

C:\Users\davis.jeffrey\Documents\2403-Richmond Green 2.3 CD R23 CENTRAL.davis9\XLEP.rvt 26-07-30 1:39:20 PM

RICHMOND GREEN | MULTI-FAMILY RESIDENTIAL



ISSUED FOR REVISIONS TO DP2024-04538 JULY 30, 2026

CLIENT CONSULTANTS

sarinahomes

1861 17 AVE SW, CALGARY, AB T2T 5W3
PH: (403) 249-8003 E: INFO@SARINAHOMES.CA

casola koppe
ARCHITECTS

#300 - 1410 1ST STREET SW, CALGARY, ALBERTA T2R 0V8
PH: (403) 287-9960 E: INFO@CKARCH.CA

JEC Jubilee
Engineering Consultants Ltd.

3702 EDMONTON TRAIL NE, CALGARY, ALBERTA T2E 3P4
PH: (403) 276-1001

arquiecos

121 VILLAGE HEIGHTS SW, CALGARY, ALBERTA T3H 2L2
PH: (403) 618-4427

GENERAL NOTES
This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
80	26.07.30	ISSUED FOR REVISION TO DP2024-04538

DRAWING LIST

- Architectural
DP0.00 TITLE PAGE, SHEET LIST & CONSULTANTS
DP1.00 PROJECT INFORMATION AND WASTE & RECYCLING DETAILS
DP1.01a SITE PLAN
DP1.01b SITE PLAN - CONSTRUCTION DISTURBANCE BOUNDRY PLAN
DP1.02 PHASING PLAN
DP1.03 SITE SURVEY
DP1.04 SITE CONTEXT
DP1.05 SITE DETAILS
DP1.06 PARKADE RAMP PLAN AND SECTION
DP1.07 BIKE STORAGE
DP1.08 VEHICLE SWEEP PATHS
DP1.09 FIRE TRUCK PATHS
DP1.10 3D VIEWS
DP1.11 SHADOW STUDY - SEPT. 21
DP1.13 SHADOW STUDY - SEPT. 21
DP2.00 PARKADE PLAN
DP2.11 B1000 LEVEL 1 FLOOR PLAN
DP2.12 B1000 LEVEL 2 FLOOR PLAN
DP2.13 B1000 LEVEL 3 FLOOR PLAN
DP2.14 B1000 LEVEL 4 FLOOR PLAN
DP2.15 B1000 LEVEL 5 FLOOR PLAN
DP2.16 B1000 LEVEL 6 FLOOR PLAN
DP2.17 B1000 ROOF PLAN
DP2.21 B2000 LEVEL 1 FLOOR PLAN
DP2.22 B2000 LEVEL 2 FLOOR PLAN
DP2.23 B2000 LEVEL 3 FLOOR PLAN
DP2.24 B2000 LEVEL 4 FLOOR PLAN
DP2.25 B2000 LEVEL 5 FLOOR PLAN
DP2.26 B2000 LEVEL 6 FLOOR PLAN
DP2.27 B2000 ROOF PLAN
DP3.11 B1000 ELEVATIONS
DP3.12 B1000 ELEVATIONS
DP3.21 B2000 ELEVATIONS
DP3.22 B2000 ELEVATIONS
DP4.01 B1000/2000 CRU SECTIONS
DP4.02 B1000/2000 RTU SECTIONS
DP4.03 EAST/SOUTH P/L CROSS SECTIONS

- Landscape
L-01 OVERALL PLAN
L-02 LANDSCAPE PLAN
L-03 LANDSCAPE DETAILS
L-04 LANDSCAPE DETAILS

- Civil
FT SITE SERVICING PLAN
SP2 SITE GRADING PLAN

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS
#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING
TITLE PAGE, SHEET LIST & CONSULTANTS

DRAWN BY
ES
CHECKED BY
DJ
SCALE
AS NOTED

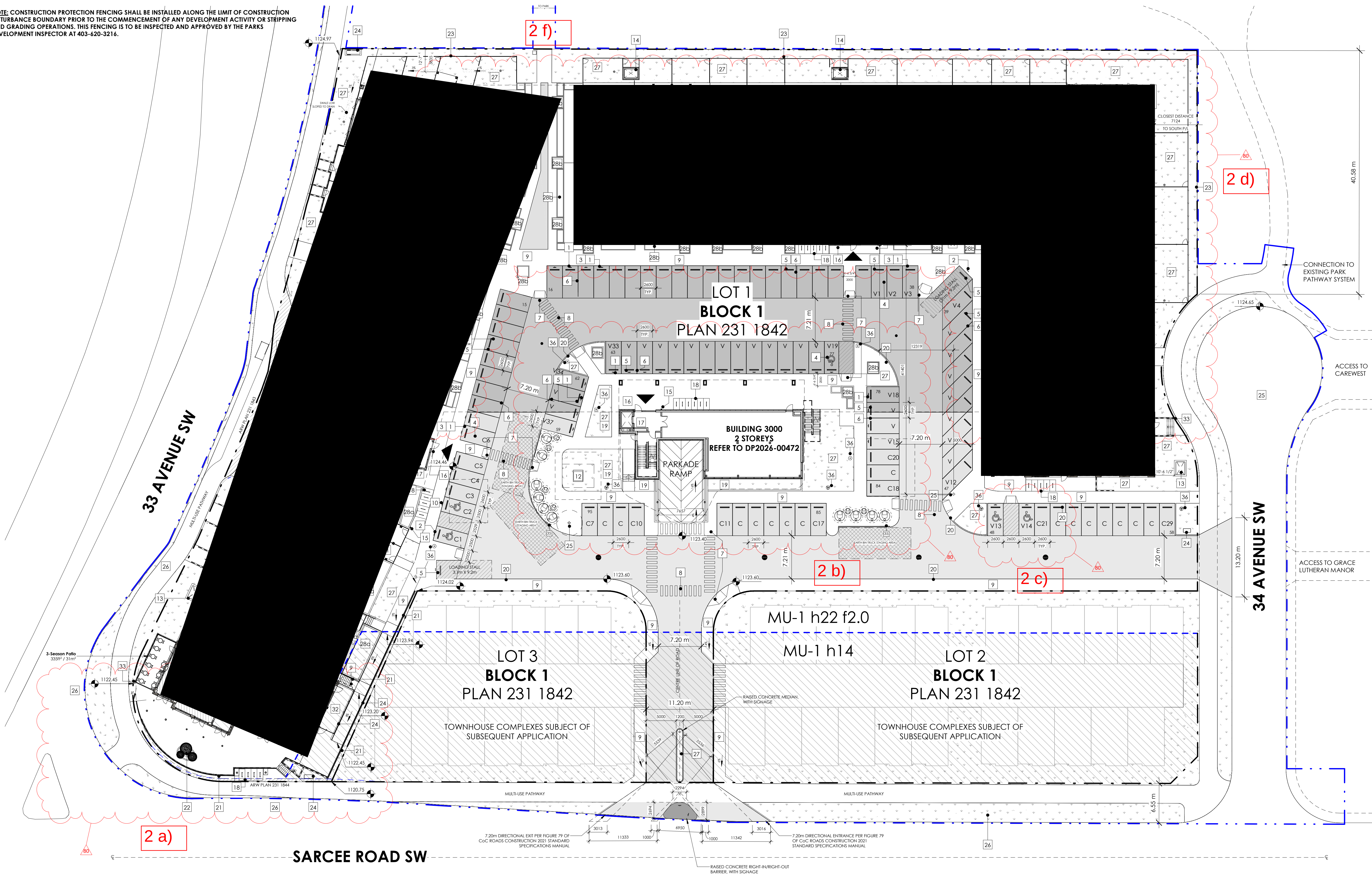
JOB NO.

2403

SHEET

DP0.00

NOTE: CONSTRUCTION PROTECTION FENCING SHALL BE INSTALLED ALONG THE LIMIT OF CONSTRUCTION DISTURBANCE BOUNDARY PRIOR TO THE COMMENCEMENT OF ANY DEVELOPMENT ACTIVITY OR STRIPPING AND GRADING OPERATIONS. THIS FENCING IS TO BE INSPECTED AND APPROVED BY THE PARKS DEVELOPMENT INSPECTOR AT 403-620-3216.



Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
3	25.05.07	ISSUED FOR PTR1
8	25.07.21	ISSUED FOR PTR
80	26.07.30	ISSUED FOR REVISION TO DP2024-04338

PARKING PROVIDED	
PARKADE	284
SURFACE	95
TOTAL PARKING STALLS	379

2 e)

EVSE STALLS PROVIDED: 4 STALLS
FULLY OPERATIONS ELECTRIC VEHICLE PARKING STALL WITH ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLATION CAPABLE OF TRANSFERRING A MINIMUM OF 40 AMPS AT 208 VOLTS OR 240 VOLTS ELECTRICAL POWER

EV CAPABLE STALLS PROVIDED: 4 STALLS
ELECTRIC VEHICLE PARKING STALL/CAPABLE STALL FOR FUTURE ELECTRIC VEHICLE SUPPLY EQUIPMENT INSTALLATION. ROUGH IN PROVIDED.

TOTAL STALLS READY FOR EV CHARGING: 4 IN PARKADE

PROPERTY LINE
RETAINING WALL
LIMIT OF CONSTRUCTION DISTURBANCE
TEMPORARY CONSTRUCTION FENCE

- NOTES:
- A. ALL DEVELOPMENT ON SITE IS PROPOSED
 - B. REFER TO CIVIL DRAWINGS FOR GRADING INFORMATION
 - C. REFER TO LANDSCAPE DRAWINGS FOR ALL MATERIALS SPECIFIC TO LANDSCAPING
 - D. REFER TO ELECTRICAL FOR SITE LIGHTING LAYOUT
 - E. ALL PARKING STALLS SHALL NOT HAVE ANY GRADES GREATER THAN 4%
 - F. ALL PARKING STALLS TO BE MIN: 2500mm x 5400mm - VISITOR STALLS 2600mm x 5400mm - VISITOR STALLS 2600mm x 5400mm - BARRIER FREE STALLS
 - G. ALL STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
 - H. WASTE AND RECYCLING: PRIVATE EARTH BIN PICKUP
 - I. ALL LOADING STALLS HAVE NO OVERHEAD OBSTRUCTION - FULL OVERHEAD CLEARANCE
 - J. ALL LOADING STALL SURFACE - HEAVY DUTY ASPHALT
 - K. ALL SIDEWALKS 2000mm WIDE - TYPICAL
 - L. ALL VISITOR PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
 - M. ALL BARRIER FREE PARKING STALLS TO HAVE SIGNAGE @ SIDEWALK
 - N. SEE CIVIL DRAWINGS FOR LOCATIONS OF ALL CATCH BASINS, UTILITY POLES AND GUY WIRES
 - O. EMERGENCY ACCESS TO BE CONSTRUCTED TO SUPPORT 85.000lbs AND TO BE MAINTAINED CLEAR OF ICE AND SNOW
 - P. ALL PORTIONS OF THE COLLECTION VEHICLE ROUTE / APPROACH AREA / CONCRETE PADS / CONCRETE APRONS / PARKING STRUCTURES ARE STRUCTURALLY CAPABLE OF SUPPORTING A MINIMUM WEIGHT OF 25,000kg
 - Q. PROVIDE NO PARKING SIGNS ALONG THE FIRE ACCESS ROUTE IN LOCATIONS WHERE THERE ARE NO ADJACENT DESIGNATED PARKING STALLS

PERMIT TO PRACTICE

STAMP

ARCHITECT
casola koppe
ARCHITECTS
#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING
SITE PLAN

DRAWN BY
ES
CHECKED BY
DJ
SCALE
AS NOTED

JOB NO.

2403

SHEET

DP1.01a

SITE PLAN
1 : 300

- HEAVY DUTY ASPHALT TO SUPPORT MINIMUM 85,000 lb (38,554kg) VEHICLE ACCESS. REQUIRED TO SUPPORT 75psi (517kpa) POINT LOAD OVER 24"x24" AREA AS PER NPIA 1901
- HEAVY DUTY CONCRETE (TINTED DARK GREY) TO SUPPORT MINIMUM 85,000 lb (38,554kg) VEHICLE ACCESS OVER PARKADE. REQUIRED TO SUPPORT 75psi (517kpa) POINT LOAD OVER 24"x24" AREA AS PER NPIA 1901

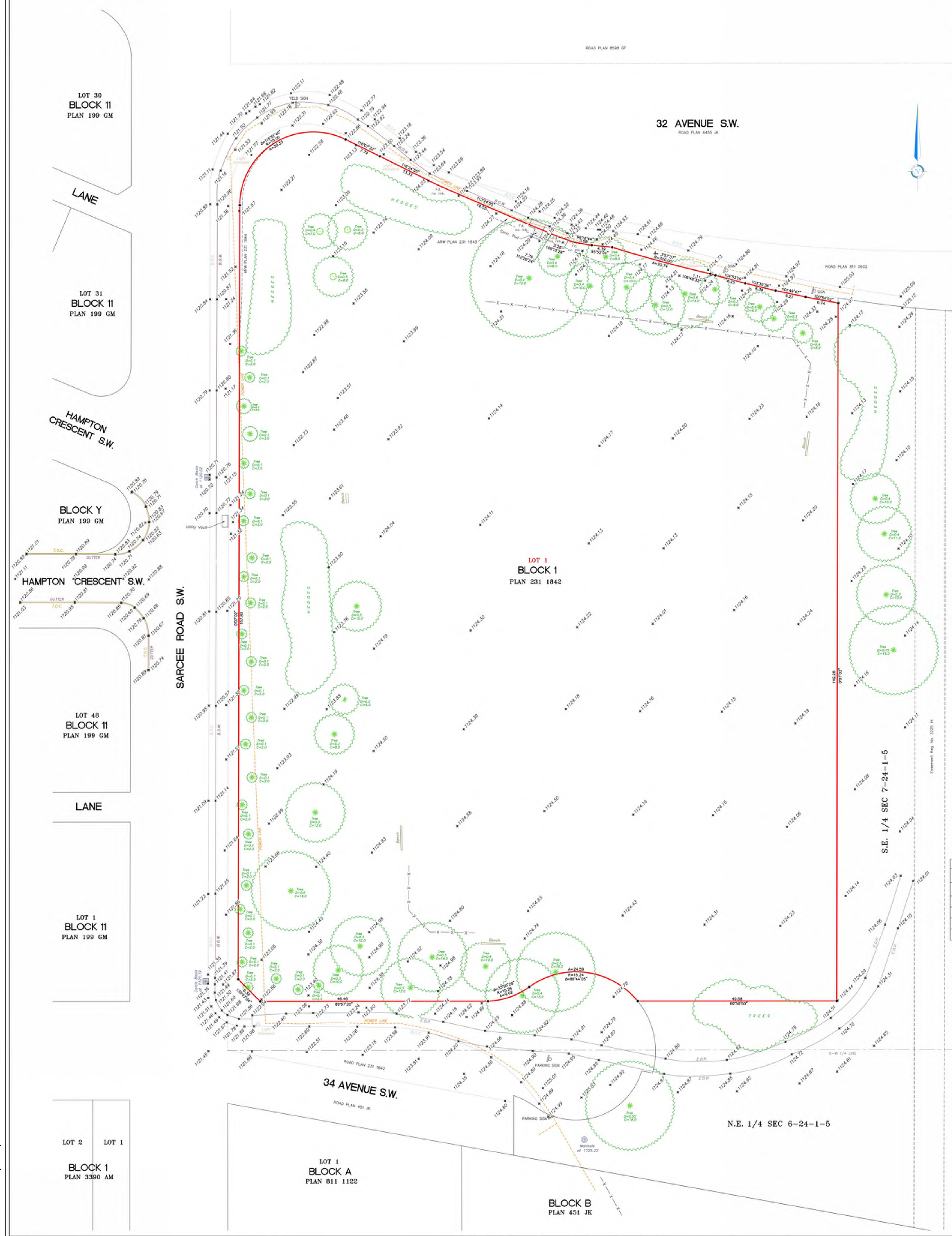
KEY #	DESCRIPTION
1	VISITOR PARKING SIGN
2	LOADING STALL SIGN
3	BARRIER FREE PARKING SIGN
4	BARRIER FREE SYMBOL
5	WHEEL STOP
6	100mm PAINTED PARKING LINES
7	CURB CUT
8	PAINTED CROSSWALK
9	2.0m SIDEWALK - NON-COLOURED BRUSH-FINISHED CONCRETE TYPICAL

KEY #	DESCRIPTION
10	COMMERCIAL PARKING STALL SIGN
11a	AT GRADE UNIT PATIO WITH GATE & 1.5m WALKWAY
11b	AT GRADE UNIT PATIO
12	TRANSFORMER ON CONCRETE PAD
13	PARKADE EXHAUST DOWNGRADE C/W LANDSCAPE SCREENING
14	PARKADE INTAKE SHAFT + GRATE C/W LANDSCAPE SCREENING
15	FIRE DEPARTMENT CONNECTION
16	LOCKBOX
17	FIRE ALARM PANEL

KEY #	DESCRIPTION
18	CLASS 2 BICYCLE STALLS
19	REFER TO LANDSCAPE DRAWINGS
20	FIRE LANE - NO PARKING SIGN
21	METAL GUARD RAIL
22	LANDSCAPE ART FEATURE
23	1.2m HIGH BLACK METAL PICKET FENCE
24	FREESTANDING SIGNAGE (PYLON SIGN)
25	FIRE HYDRANT, REFER TO CIVIL

KEY #	DESCRIPTION
26	REFER TO CD2021-0210 FOR BOULEVARD AND LANE UPGRADES ALONG 33RD AVE, 34TH AVE AND SARCEE RD.
27	DROUGHT-TOLERANT SOD, REFER TO LANDSCAPE
28a	CAST IN PLACE PLANTER
28b	FURNITURE PLANTER
29	NORTH STORM WATER TANK, REFER TO CIVIL
30	SOUTH STORM WATER TANK, REFER TO CIVIL
31	PRIVACY FENCE ON CONCRETE RETAINING WALL
32	COMMERCIAL STAGING AREA

KEY #	DESCRIPTION
33	DEMARCATOR WITH RETROREFLECTIVE MATERIAL TO PREVENT POTENTIAL RISKS TO MULTI-USE PATHWAY USERS
35	1.0m HIGH METAL DECORATIVE FENCE, OMEGA 80 FENCE OR SIMILAR
36	POLE MOUNTED AREA LIGHT, REFER TO ELECTRICAL



NOTES:

- Area affected by this plan shown bounded thus and contains 1.93 ha.
- Distances shown are ground in metres and decimals thereof.
- Elevations are geodetic and are derived from ASCM 167742 [Elevation= 1124.745m]
- Bearings are derived from a line between ASCM's 167742, 290742, 407189, 189688 and 49344

STANDARD SYMBOL LEGEND:

STATUTORY IRON POST FOUND THUS		Iron post
GEODETIC SPOT ELEVATIONS SHOWN THUS		
CATCH BASIN SHOWN THUS		
LIGHT STANDARD SHOWN THUS		
MANHOLE SHOWN THUS		
CHAIN LINK FENCE SHOWN THUS		
CANOPES OF TREES SHOWN THUS		
TREES SHOWN THUS		
CONIFEROUS TREES SHOWN THUS		
POWER LINE SHOWN THUS		

[illegible]

Encumbrances, Liens & Interests		
C. of T. Number 231 283 511 (As to Lot 1, Block 1, Plan 231 1842)		
Registration No.	Particulars	Comments
231 283 512	Restrictive Covenant	-
231 283 513	Covenant	Covenant - The City of Calgary
231 283 515	Covenant	Re - Easement
231 283 517	Covenant	Re - Easement



GENERAL NOTES

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of structure or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd prior to proceeding with work; this includes any errors or omissions.

Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
30	26.07.30	ISSUED FOR REVISION TO DP2024-04538

PERMIT TO PRACTICE

STAMP

ARCHITEC

casola  koppe
ARCHITECTS

#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

SITE SURVEY

DRAWN BY ES	JOB NO. 2403	SHEET D
CHECKED BY DJ		
SCALE AS NOTED		

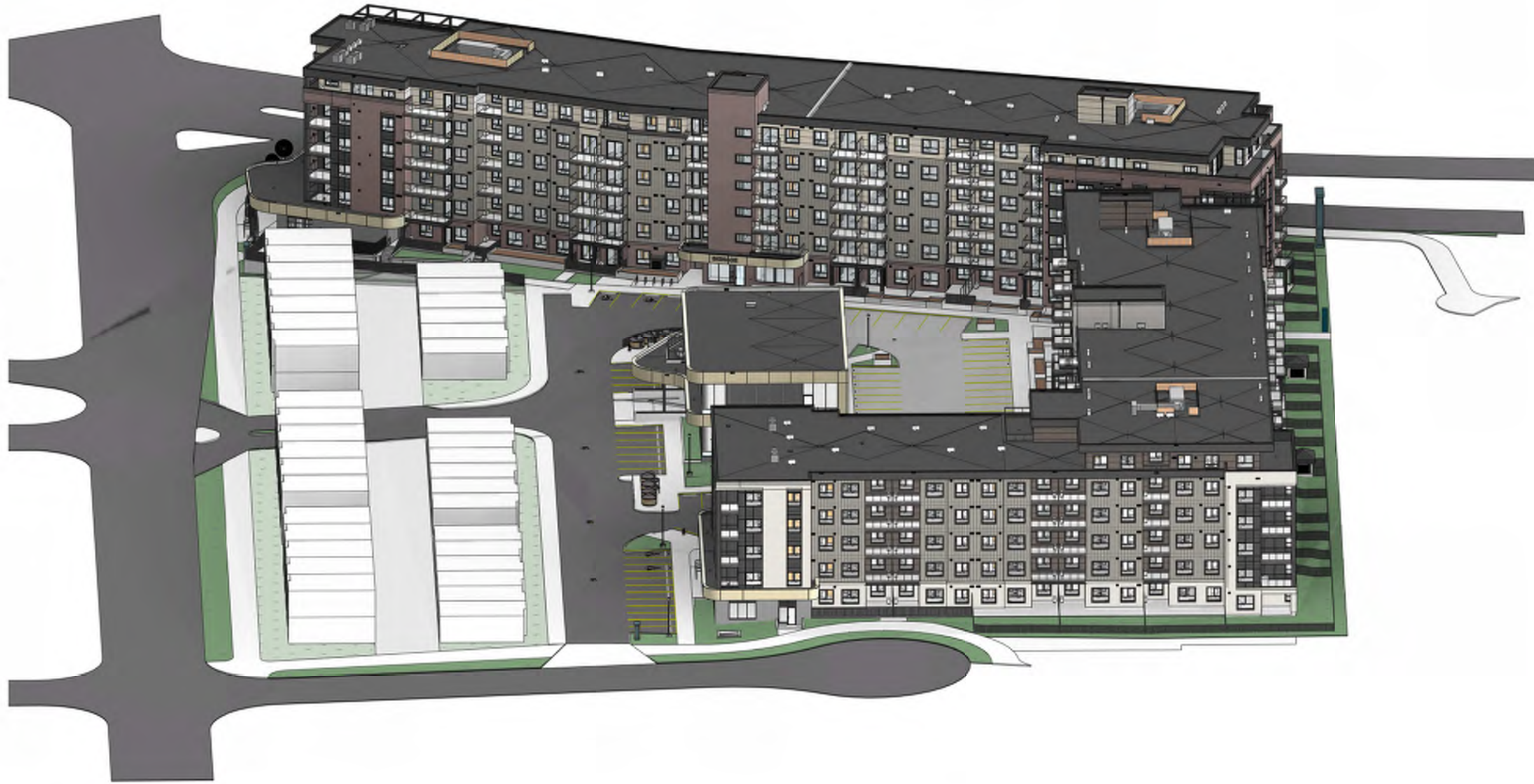
DP1.03

C:\Users\davis.jeffrey\Documents\2403-Richmond Green 2.3 CD R23 CENTRAL_davis\XLP.rvt 26-07-30 2:11:52 PM



3D VIEW 1

4 a)



3D VIEW 2



3D VIEW 3

4 a)



3D VIEW 4

GENERAL NOTES

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
80	26.07.30	ISSUED FOR REVISION TO DP2024-04538

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS

#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

3D VIEWS

DRAWN BY ES	JOB NO. 2403	SHEET
CHECKED BY DJ		
SCALE AS NOTED		

DP1.10



B1000 - SOUTH ELEVATION A
1 : 200



B1000 - NORTH ELEVATION A
1 : 200

9 a)

MATERIAL LEGEND	
#	MATERIAL
1A	BRICK MASONRY VENEER - RED
1B	BRICK MASONRY VENEER - TAN
2	FIBRE CEMENT PANEL - BLACK
3A	FIBRE CEMENT HORIZONTAL LAP SIDING - BEIGE
3B	FIBRE CEMENT HORIZONTAL LAP SIDING - BROWN
4	FIBRE CEMENT BOARD AND BATTEN - DARK GREEN
5	ALUM MASONRY - BROWN
6	BRICK MASONRY - DARK GREY
7	METAL PANEL - BLACK
8	LANDSCAPE ART FEATURE
9A	GLAZING
9B	GLAZED SPANDREL PANEL
10	ALUMINUM AND GLASS GUARD
11	CONCRETE RETAINING WALL
12	MECHANICAL LOOSE
13	FIBRE CEMENT FASCIA - BLACK
14	FIBRE CEMENT TRIM - BLACK
15	EPS - DARK GREY
16	ADDRESS NUMBERS - BLACK
17	SIGNAGE
18	METAL COLUMN - BLACK
19	CHAIN LINK FENCE
20	ALUMINUM AND TRANSLUCENT GLASS PRIVACY SCREEN
21	HYVAC AIR GRATE - ALUMINUM FINISH
22	ASPHALT BRICKS - BLACK
23	FREESTANDING HANDRAIL
24	FREESTANDING FURNITURE PLANTER, REFER TO LANDSCAPE
25	CLASS 2 BICYCLE PARKING STALL
26	BLACK METAL FENCE SCREENING
27	ALUMINUM PICKET GUARD/FENCE - BLACK
28	METAL PERGOLA - BLACK

GENERAL NOTES

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
80	26.07.30	ISSUED FOR REVISION TO DP2024-04538

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS
#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

B1000 ELEVATIONS

DRAWN BY
ES

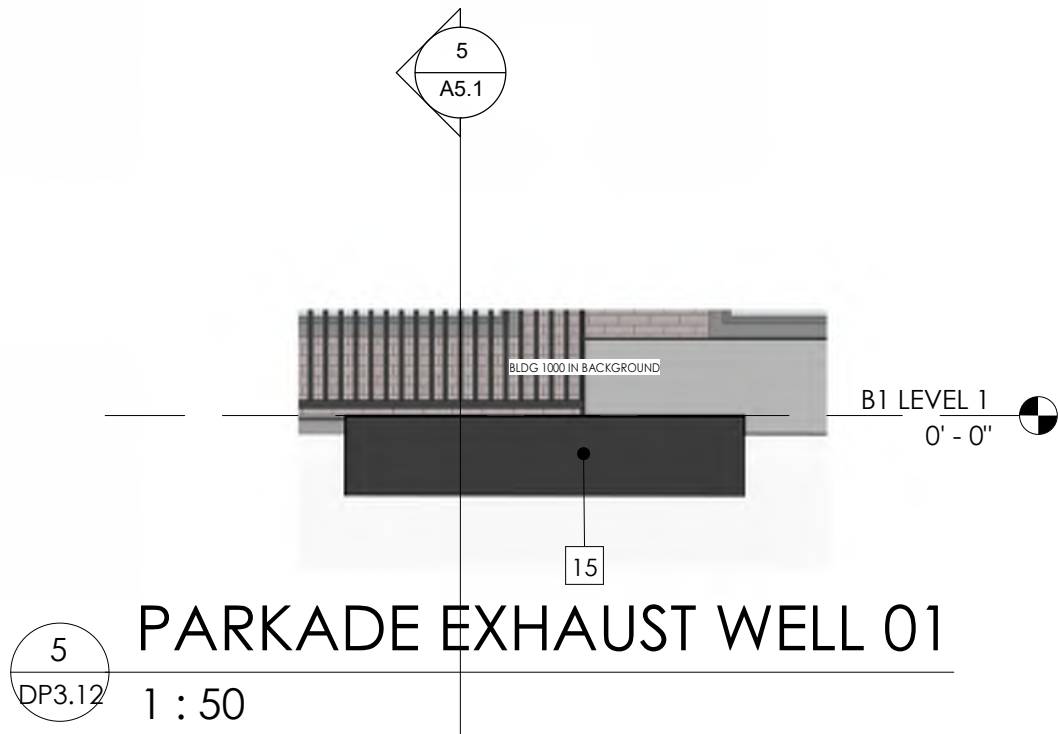
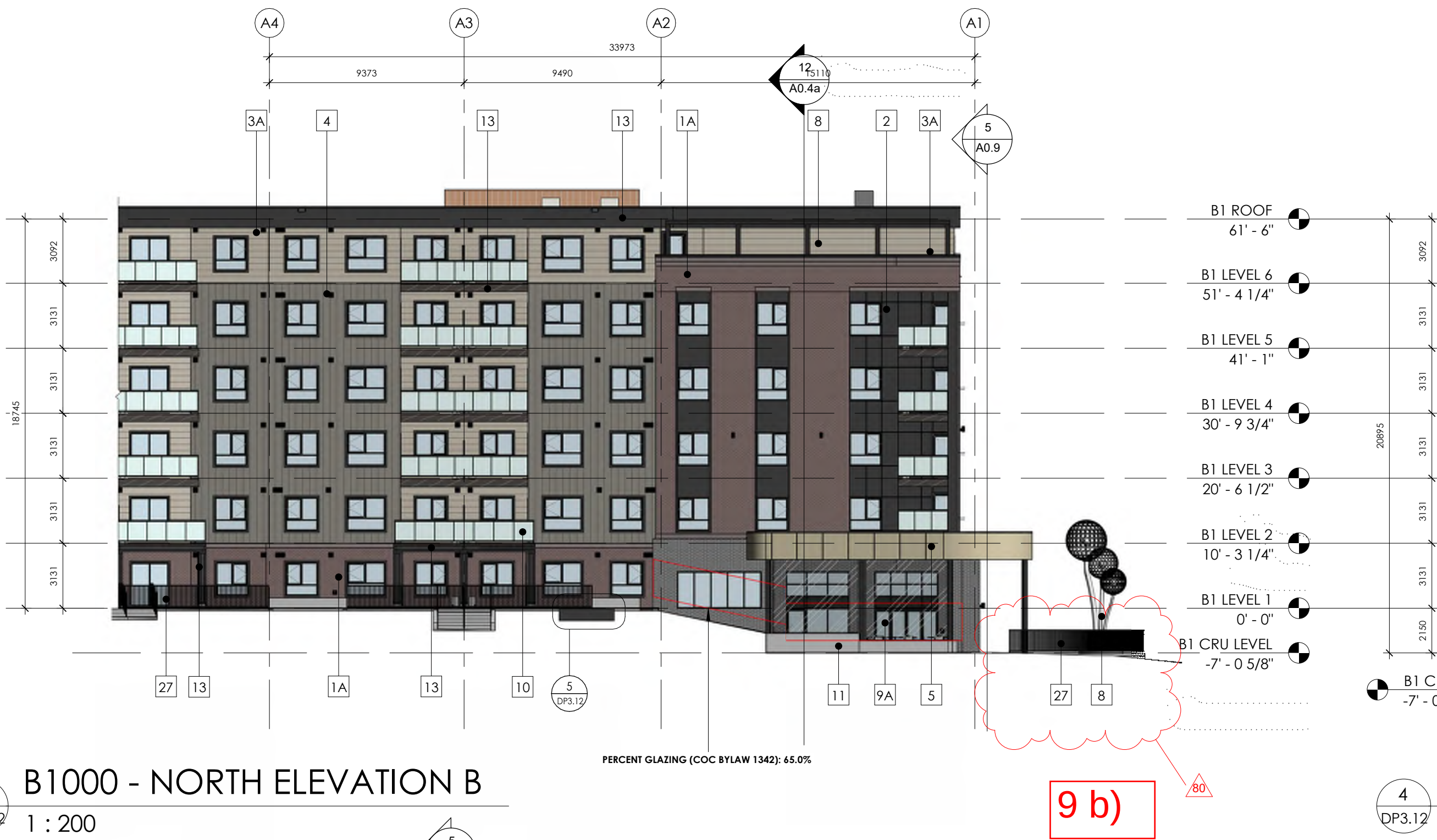
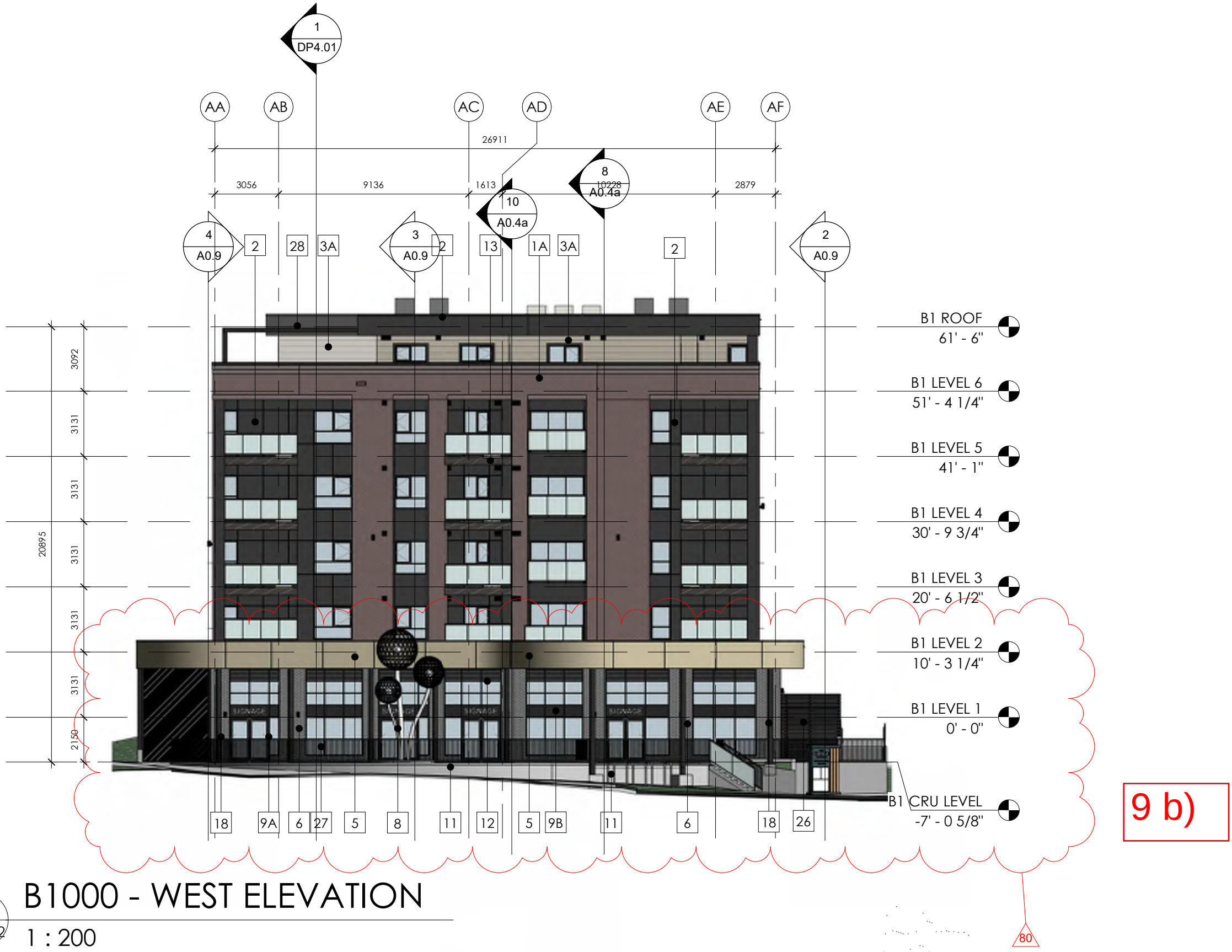
CHECKED BY
DJ

SCALE
AS NOTED

JOB NO.
2403

SHEET

DP3.11



MATERIAL LEGEND	
##	MATERIAL
1A	BRICK MASONRY VENEER - RED
1B	BRICK MASONRY VENEER - TAN
2	FIBRE CEMENT PANEL - BLACK
3A	FIBRE CEMENT HORIZONTAL LAP SIDING - BEIGE
3B	FIBRE CEMENT HORIZONTAL LAP SIDING - BROWN
4	FIBRE CEMENT BOARD AND BATTEN - DARK GREEN
5	ACCM METAL PANEL - BRONZE
6	BRICK MASONRY - DARK GREY
7	METAL PANEL - BLACK
8	LANDSCAPE ART FEATURE
9A	GLAZING
9B	GLAZED SPANDREL PANEL
10	ALUMINUM AND GLASS GUARD
11	CONCRETE RETAINING WALL
12	MECHANICAL LOUVER
13	FIBRE CEMENT FASCIA - BLACK
14	FIBRE CEMENT TRIM - BLACK
15	EIFS - DARK GREY
16	ADDRESS NUMBERS - BLACK
17	SIGNAGE
18	METAL COLUMN - BLACK
19	CHAIN LINK FENCE
20	ALUMINUM AND TRANSLUCENT GLASS PRIVACY SCREEN
21	HYAC AIR GRATE - ALUMINUM FINISH
22	ASPHALT SHINGLES - BLACK
23	PRESTANDING HANDRAIL
24	PRESTANDING FURNITURE PLANTER, REFER TO LANDSCAPE
25	CLASS 2 BICYCLE PARKING STALL
26	BLACK METAL FENCE SCREENING
27	ALUMINUM PICKET GUARD/FENCE - BLACK
28	METAL PERGOLA, BLACK

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
80	26.07.30	ISSUED FOR REVISION TO DP2024-04538

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS
#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

B1000 ELEVATIONS

DRAWN BY

ES

JOB NO.

2403

SHEET

CHECKED BY

DJ

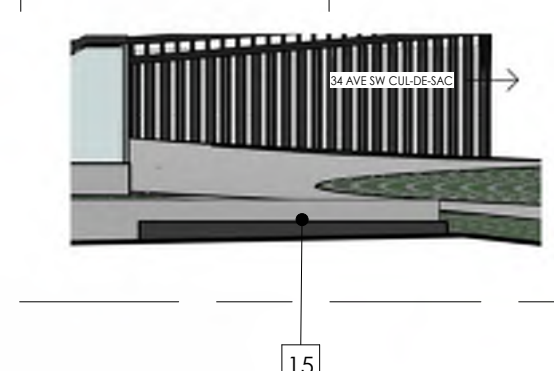
SCALE

AS NOTED

DP3.12



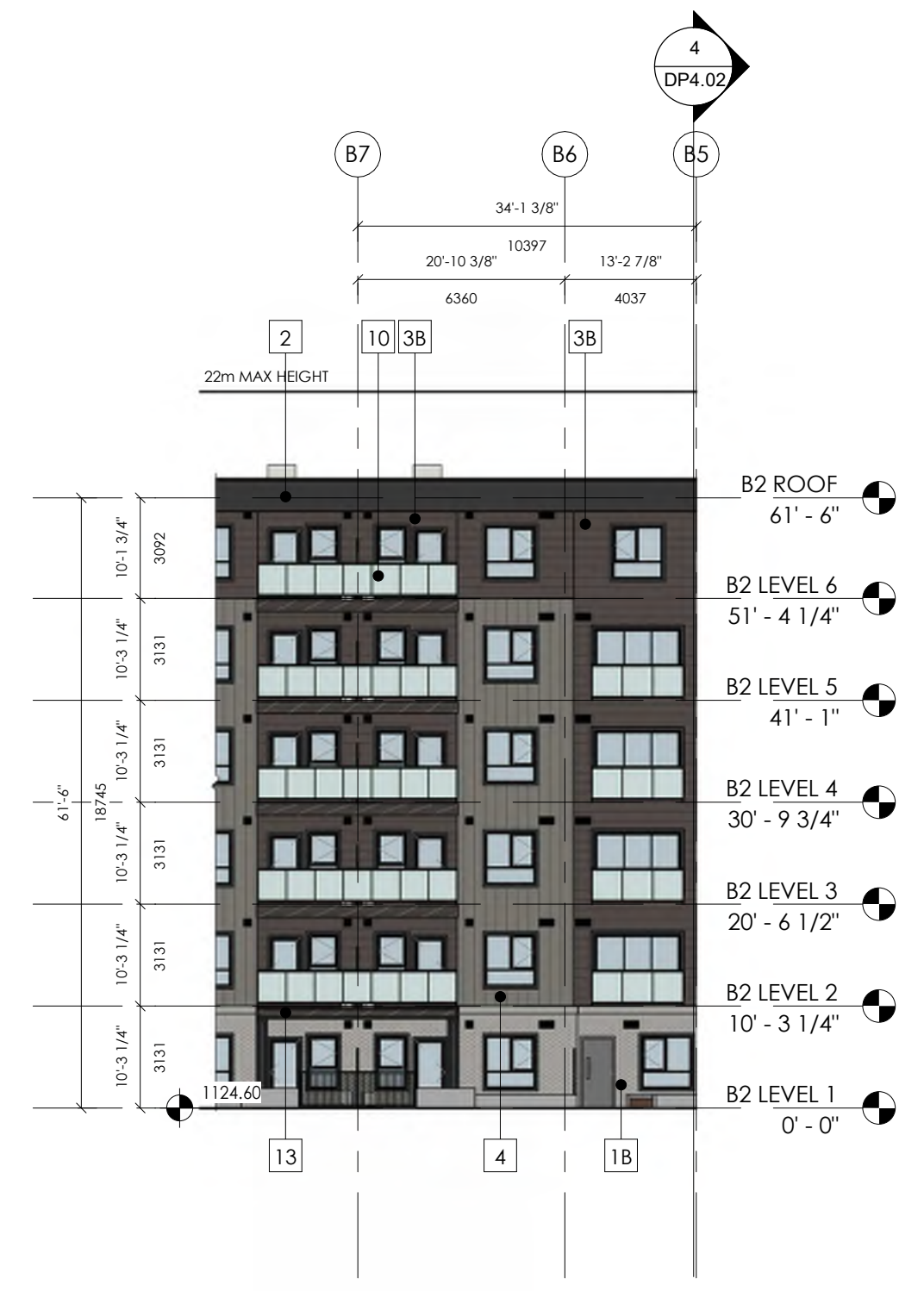
2 DP3.21 B2000- WEST ELEVATION 1 : 200



5 DP3.21 PARKADE EXHAUST WELL 02 1 : 50



1 DP3.21 B2000 - EAST ELEVATION 1 : 200



3 DP3.21 B2000 - INSIDE CORNER - WEST ELEVATION 1 : 200



4 DP3.21 PARKADE MAKE UP AIR DOGHOUSE 02 1 : 50

9 a)

MATERIAL LEGEND	
##	MATERIAL
1A	BRICK MASONRY VENEER - RED
1B	BRICK MASONRY VENEER - TAN
2	FIBRE CEMENT PANEL - BLACK
3A	FIBRE CEMENT HORIZONTAL LAP SIDING - BEIGE
3B	FIBRE CEMENT HORIZONTAL LAP SIDING - BROWN
4	FIBRE CEMENT BOARD AND BATTEN - DARK GREEN
5	ACCM METAL PANEL - BRONZE
6	BRICK MASONRY - DARK GREY
7	METAL PANEL - BLACK
8	LANDSCAPE ART FEATURE
9A	GLAZING
9B	GLAZED SPANDREL PANEL
10	ALUMINUM AND GLASS GUARD
11	CONCRETE RETAINING WALL
12	MECHANICAL LOUVER
13	FIBRE CEMENT FASCIA - BLACK
14	FIBRE CEMENT TRIM - BLACK
15	EIFS - DARK GREY
16	ADDRESS NUMBERS - BLACK
17	SIGNAGE
18	METAL COLUMN - BLACK
19	CHAIN LINK FENCE
20	ALUMINUM AND TRANSLUCENT GLASS PRIVACY SCREEN
21	IRVAC AIR GRATE - ALUMINUM FINISH
22	ASPHALT SHINGLES - BLACK
23	PRECASTING HANDRAIL
24	FREESTANDING FURNITURE PLANTER. REFER TO LANDSCAPE
25	CLASS 2 BICYCLE PARKING STALL
26	BLACK METAL FENCE SCREENING
27	ALUMINUM PICKET GUARD/FENCE - BLACK
28	METAL PERGOLA - BLACK

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
80	26.07.30	ISSUED FOR REVISION TO DP2024-04538

ARCHITECT

casola koppe
ARCHITECTS

#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS

RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING

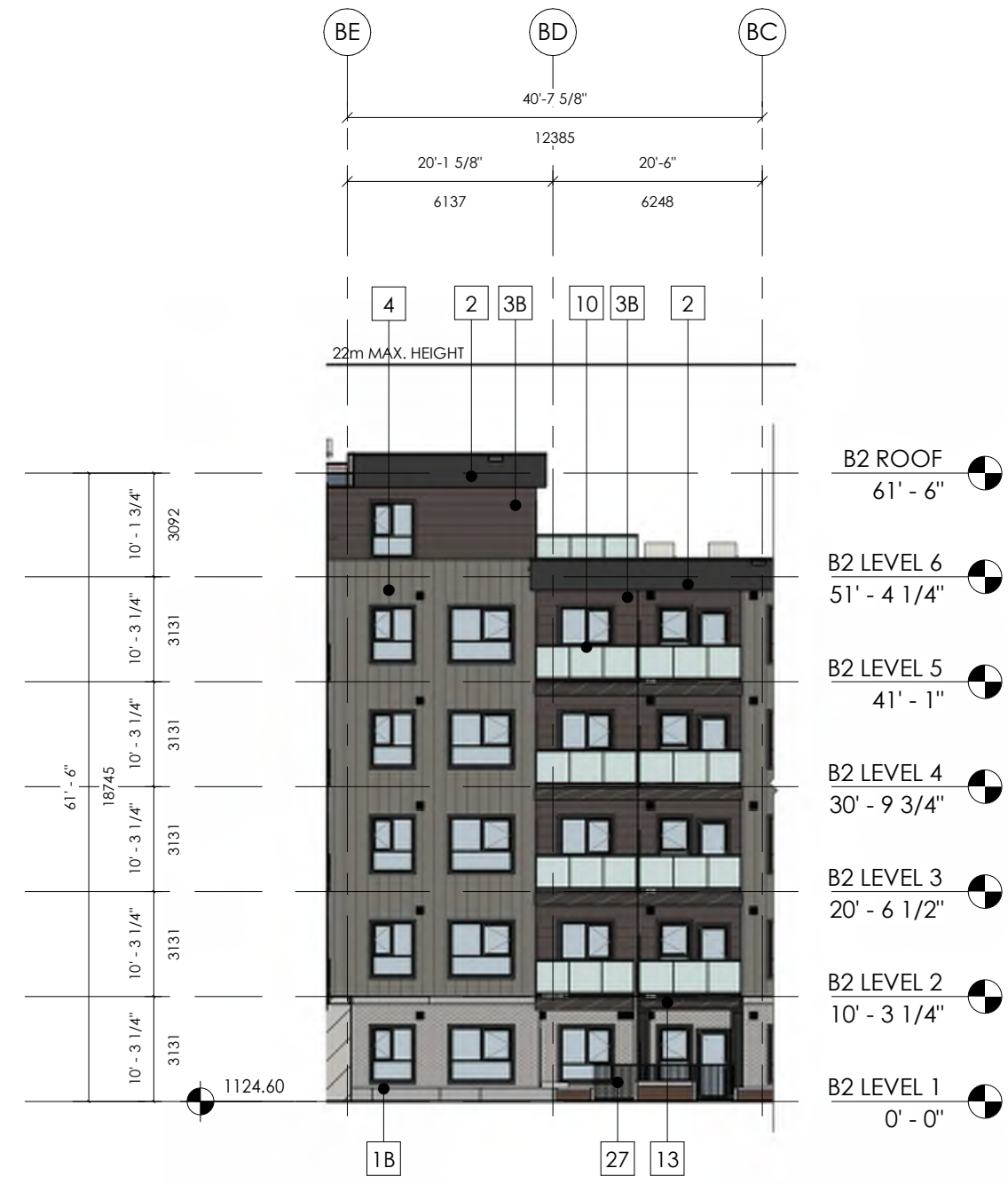
B2000 ELEVATIONS

DRAWN BY ES	JOB NO. 2403	SHEET
CHECKED BY DJ		
SCALE AS NOTED		

DP3.21



1 B2000 - NORTH ELEVATION
1 : 200



3 B2000 - INSIDE CORNER - NORTH ELEVATION
1 : 200



2 B2000 - SOUTH ELEVATION
1 : 200



4 PARKADE MAKE UP AIR DOGHOUSE 01
1 : 50

MATERIAL LEGEND	
#	MATERIAL
1A	BRICK MASONRY VENEER - RED
1B	BRICK MASONRY VENEER - TAN
2	FIBRE CEMENT PANEL - BLACK
3A	FIBRE CEMENT HORIZONTAL LAP SIDING - BEIGE
3B	FIBRE CEMENT HORIZONTAL LAP SIDING - BROWN
4	FIBRE CEMENT BOARD AND BATTEN - DARK GREEN
5	ACCM METAL PANEL - BRONZE
6	BRICK MASONRY - DARK GREY
7	METAL PANEL - BLACK
8	LANDSCAPE ART FEATURE
9A	GLAZING
9B	GLAZED SPANDREL PANEL
10	ALUMINUM AND GLASS GUARD
11	CONCRETE RETAINING WALL
12	MECHANICAL LOUVRE
13	FIBRE CEMENT FASCIA - BLACK
14	FIBRE CEMENT TRIM - BLACK
15	IBPS - DARK GREY
16	ADDRESS NUMBERS - BLACK
17	SCREENING
18	METAL COLUMN - BLACK
19	CHAIN LINK FENCE
20	ALUMINUM AND TRANSLUCENT GLASS PRIVACY SCREEN
21	HVAC AIR GRATE - ALUMINUM FINISH
22	ASPHALT SHINGLES - BLACK
23	PRESTANDING HANDRAIL
24	FREESTANDING FURNITURE PLANTER, REFER TO LANDSCAPE
25	CLASS 2 BICYCLE PARKING STALL
26	BLACK METAL FENCE SCREENING
27	ALUMINUM PICKET GUARD/FENCE - BLACK
28	METAL PERGOLA, BLACK

9 a)

80

GENERAL NOTES

This drawing and all its contents are protected by copyright, and shall not be reproduced, in whole or in part without the expressed written consent of Casola Koppe Architects Ltd. These drawings are not to be scaled. All dimensions are to face of stud or sheathing unless noted otherwise. Contractor must verify all dimensions, drawings, details and specifications. Any discrepancies are to be reported to Casola Koppe Architects Ltd. prior to proceeding with work; this includes any errors or omissions.

Revision Schedule		
Number	Date (yy/mm/dd)	Description
1	24.05.30	ISSUED FOR DEVELOPMENT PERMIT
2	25.03.05	ISSUED FOR DR1
80	26.07.30	ISSUED FOR REVISION TO DP2024-04538

PERMIT TO PRACTICE

STAMP

ARCHITECT

casola koppe
ARCHITECTS
#500 - 396 11 Ave SW, Calgary, Alberta T2R 0C5
bus: (403) 287-9960 fax: (403) 287-9962 info@ckarch.ca

PROJECT NAME AND ADDRESS
RICHMOND GREEN

3420 SARCEE ROAD SW
CALGARY AB

DRAWING
B2000 ELEVATIONS

DRAWN BY
ES
CHECKED BY
DJ
SCALE
AS NOTED

SHEET

DP3.22