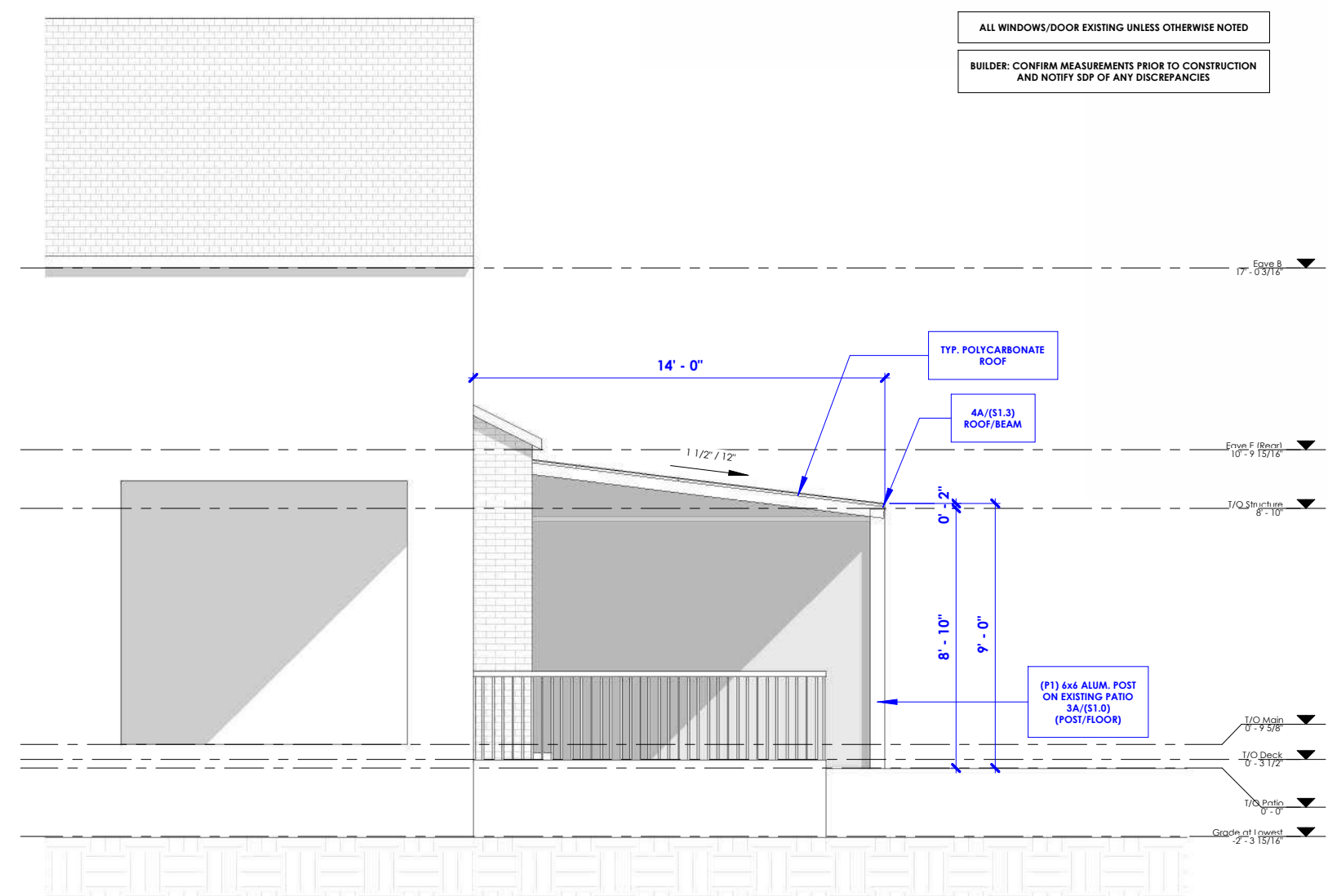
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Elevations	
Project :	2026-376DP
Scale:	3/16" = 1'-0"
Drawn By:	RFC

A3.1



1 Left Elevation
3/16" = 1'-0"



THIS DRAWING IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF THE DESIGNER. IT MAY NOT BE REPRODUCED WITHOUT THE DESIGNERS PERMISSION, NOR WITHOUT THE DESIGNERS NAME ON THE REPRODUCTION IN WHOLE OR IN PART.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH AND GOVERNED BY ALL CURRENT NATIONAL, PROVINCIAL AND LOCAL CODES AND REGULATIONS.

BUILDER OR OWNER IS RESPONSIBLE FOR CONTACTING DESIGNER PRIOR TO CONSTRUCTION IF THERE ARE DISCREPANCIES ON PLANS.

THIS DRAWING IS INVALID UNLESS CLEARLY INDICATED EITHER 'FOR BP SUBMISSION' OR 'FOR DP SUBMISSION'

IF P.ENG IS REQUIRED:

BUILDER/OWNER TO SEND PHOTOS OF ANY APPLICABLE ENGINEERED SCOPE: INCLUDING (BUT NOT LIMITED TO):

- CONCRETE: REBAR + FORM WORK PRIOR TO POUR
- FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC.
- SCREW PILES: TORQUE REPORT
- SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS

CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

ENGINEER



1014 DORCHESTER AVE SW
CALGARY, AB

ATTACHED PERGOLA

8/18/2026 12:32:23 PM

Elevations	
Project :	2026-376DP
Scale:	3/16" = 1'-0"
Drawn By:	RFC

A3.2