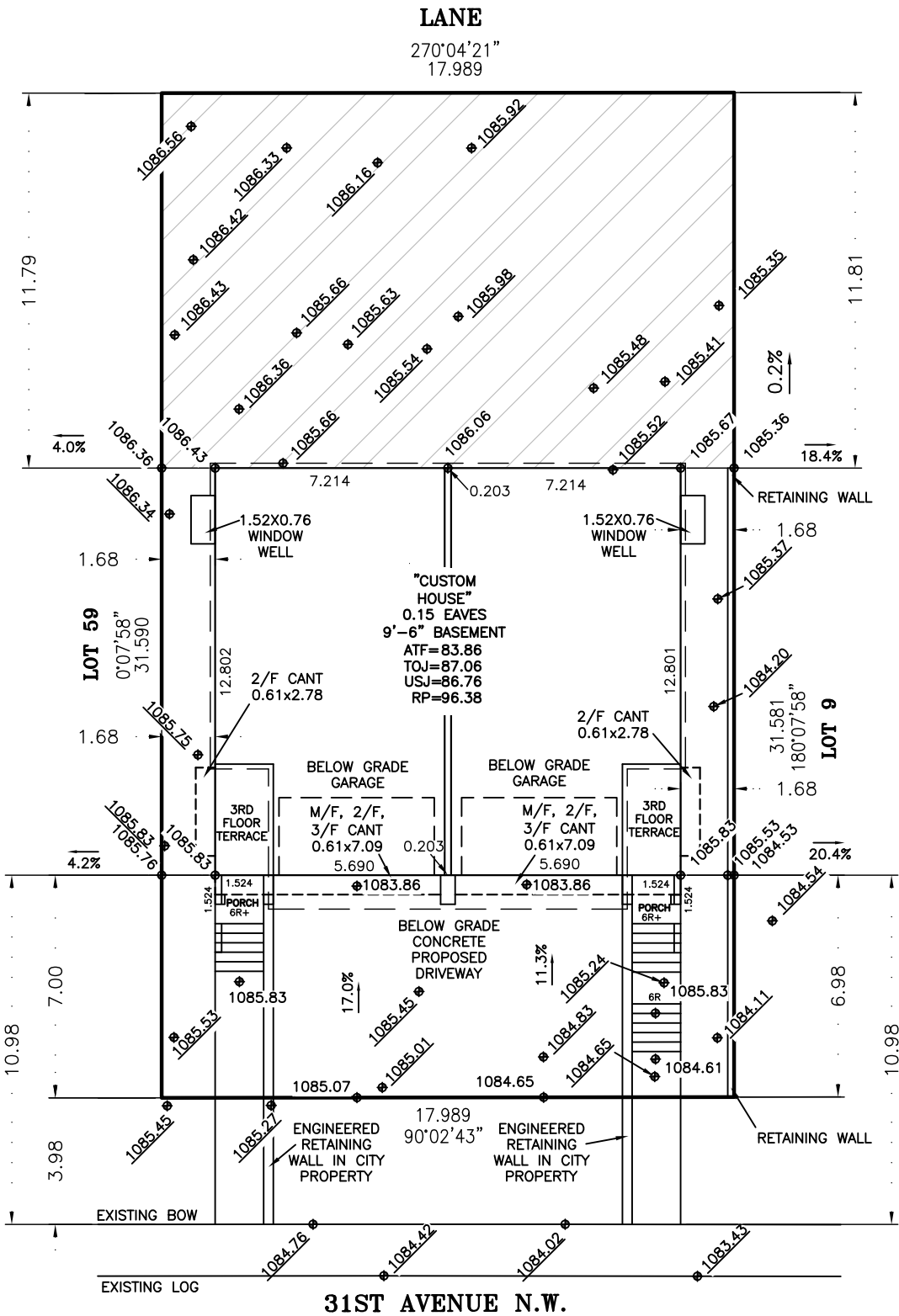


PLOT PLAN

LOT: 10,11,12    BLOCK: 34    PLAN: 6060 AJ  
ADDRESS: 924-31 AVENUE N.W.



LEGEND

EXISTING GRADE ..... 00.00  
PROPOSED GRADE ..... 00.00

.....AMENITY SPACE =212.2 m²

CLIENT: SCOHAL DESIGN GROUP  
SITE ADDRESS: 924-31 AVENUE N.W.  
LEGAL DESCRIPTION: LOT 10,11,12, BLK 34, PLAN 6060 AJ  
SUBDIVISION: SUBDIVISION  
PHASE: PHASE  
CITY/TOWN: CALGARY, ALBERTA  
ZONE: R-CG RESIDENTIAL  
AREA OF LOT: 568.2 m²  
AREA OF HOUSE: 187.3 m²  
COVERAGE: 33.0%

SUGGESTED GRADE (FG):  
SUGGESTED GRADE (RG):  
LOWEST TOP OF FOOTING (LTF):  
ACTUAL TOP OF FOOTING (ATF): 83.86  
TOP OF MAIN FLOOR JOIST (TOJ): 87.06  
UNDERSIDE OF MAIN FLOOR JOIST (USJ): 86.76  
ROOF PEAK (RP): 96.38  
STORM SEWER:  
SANITARY SEWER:  
WATER LINE:

NOTES:

1. GRADES AND BUILDING LAYOUT ARE SUGGESTED ONLY AND ARE SUBJECT TO CHANGE AND APPROVAL.
2. BUILDER MUST ENSURE ALL OPENINGS ARE CONSTRUCTED ABOVE ANY RG/MG GRADES.
3. PLOT PLAN MUST BE APPROVED BY DEVELOPER AND THE APPROVAL MUNICIPALITY PRIOR TO STAKEOUT. BUILDER ASSUMES ALL RESPONSIBILITY IF FAILURE TO DO SO.

**VISTA GEOMATICS**  
Bay 28, 2015-32nd Avenue  
N.E. Calgary, AB, T2E 6Z3  
Phone 403-270-4048

SCALE: 1:200

DRAWN: TLR

CHECKED: SS

CLIENT FILE #:

VISTA FILE #: 26045016

DATE: 2026-06-03

CALGARY, ALBERTA  
PLAN SHOWING SURVEY OF  
SITE PLAN

OF  
THE WEST 14 FEET OF LOT 10 AND ALL OF LOT 11  
AND THE EAST 20 FEET OF LOT 12  
BLOCK 34, PLAN 6060 AJ  
ALL WITHIN THE  
N.E. 1/4 Sec.28 Twp.24 Rge.1 W. 5th M.

SCALE = 1 : 200



STANDARD SYMBOL LEGEND:

|                                                       |       |       |
|-------------------------------------------------------|-------|-------|
| Statutory iron post found shown thus                  | ..... | ..... |
| Drill hole found shown thus                           | ..... | ..... |
| Established temporary point (left no mark) shown thus | ..... | ..... |
| Geodetic spot elevations shown thus                   | ..... | ..... |
| Water Valve shown thus                                | ..... | ..... |
| Light standards shown thus                            | ..... | ..... |
| Trees shown thus                                      | ..... | ..... |
| Shrubs shown thus                                     | ..... | ..... |
| Fence shown thus                                      | ..... | ..... |
| Overhead Electrical Lines shown thus                  | ..... | ..... |
| Buried Sanitary Lines shown thus                      | ..... | ..... |
| Buried Storm Lines shown thus                         | ..... | ..... |
| Buried Water Lines shown thus                         | ..... | ..... |
| Buried Gas Lines shown thus                           | ..... | ..... |
| Buried Electrical Lines shown thus                    | ..... | ..... |
| Buried Communication Lines (Telus and/or Cable)       | ..... | ..... |

STANDARD ABBREVIATIONS THAT MAY APPEAR ON THIS PLAN

|        |                                            |        |                              |
|--------|--------------------------------------------|--------|------------------------------|
| A.L.S. | DENOTES ALBERTA LAND SURVEYOR              | PUL    | DENOTES PUBLIC UTILITY LOT   |
| A      | DENOTES ARC                                | R      | DENOTES RADIUS               |
| ARW    | DENOTES ACCESS RIGHT-OF-WAY                | (r)    | DENOTES RADIAL BEARING       |
| ASCM   | DENOTES ALBERTA SURVEY CONTROL MARKER      | Rge.   | DENOTES RANGE                |
| c.s.   | DENOTES COUNTERSUNK                        | R-est. | DENOTES RE-ESTABLISHED       |
| D.H.   | DENOTES DRILL HOLE                         | Ref.   | DENOTES REFERENCE            |
| E.     | DENOTES EAST                               | RP     | DENOTES GEO-REFERENCED POINT |
| F.d.   | DENOTES FOUND                              | Sec.   | DENOTES SECTION              |
| G.L.   | DENOTES GROUND LEVEL                       | S.     | DENOTES SOUTH                |
| GNSS   | DENOTES GLOBAL NAVIGATION SATELLITE SYSTEM | TCO    | DENOTES TOP CUT OFF          |
| ha     | DENOTES HECTARES                           | Twp.   | DENOTES TOWNSHIP             |
| I.     | DENOTES STATUTORY IRON POST                | URW    | DENOTES UTILITY RIGHT-OF-WAY |
| Mk.    | DENOTES MARK                               | W.     | DENOTES WEST                 |
| Mkd.   | DENOTES MARKED                             | Δ      | DENOTES CENTRAL DELTA ANGLE  |
| MR     | DENOTES MUNICIPAL RESERVE                  | BOW    | DENOTES BACK OF WALK         |
| M.     | DENOTES MERIDIAN                           | FOW    | DENOTES FRONT OF WALK        |
| N.     | DENOTES NORTH                              | BOC    | DENOTES BACK OF CURB         |
| Pl.    | DENOTES PLACED                             | LOG    | DENOTES LIP OF GUTTER        |
| Cal.   | DENOTES CALIPER                            | Can.   | Canopy                       |

NOTES:

- Distances shown are ground in metres and decimals thereof and are between iron posts unless shown otherwise.
- Elevations are geodetic and are derived from ASCM 159343 (Elev.=1095.457m)
- Elevations on Manholes are RIM elevations.
- Elevations shown on Catch Basins are RIM Elevations at Lip of Gutter.
- Area affected by this plan shown bounded thus: and contains 0.05 ha
- Bearings are grid, based on NAD83 3°TM projection, reference Meridian 114° West Longitude and are derived from GNSS observations from ASCM's 159343, 180331.
- Underground utilities shown are derived from the city of Calgary digital data.
- Digital data was verifiable in the field. Independent Locates and/or exposure should be conducted prior to construction.

Encumbrances, Liens & Interests

C. of T. Number 241 195 351 ( As to Lots 10-12, Block 34, Plan 6060 AJ)

| Registration No. | Particulars | Comments                                         |
|------------------|-------------|--------------------------------------------------|
| 241 195 352      | MORTGAGE    | MORTGAGE - THE TORONTO DOMINION BANK             |
| 251 069 955      | CAVEAT      | RE: ENCROACHMENT AGREEMENT PURSUANT TO MUNICIPAL |

MUNICIPAL ADDRESS:

#924 31st AVENUE N.W.  
Calgary, Alberta

CLIENT:

VISTA GEOMATICS LTD.

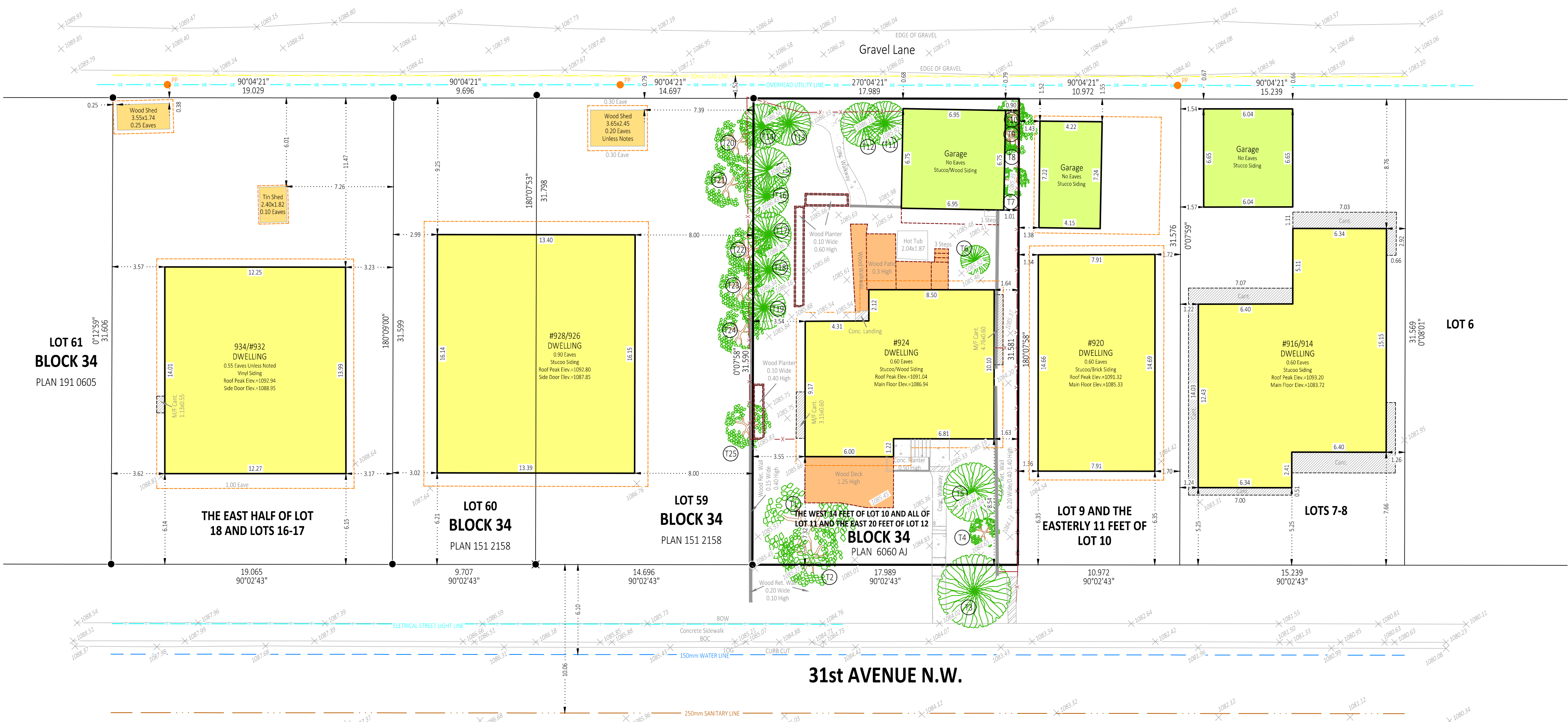
Bay 28, 2015 - 32nd Ave. N.E.  
Calgary, Alberta T2E 6Z3  
Phone (403) 270-4048  
E-mail: admin@vistageomatics.com



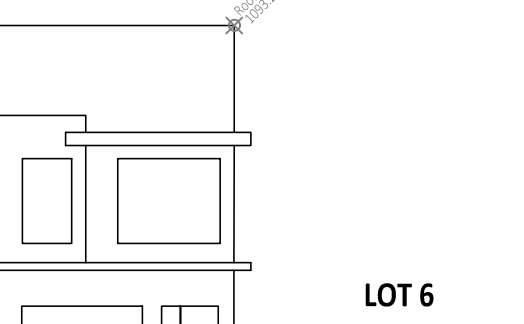
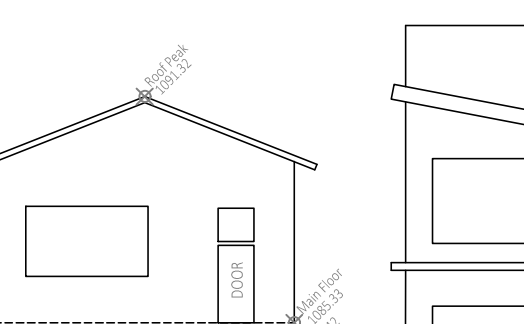
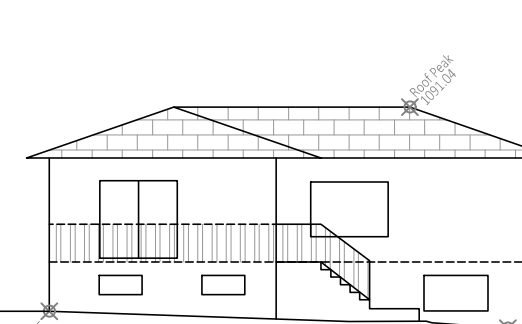
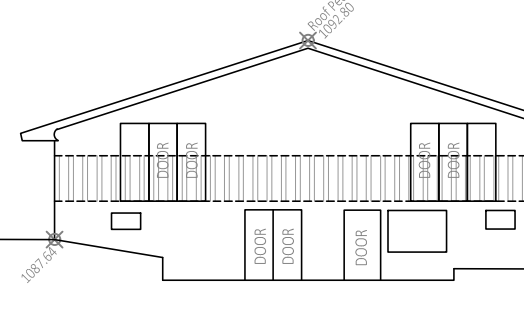
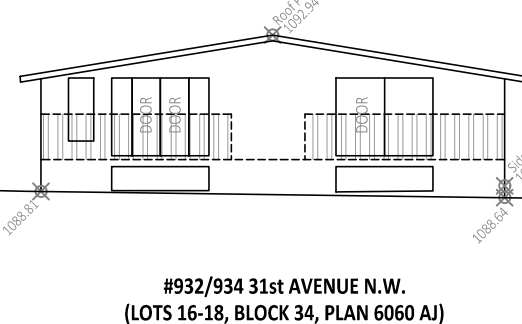
JW

JOB NO.: 26045016

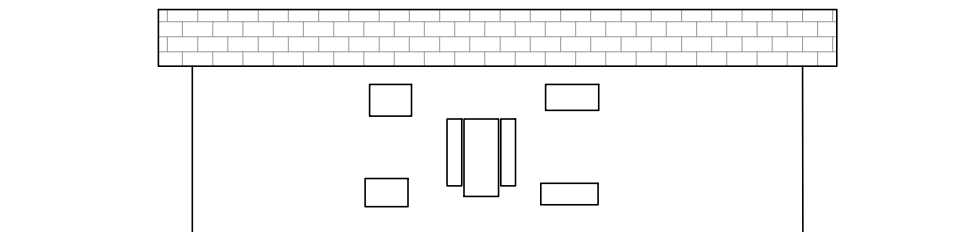
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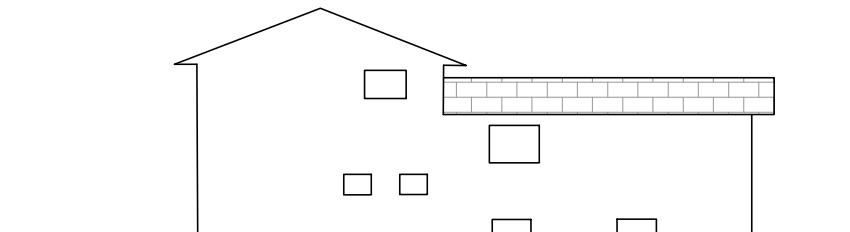
LOT 61  
BLOCK 34  
PLAN 191 0605



LOT 6  
BLOCK 34  
PLAN 6060 AJ



#926/928 31st AVENUE N.W.  
(LOTS 59 & 60, BLOCK 34, PLAN 151 2158)  
EASTVIEW FACING SUBJECT LOT



#920 31st AVENUE N.W.  
(LOTS 9-10, BLOCK 34, PLAN 6060 AJ)  
WESTVIEW FACING SUBJECT LOT

TREE SCHEDULE

| NO. | VARIETY         | CALIPER (±) | CANOPY (±) | LOCATION             |
|-----|-----------------|-------------|------------|----------------------|
| T1  | DECIDUOUS TREE  | 1.00        | 6.0        | ON SUBJECT PROPERTY  |
| T2  | DECIDUOUS TREE  | 0.30        | 4.0        | ON SUBJECT PROPERTY  |
| T3  | CONIFEROUS TREE | 0.40        | 5.0        | ON CITY PROPERTY     |
| T4  | DECIDUOUS TREE  | 0.15        | 2.0        | ON SUBJECT PROPERTY  |
| T5  | CONIFEROUS TREE | 0.40        | 4.0        | ON SUBJECT PROPERTY  |
| T6  | CONIFEROUS TREE | 0.60        | 6.0        | ON SUBJECT PROPERTY  |
| T7  | DECIDUOUS TREE  | 0.10        | 2.0        | ON SUBJECT PROPERTY  |
| T8  | DECIDUOUS TREE  | 0.15        | 2.0        | ON SUBJECT PROPERTY  |
| T9  | DECIDUOUS TREE  | 0.30        | 3.0        | ON SUBJECT PROPERTY  |
| T10 | DECIDUOUS TREE  | 0.10        | 2.0        | ON SUBJECT PROPERTY  |
| T11 | CONIFEROUS TREE | 0.25        | 3.0        | ON SUBJECT PROPERTY  |
| T12 | CONIFEROUS TREE | 0.35        | 4.0        | ON SUBJECT PROPERTY  |
| T13 | CONIFEROUS TREE | 0.30        | 3.0        | ON SUBJECT PROPERTY  |
| T14 | CONIFEROUS TREE | 0.30        | 3.0        | ON SUBJECT PROPERTY  |
| T15 | CONIFEROUS TREE | 0.30        | 3.0        | ON SUBJECT PROPERTY  |
| T16 | CONIFEROUS TREE | 0.30        | 3.0        | ON SUBJECT PROPERTY  |
| T17 | CONIFEROUS TREE | 0.30        | 3.0        | ON SUBJECT PROPERTY  |
| T18 | CONIFEROUS TREE | 0.40        | 4.0        | ON SUBJECT PROPERTY  |
| T19 | CONIFEROUS TREE | 0.30        | 3.0        | ON SUBJECT PROPERTY  |
| T20 | DECIDUOUS TREE  | 0.20        | 3.0        | ON ADJACENT PROPERTY |
| T21 | DECIDUOUS TREE  | 0.20        | 3.0        | ON ADJACENT PROPERTY |
| T22 | DECIDUOUS TREE  | 0.15        | 2.0        | ON ADJACENT PROPERTY |
| T23 | DECIDUOUS TREE  | 0.15        | 2.5        | ON ADJACENT PROPERTY |
| T24 | DECIDUOUS TREE  | 0.10        | 2.0        | ON ADJACENT PROPERTY |
| T25 | DECIDUOUS TREE  | 0.20        | 3.0        | ON ADJACENT PROPERTY |



SCOHAL  
DESIGN GROUP

PLANS PREPARED FOR:

# INFILL DUPLEX

CAMBRIAN HEIGHTS

924 31 AVENUE NW

CALGARY, ALBERTA

LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ



## SHEET LIST

| SHEET # | SHEET NAME                             | SHEET ISSUE DATE | REVISION DATE | REVISED PAGES                                 | DRAWN BY |
|---------|----------------------------------------|------------------|---------------|-----------------------------------------------|----------|
| 0       | COVER PAGE                             | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 1       | EXTERIOR 3D PERSPECTIVE VIEW           | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 2       | INTERIOR 3D PERSPECTIVE VIEWS          | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 3       | EXTERIOR COLOR CHART                   | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 4       | FRONT ELEVATION                        | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 5       | REAR ELEVATION                         | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 6       | LEFT ELEVATION                         | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 7       | RIGHT ELEVATION                        | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 8       | FIRST FLOOR PLAN                       | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 9       | FIRST FLOOR ELECTRICAL LAYOUT          | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 10      | SECOND FLOOR PLAN                      | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 11      | SECOND FLOOR ELECTRICAL LAYOUT         | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 12      | THIRD FLOOR PLAN                       | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 13      | THIRD FLOOR ELECTRICAL LAYOUT          | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 14      | FOUNDATION PLAN (OVERALL)              | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 15      | FOUNDATION ELECTRICAL & ROUGH INS      | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 16      | BASEMENT DEVELOPMENT PLAN              | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 17      | BASEMENT DEVELOPMENT ELECTRICAL LAYOUT | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 18      | CROSS SECTION (FRONT-BACK)             | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 19      | CROSS SECTION (RIGHT-LEFT)             | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 20      | ROOF PLAN                              | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 21      | BUILDING ASSEMBLY DETAILS              | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 22      | ENERGY CODE & RADON DETAILS            | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 23      | PARTY WALL & INSULATION DETAILS        | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 24      | WINDOW FLASHING DETAILS                | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 25      | ADDITIONAL DETAILS & SCHEDULES         | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |
| 26      | GENERAL NOTES                          | ----             | 06-19-2026    | DEVELOPMENT PERMIT PLAN VI (IFDP - ALL PAGES) | SS       |

-IN ADDITION TO ALL INFORMATION INSIDE THIS PLAN SET, ENSURE TO REFER TO THE FOLLOWING EXTERNAL DOCUMENTS FOR ALL RELEVANT INFORMATION :

- PLOT PLAN & GRADING DESIGN PROVIDED BY : VISTA GEOMATICS
- STRUCTURAL ENGINEERING PROVIDED BY : BLUELINE ENGINEERING
- ROOF TRUSS LAYOUTS PROVIDED BY : SUNDER LUMBER
- FLOOR JOIST LAYOUTS PROVIDED BY : SUNDER LUMBER
- ENERGY COMPLIANCE REPORT PROVIDED BY : ENERGY TECHNO
- EXTERIOR WINDOW/DOOR ROUGH OPENINGS PROVIDED BY : INSERT COMPANY NAME

-ENSURE TO REVIEW & FOLLOW ALL DEVELOPMENT & BUILDING PERMIT CONDITIONS. CONTRACTOR/BUILDING IS RESPONSIBLE TO CALL FOR ALL INSPECTIONS AT APPROPRIATE TIME.

## --PLAN ISSUANCE DATES--

ISSUED FOR DEVELOPMENT PERMIT

ISSUED - MAY 28, 2026

ISSUED FOR BUILDING PERMIT

NOT ISSUED - INSERT DATE

ISSUED FOR CONSTRUCTION

NOT ISSUED - INSERT DATE

-- LATEST REVISION DATE -- JUNE 19, 2026 --



EXTERIOR 3D PERSPECTIVE VIEW

- ALL COLORS AND 3D IMAGES ARE ONLY FOR ILLUSTRATIVE PURPOSES AND ARE NOT AN ACCURATE REPRESENTATION -

|           |                                                                                |  |  |  |
|-----------|--------------------------------------------------------------------------------|--|--|--|
| Address:  | 924 31 AVENUE NW, CALGARY, ALBERTA<br>LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ |  |  |  |
| Model:    | CAMBRIAN HEIGHTS - INFILL DUPLEX                                               |  |  |  |
| Scale:    | 3/16" = 1'-0" (UNLESS NOTED OTHERWISE)                                         |  |  |  |
| Date:     | 2026-06-19 9:50:18 AM                                                          |  |  |  |
| Drawn By: | ScoHal (SS & DA)                                                               |  |  |  |



ScoHAL

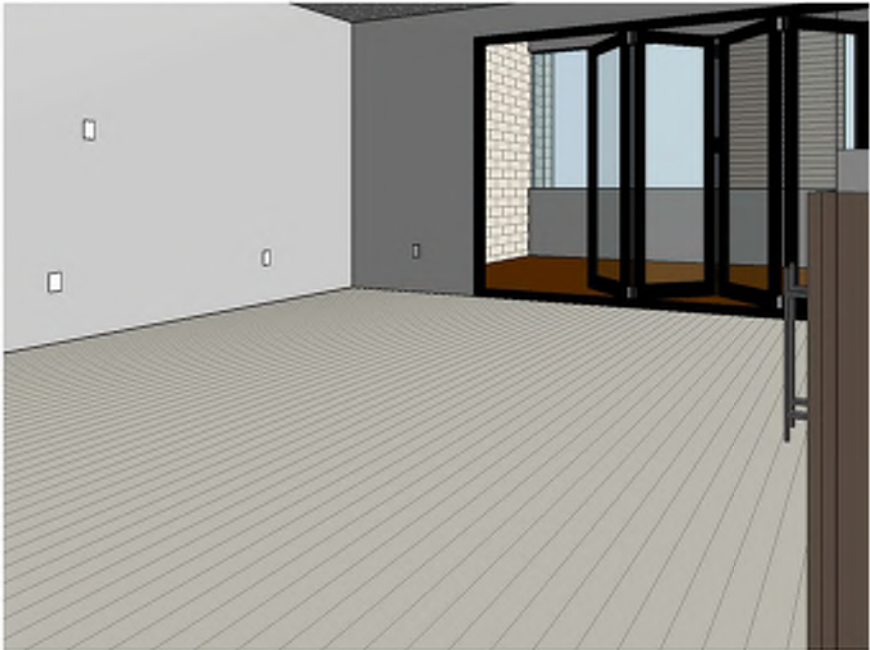
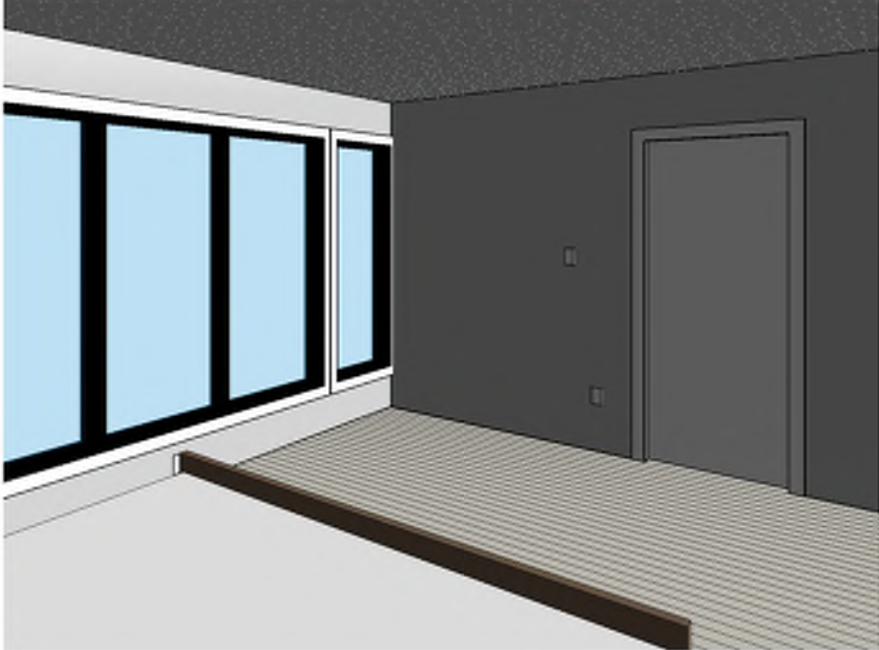
DESIGN GROUP

| 1st FLOOR                                                                    | 2nd FLOOR   | 3rd FLOOR   | SUNROOM     | TOTAL        |
|------------------------------------------------------------------------------|-------------|-------------|-------------|--------------|
| 1046 Sq. Ft.                                                                 | 997 Sq. Ft. | 692 Sq. Ft. | 274 Sq. Ft. | 3009 Sq. Ft. |
| Sq. Footage includes stairwell on Main Floor and is not inc. on Upper Floor. |             |             |             |              |

-PAGE-

1

26

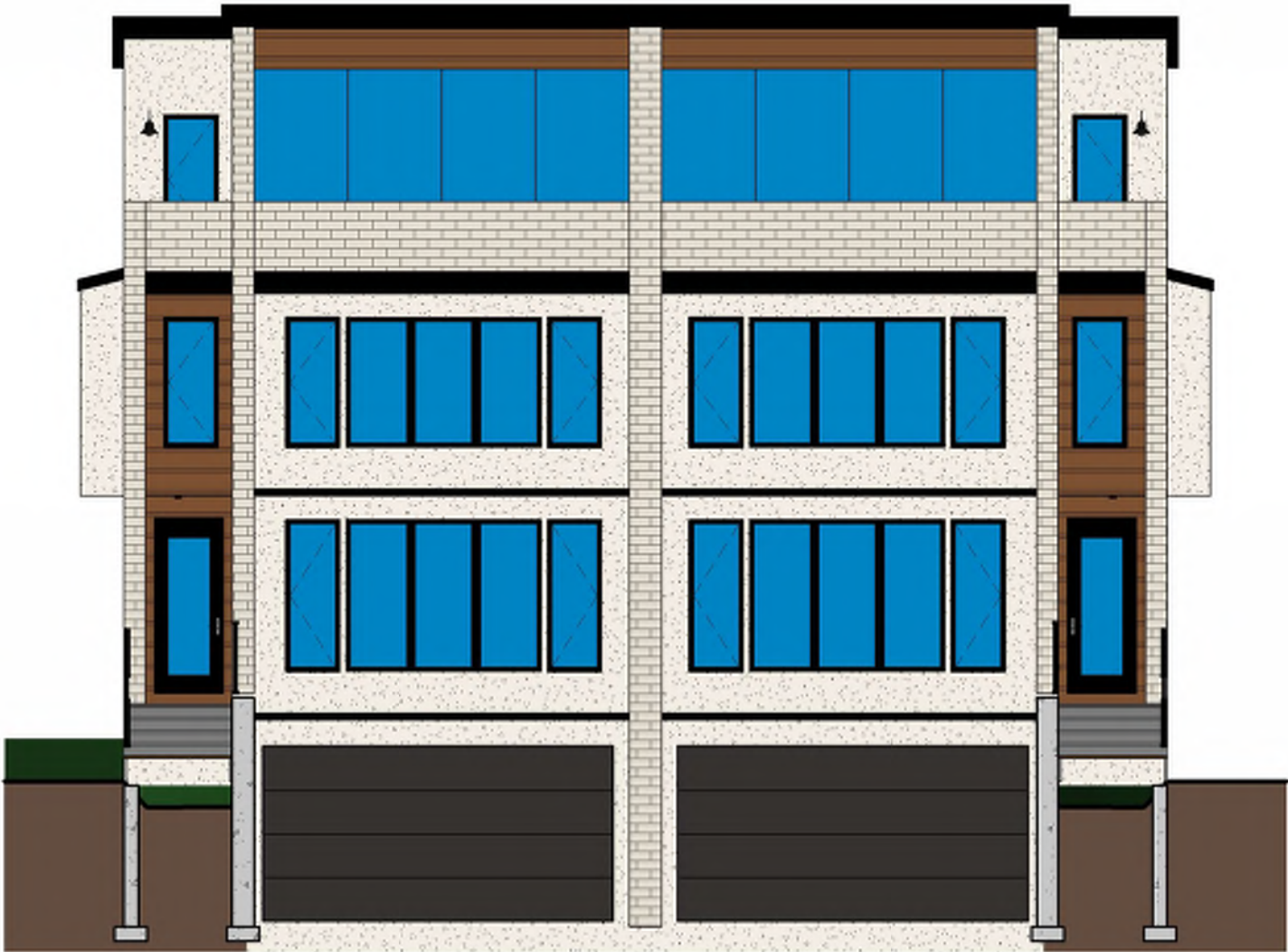


- ALL COLORS AND 3D IMAGES ARE ONLY FOR ILLUSTRATIVE PURPOSES AND ARE NOT AN ACCURATE REPRESENTATION -

|                                                                                                                                                                                                                                                                                                      |                                                                                      |  |           |             |                      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------|--|-----------|-------------|----------------------|
| <div>Address: 924 31 AVENUE NW, CALGARY, ALBERTA<br/>LOT 10, 11 &amp; 12 / BLOCK 34 / PLAN 6060AJ</div> <div>Model: CAMBRIAN HEIGHTS - INFILL DUPLEX</div> <div>Scale: 3/16" = 1'-0" (UNLESS NOTED OTHERWISE)</div> <div>Date: 2026-06-19 9:50:19 AM</div> <div>Drawn By: ScoHal (SS &amp; DA)</div> |  |  | 1st FLOOR | 1046 Sq.Ft. | -PAGE-<br><br>2 / 26 |
|                                                                                                                                                                                                                                                                                                      |                                                                                      |  | 2nd FLOOR | 997 Sq.Ft.  |                      |
|                                                                                                                                                                                                                                                                                                      |                                                                                      |  | 3rd FLOOR | 692 Sq.Ft.  |                      |
|                                                                                                                                                                                                                                                                                                      |                                                                                      |  | SUNROOM   | 274 Sq. Ft. |                      |
|                                                                                                                                                                                                                                                                                                      |                                                                                      |  | TOTAL     | 3009 Sq.Ft. |                      |
| Sq. Footage includes stairwell on Main Floor and is not inc. on Upper Floor.                                                                                                                                                                                                                         |                                                                                      |  |           |             |                      |

--GENERAL EXTERIOR COLOR NOTES--

- 1 - ALL COLORS AND 3D IMAGES ARE ONLY FOR ILLUSTRATIVE PURPOSES AND ARE NOT AN ACCURATE REPRESENTATION. SEE MANUFACTURER SAMPLES FOR EXACT REPRESENTATION.
- 2 - ALL COLORS TO BE CONFIRMED WITH OWNER PRIOR TO ORDER/INSTALLATION.



FRONT COLOR ELEVATION

-- EXTERIOR COLOR CHART --

| MATERIAL                   | MANUFACTURER/SUPPLIER       | COLOR NAME        |
|----------------------------|-----------------------------|-------------------|
| ACRYLIC STUCCO             | ADEX ARCHITECTURAL COATINGS | 1120-1W           |
| ALUMINUM WOODGRAIN SIDING  | LUX ARCHITECTURAL PRODUCTS  | KONA              |
| MANUFACTURED BRICK         | IXL - INTERSTATE THIN BRICK | ALMOND            |
| STANDING SEAM METAL SIDING | AMT METAL ROOFING           | BLACK             |
| ALUMINUM FASCIA            | ROYAL                       | BLACK             |
| ALUMINUM SOFFIT            | ROYAL                       | BLACK             |
| ALUMINUM BATTEN            | ROYAL                       | BLACK             |
| FIBERGLASS FRONT DOOR      | PAINTED TO MATCH - ROYAL    | BLACK             |
| FIEBRGLASS REAR DOOR       | PAINTED TO MATCH - ROYAL    | BLACK             |
| WINDOW & DOOR JAMBS        | TO BE DETERMINED            | BLACK             |
| ALUMINUM GARAGE DOOR       | PAINTED TO MATCH - ROYAL    | BLACK             |
| ALUMINUM RAILING           | HOME RAIL                   | BLACK             |
| PRECAST CONCRETE STEPS     | TO BE DETERMINED            | EXPOSED AGGREGATE |
|                            |                             |                   |
|                            |                             |                   |
|                            |                             |                   |

Address: 924 31 AVENUE NW, CALGARY, ALBERTA  
Model: LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ  
Scale: CAMBRIAN HEIGHTS - INFILL DUPLEX  
Date: 3/16" = 1'-0" (UNLESS NOTED OTHERWISE)  
2026-06-19 9:50:20 AM  
Drawn By: ScoHal (SS & DA)

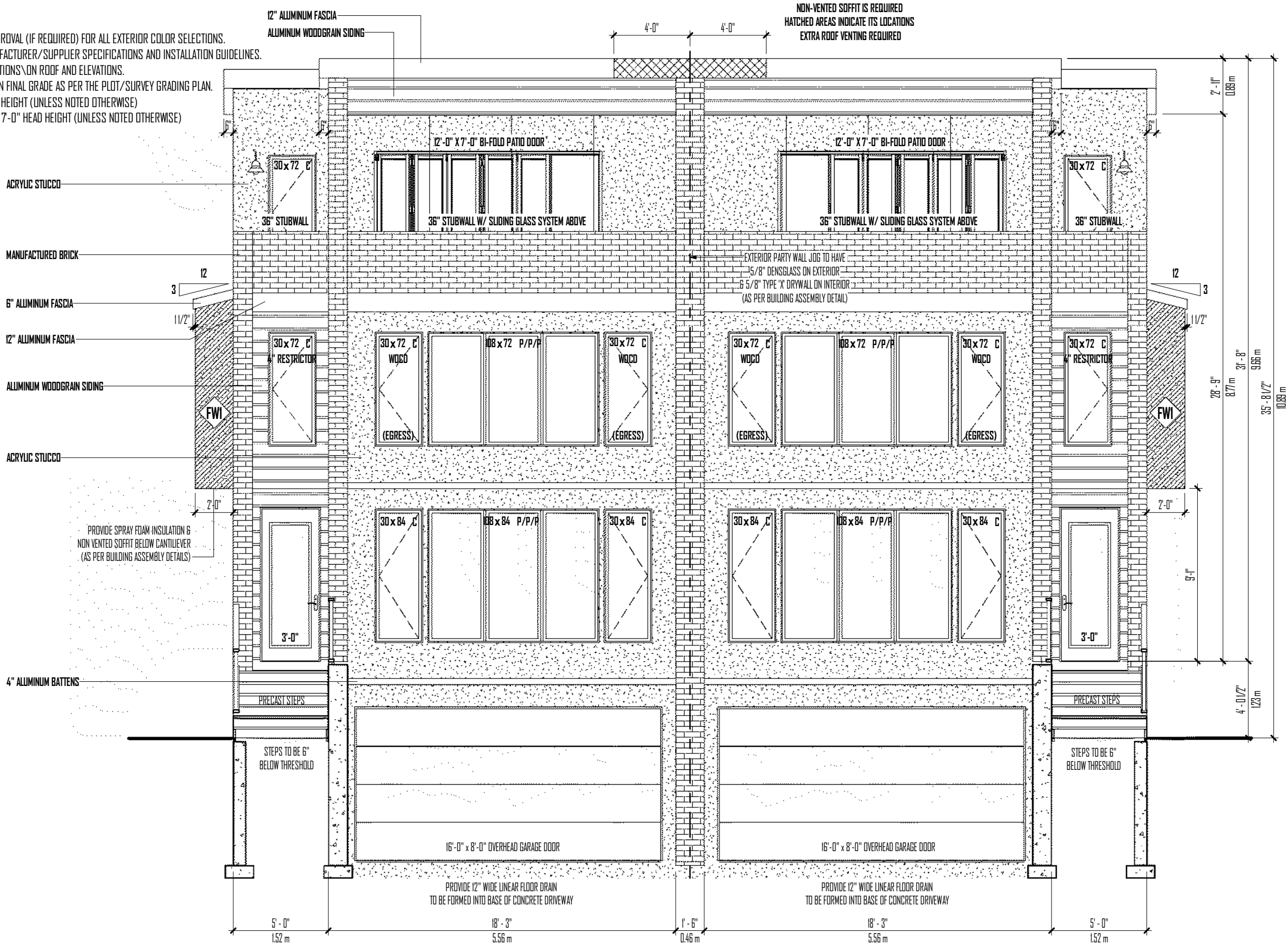


| 1st FLOOR   | 2nd FLOOR  | 3rd FLOOR  | SUNROOM    | TOTAL       |
|-------------|------------|------------|------------|-------------|
| 1046 Sq.Ft. | 997 Sq.Ft. | 692 Sq.Ft. | 274 Sq.Ft. | 3009 Sq.Ft. |
| 1046 Sq.Ft. | 997 Sq.Ft. | 692 Sq.Ft. | 274 Sq.Ft. | 3009 Sq.Ft. |

Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor.

-- GENERAL EXTERIOR ELEVATION NOTES --

- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES. (COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR SELECTIONS.
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTALLATION GUIDELINES.
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADING PLAN.
- 11- ALL FIRST FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
- 12- ALL SECOND & THIRD FLOOR WINDOWS TO BE FRAMED AT 7'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)



FRONT ELEVATION

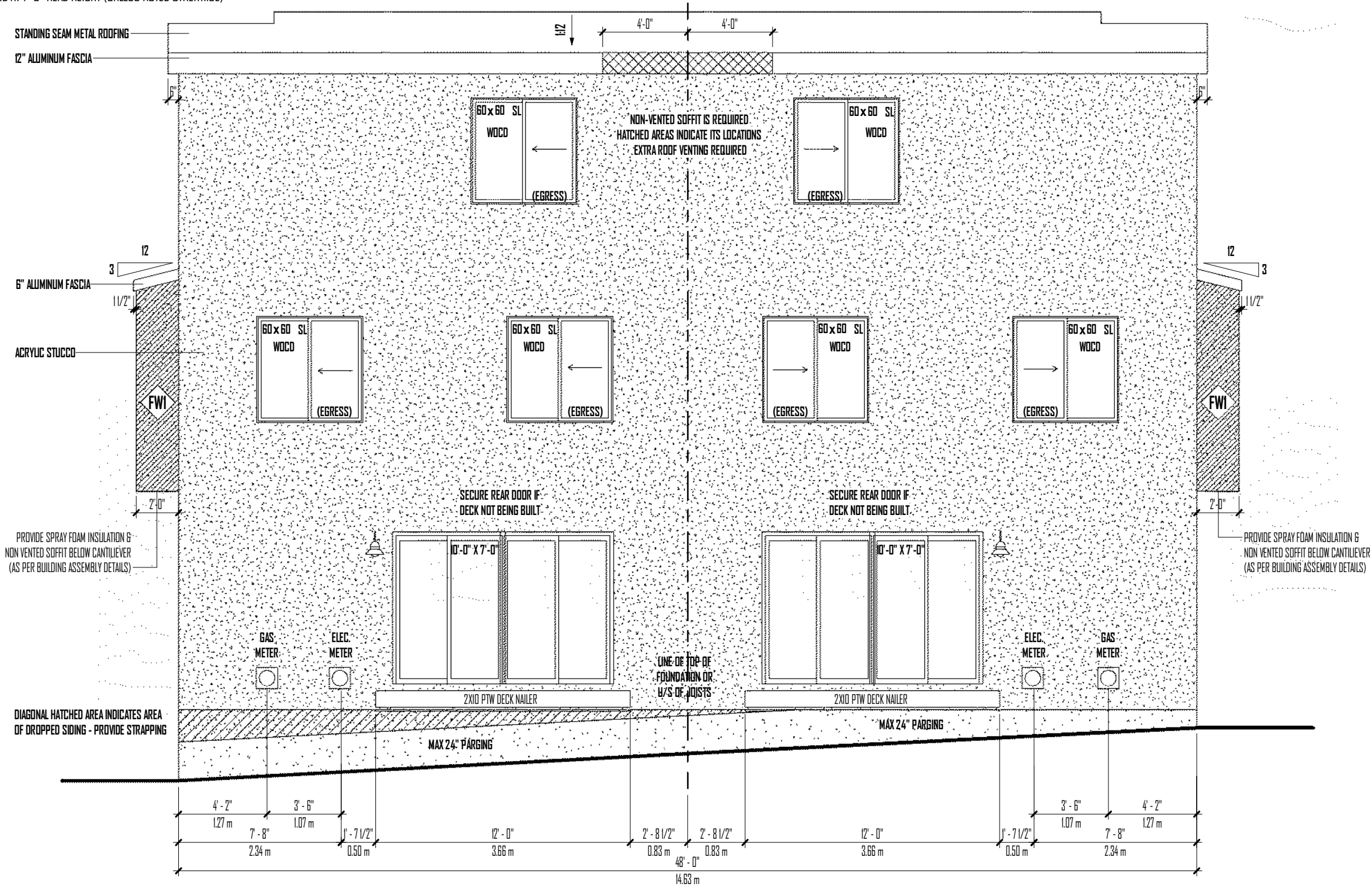
MODERN ELEVATION

| -PAGE-                                                                         |                                  | 4                                      |                       | 26               |                                                                             |
|--------------------------------------------------------------------------------|----------------------------------|----------------------------------------|-----------------------|------------------|-----------------------------------------------------------------------------|
| Address:                                                                       | Model:                           | Scale:                                 | Date:                 | Drawn By:        |                                                                             |
| 924 31 AVENUE NW, CALGARY, ALBERTA<br>LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ | CAMBRIAN HEIGHTS - INFILL DUPLEX | 3/16" = 1'-0" (UNLESS NOTED OTHERWISE) | 2026-06-19 9:50:21 AM | ScoHal (SS & DA) |                                                                             |
| 1st FLOOR                                                                      | 2nd FLOOR                        | 3rd FLOOR                              | SUNROOM               | TOTAL            | Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor. |
| 1046 Sq.Ft.                                                                    | 997 Sq.Ft.                       | 692 Sq.Ft.                             | 274 Sq. Ft.           | 3009 Sq.Ft.      |                                                                             |

-- GENERAL EXTERIOR ELEVATION NOTES --

- 1- ROOF TRUSSED TO BE INSTALLED AS PER SUPPLIERS ROOF TRUSS LAYOUT
- 2- MANUFACTURED STONE TO BE INSTALLED AS PER ENGINEERS SPECIFICATIONS
- 3- PROVIDE ROOF VENTS AS REQUIRED/INDICATED BY NBC (AE) 9.19.1.1 /NBC (AE) 9.19.1.2 /NBC (AE) 9.19.1.3 (BUILDER/TRADE TO VERIFY LOCATION & TYPES ON SITE).
- 4- INSTALL ALUMINUM RAIN GUTTERS ON ALL HORIZONTAL FASCIA EDGES. (COLOR TO MATCH ALUMINUM FASCIA).
- 5- WINDOWS TO BE LOW E THROUGHOUT.
- 6- WINDOWS TO USE TRIPLE PANE GLAZING THROUGHOUT.
- 7- REFER TO EXTERIOR COLOR CHART & ARCHITECTURAL APPROVAL (IF REQUIRED) FOR ALL EXTERIOR COLOR SELECTIONS.
- 8- ALL EXTERIOR MATERIALS TO BE INSTALLED AS PER MANUFACTURER/SUPPLIER SPECIFICATIONS AND INSTALLATION GUIDELINES.
- 9- FLASHING IS TO BE INSTALLED AT ALL APPROPRIATE LOCATIONS\ON ROOF AND ELEVATIONS.
- 10- PROVIDE WINDOW WELLS AS BE REQUIRED DEPENDING ON FINAL GRADE AS PER THE PLOT/SURVEY GRADING PLAN.
- 11- ALL FIRST FLOOR WINDOWS TO BE FRAMED AT 8'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)
- 12- ALL SECOND & THIRD FLOOR WINDOWS TO BE FRAMED AT 7'-0" HEAD HEIGHT (UNLESS NOTED OTHERWISE)

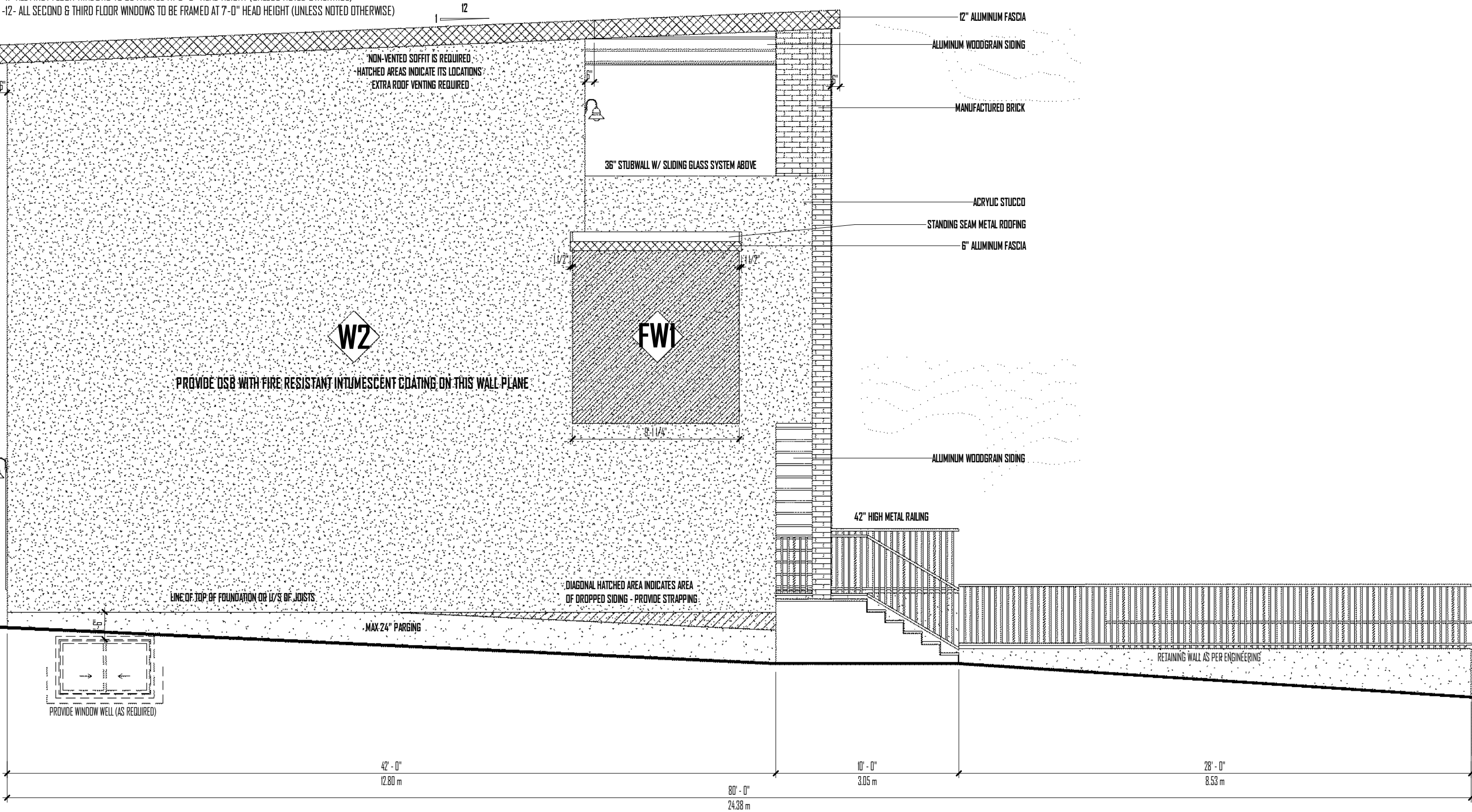
REAR ELEVATION



| -PAGE-                                                                         |                                  | 5                                      |                       | 26               |                                                                             |
|--------------------------------------------------------------------------------|----------------------------------|----------------------------------------|-----------------------|------------------|-----------------------------------------------------------------------------|
| Address:                                                                       | Model:                           | Scale:                                 | Date:                 | Drawn By:        |                                                                             |
| 924 31 AVENUE NW, CALGARY, ALBERTA<br>LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ | CAMBRIAN HEIGHTS - INFILL DUPLEX | 3/16" = 1'-0" (UNLESS NOTED OTHERWISE) | 2026-06-19 9:50:21 AM | ScoHal (SS & DA) |                                                                             |
| 1st FLOOR                                                                      | 2nd FLOOR                        | 3rd FLOOR                              | SUNROOM               | TOTAL            | Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor. |
| 1046 Sq.Ft.                                                                    | 997 Sq.Ft.                       | 692 Sq.Ft.                             | 274 Sq. Ft.           | 3009 Sq.Ft.      |                                                                             |

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LEFT ELEVATION

| -PAGE-                                                                      |             | 6           |             | 26          |             |
|-----------------------------------------------------------------------------|-------------|-------------|-------------|-------------|-------------|
| 1st FLOOR                                                                   | 1046 Sq.Ft. | 1046 Sq.Ft. | 997 Sq.Ft.  | 692 Sq.Ft.  | 274 Sq. Ft. |
| 2nd FLOOR                                                                   | 997 Sq.Ft.  | 997 Sq.Ft.  | 692 Sq.Ft.  | 274 Sq. Ft. | 3009 Sq.Ft. |
| 3rd FLOOR                                                                   | 692 Sq.Ft.  | 692 Sq.Ft.  | 274 Sq. Ft. | 3009 Sq.Ft. |             |
| SUNROOM                                                                     | 274 Sq. Ft. | 274 Sq. Ft. | 3009 Sq.Ft. |             |             |
| TOTAL                                                                       | 3009 Sq.Ft. | 3009 Sq.Ft. |             |             |             |
| Sq.Footage includes stairwell on Main Floor and is not inc. on Upper Floor. |             |             |             |             |             |



SCHOHAL

DESIGN GROUP

Address:

924 31 AVENUE NW, CALGARY, ALBERTA  
LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ

Model:

CAMBRIAN HEIGHTS - INFILL DUPLEX

Scale:

3/16" = 1'-0" (UNLESS NOTED OTHERWISE)

Date:

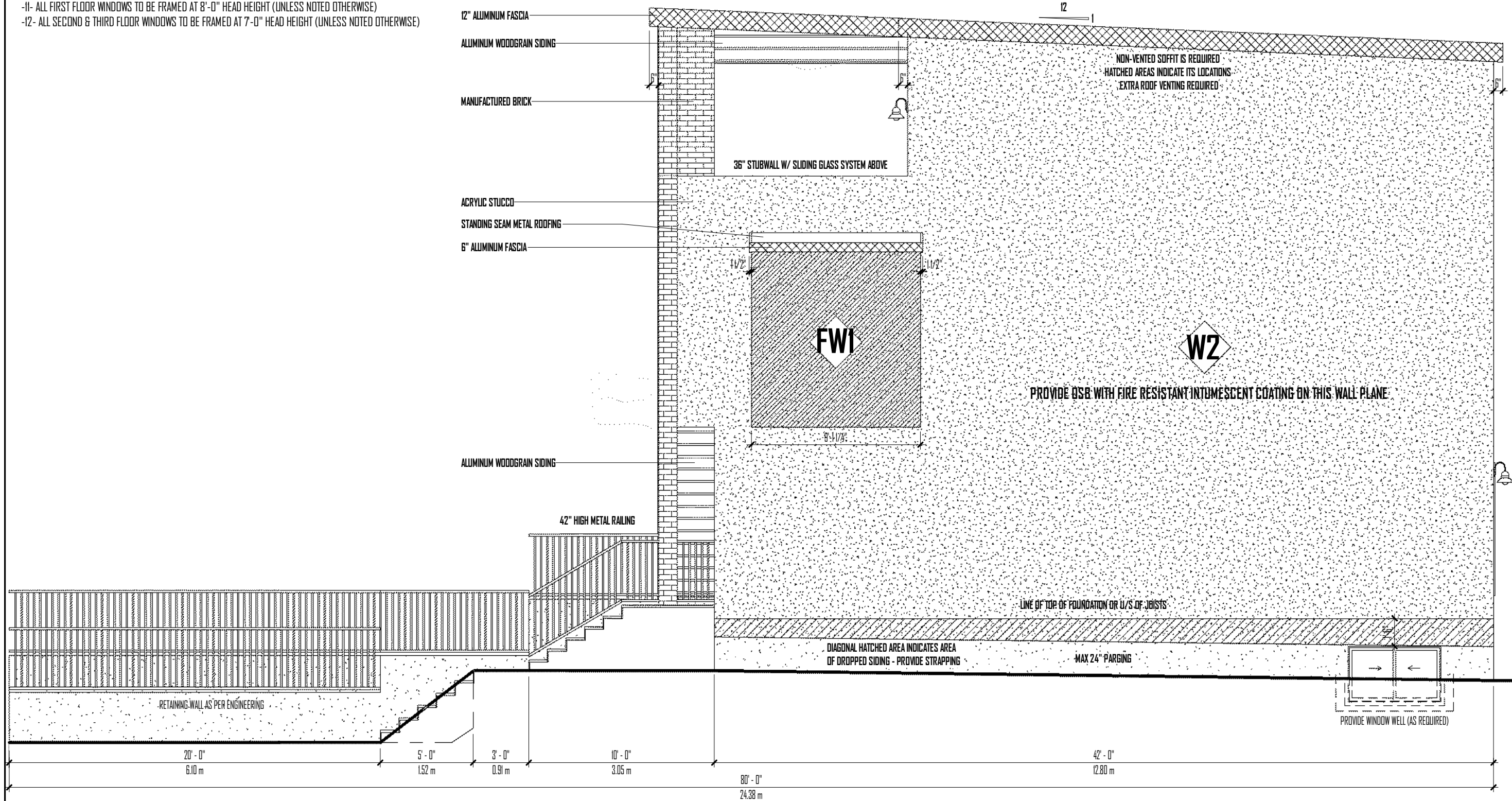
2026-06-19 9:50:22 AM

Drawn By:

ScoHal (SS & DA)

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RIGHT ELEVATION

| -PAGE-                                                                         |                                  | 7                                      |                       | 26               |                                                                              |
|--------------------------------------------------------------------------------|----------------------------------|----------------------------------------|-----------------------|------------------|------------------------------------------------------------------------------|
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| 924 31 AVENUE NW, CALGARY, ALBERTA<br>LOT 10, 11 & 12 / BLOCK 34 / PLAN 6060AJ | CAMBRIAN HEIGHTS - INFILL DUPLEX | 3/16" = 1'-0" (UNLESS NOTED OTHERWISE) | 2026-06-19 9:50:23 AM | ScoHal (SS & DA) |                                                                              |
| 1st FLOOR                                                                      | 2nd FLOOR                        | 3rd FLOOR                              | SUNROOM               | TOTAL            | Sq. Footage includes stairwell on Main Floor and is not inc. on Upper Floor. |
| 1046 Sq.Ft.                                                                    | 997 Sq.Ft.                       | 692 Sq.Ft.                             | 274 Sq. Ft.           | 3009 Sq.Ft.      |                                                                              |