

HILLHURST 19

ISSUED FOR DEVELOPMENT PERMIT

2026/08/07

PROJECT NUMBER:
26.008.ECC_HILLHURST

PARCEL ADDRESS:

LEGAL: LOTS: 4-7, BLOCK: 19, PLAN: 8942GB
MUNICIPAL: 206, 210, 214, 218 16TH ST N.W.,
CALGARY, AB

DP
REFERENCE

BP
REFERENCE

DRAWING LIST: INDEX: ARCHITECTURE FAAS

DP.000	TITLE SHEET
DP.100	BLOCK PLAN
DP.101	SITE PLAN
DP.102	SITE INFORMATION
DP.200	PARADE PLAN
DP.201	MAIN FLOOR PLAN
DP.202	SECOND FLOOR PLAN
DP.203	THIRD FLOOR PLAN
DP.204	FOURTH FLOOR PLAN
DP.205	FIFTH FLOOR PLAN
DP.206	SIXTH FLOOR PLAN
DP.207	ROOF PLAN
DP.208	UNIT MATRIX
DP.300	BUILDING SECTION-01
DP.301	BUILDING SECTION-02
DP.400	ELEVATIONS
DP.401	ELEVATIONS
DP.402	ELEVATIONS
DP.403	ELEVATIONS
A.001	RENDERS
L.100	LANDSCAPE PLAN
S.100	SURVEY
C.100	CIVIL PLAN

PROJECT INFORMATION: PARCEL ADDRESS:

LEGAL: L: 4-7, B: 19, P: 8942GB
MUNICIPAL: 206, 210, 214, 218 19th ST N.W.,
CALGARY, AB
COMMUNITY: WEST HILLHURST
ZONE: MU-1F3.9H24

PROPOSED GROSS BUILDING AREA:

PARKADE	2151.24 SQ.M. / 23155.77 SQ.FT.
MAIN FLOOR	1469.12 SQ.M. / 15831.88 SQ.FT.
SECOND	1493.97 SQ.M. / 16080.95 SQ.FT.
THIRD	1447.88 SQ.M. / 15584.90 SQ.FT.
FOURTH	1407.42 SQ.M. / 15149.39 SQ.FT.
FIFTH	1307.22 SQ.M. / 13938.42 SQ.FT.
SIXTH	1307.92 SQ.M. / 13938.42 SQ.FT.
SUBTOTAL:	1058.08 SQ.M. / 113926.13 SQ.FT.
TOTAL:	8432.84 SQ.M. / 90770.36 SQ.FT.

BYLAW REGULATIONS: BUILDING SETBACKS:

NORTH	PERMITTED
WEST	0.0m
EAST	0.0m
SOUTH	2.02m
	3.0m

PARCEL COVERAGE:

PARCEL AREA:	2255.29 SQ.M. / 24275.73 SQ.FT.
PARCEL COVERAGE ALLOWED:	—
BUILDING FOOT PRINT:	1582.57 SQ.M. / 17034.65 SQ.FT.
PARCEL COVERAGE ALLOWED:	70.20%

FLOOR AREA RATIO:

MAXIMUM ALLOWED:	3.9
PROPOSED:	3.73

AMENITY SPACE:

MINIMUM REQUIRED:	5.0 SQ.M. / 53.8 SQ.FT. / UNIT
100 UNITS x 5.0 SQ.M.	
= 500 SQ.M. / 5381.96 SQ.FT.	
PROPOSED: 634.90 SQ.M. / 6834.02 SQ.FT.	

PUBLIC AMENITY SPACE:
MAIN FLOOR SHARED AMENITY: 337.65 SQ.M./3634.40 SQ.FT

VEHICULAR PARKING:

REQUIRED RESIDENTIAL STALLS: 0.75 STALLS / 100 UNIT	75 RESIDENTIAL STALLS REQUIRED
REQUIRED VISITOR STALLS: 0.1 STALLS / 100 UNIT	10 VISITOR STALLS REQUIRED
ACCESSIBLE STALLS:	4 PER 50-100 REGULAR STALLS
PARKING REDUCTIONS: 80 STALLS OF 20% FREQUENT TRANSIT REDUCTION	21.25 STALLS
TOTAL BEFORE REDUCTION:	85 STALLS
AFTER REDUCTION:	64 STALLS

VEHICULAR PARKING PROPOSED:

RESIDENTIAL STALLS:	61 STALLS
VISITOR STALLS:	10 STALLS
ACCESSIBLE STALLS:	4 STALLS
TOTAL PARKING STALLS PROVIDED:	75 STALLS

BICYCLE PARKING:

MINIMUM REQUIRED (RESIDENTIAL): 0.5 CLASS 1 BICYCLE STALLS / UNIT	100 UNITS x 0.5 = 50 STALLS REQUIRED 50 STALLS PROVIDED
0.1 CLASS 2 BICYCLE STALLS / UNIT	100 UNITS x 0.1 = 10 STALLS REQUIRED 10 STALLS PROVIDED
MINIMUM REQUIRED (COMMERCIAL): 1.0 BICYCLE PARKING STALLS — CLASS 2 PER 250.0 SQ.M OF GROSS USABLE FLOOR AREA	4 STALLS PROVIDED

WASTE & RECYCLING:

MINIMUM REQUIRED: 100 UNITS x 0.3 yrd ³ (0.24 m ³)= 30.0 yrd ³ (24 m ³) PRODUCED PER WEEK	0.3 yrd ³ (0.24 m ³) PER UNIT / WEEK
30.0 yrd ³ / 4 YARD BINS = 8 BINS / WEEK	
4 BINS PROVIDED ON SITE, PRIVATE, BI-WEEKLY PICK-UP TO MEET REQUIREMENTS.	



(ARTISTIC REPRESENTATION ONLY)





A1.1 HARDIE PANEL -LAP SIDING OR VERTICAL
IRON GRAY



A2.1 HARDIE PANEL / IRON GREY



A3.1 HARDIE PANEL-WOODSTONE/ SAND CASTLE



A4.1 HARDIE PANEL / ARCTIC WHITE



B1.1 BRICK VENEER / GREY



GENERAL NOTES

1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

SHEET NOTES

N.XX	SHEET NOTE DESCRIPTION
N.01	SIGNAGE LOCATION (FOR INFORMATION ONLY)

EXTERIOR FINISH LEGEND

0.0 MATERIAL TAG DESCRIPTION

A - FIBER CEMENT

A1.1	HARDIE PANEL - LAP SIDING OR VERTICAL / IRON GRAY
A2.1	HARDIE PANEL / IRON GRAY
A3.1	HARDIE PANEL-WOODSTONE/ SAND CASTLE
A4.1	HARDIE PANEL / ARCTIC WHITE

B - MASONRY

B1.1 BRICK VENEER / GREY

C-TRIM

C1.1 EASY TRIM / WHITE

D - WINDOWS

D1.1	WINDOW / BLACK
D2.1	WINDOW / WHITE

E - DOORS

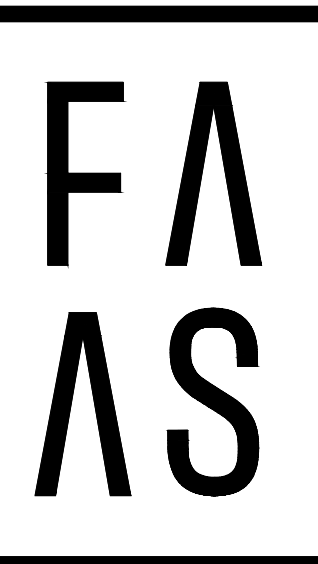
E1.1	METAL DOOR / BLACK
E2.1	METAL GARAGE DOOR / WHITE

F - GUARDS & RAILINGS

F1.1 ALUMINUM GUARDRAIL W/ PICKETS / BLACK
EXISTING GEODETIC ELEVATION



1	WEST ELEVATION
DP.400	SCALE: 1/8" = 1' 0"



AL

FOR REFERENCE
ONLY - NOT FOR
CONSTRUCTION

26.04.10

[illegible]

CONSTRUCTION	YYYY-MM-DD
TENDER	YYYY-MM-DD
BUILDING PERMIT	YYYY-MM-DD
PROJECT NAME	

ILLHURST

6, 210, 214, 218 19TH ST N.W.
CALGARY, AB.

GAL ADDRESS		
4-7	B: 19	P: 8942GB

PROJECT NO.
6.008

RAWN	CHECKED
YYY	YYYY

DATE	SCALE
26-07-23	AS NOTED

DRAWING TITLE
BUILDING ELEVATIONS

DRAWING NUMBER

DP.400

Right reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction of this drawing in whole or in part is prohibited and may be used without the written consent of FAAS Architecture.

1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

←	N.XX	SHEET NOTE DESCRIPTION
---	------	------------------------

N.01 SIGNAGE LOCATION (FOR INFORMATION ONLY)

0.0 MATERIAL TAG DESCRIPTION

A - FIBER CEMENT

A1.1	HARDIE PANEL - LAP SIDING OR VERTICAL / IRON GRAY
A2.1	HARDIE PANEL / IRON GRAY
A3.1	HARDIE PANEL-WOODSTONE/ SAND CASTLE
A4.1	HARDIE PANEL / ARCTIC WHITE

B - MASONRY

B1.1 BRICK VENEER / GREY

C-TRIM

C1.1 EASY TRIM / WHITE

D - WINDOWS

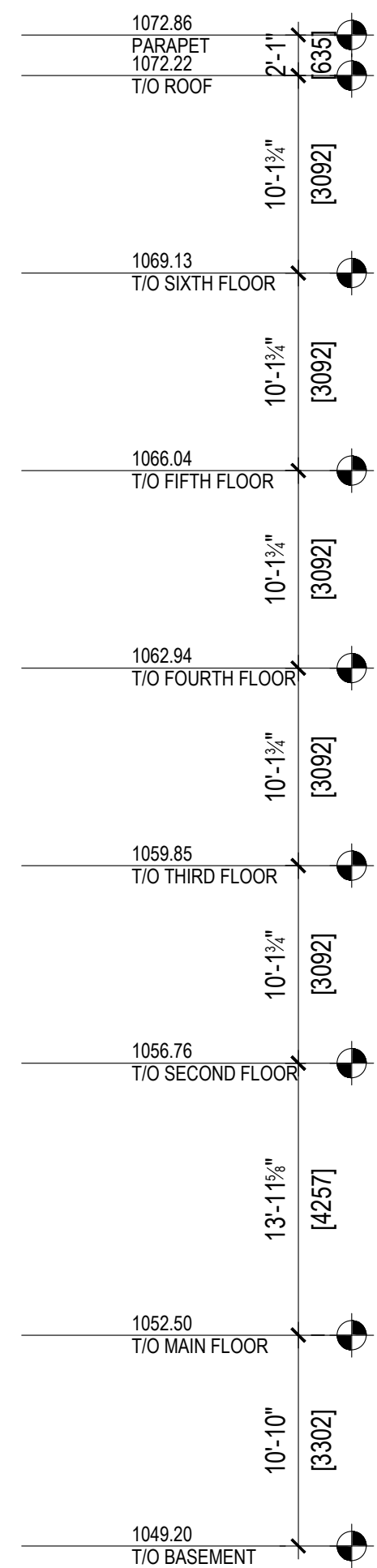
D1.1	WINDOW / BLACK
D2.1	WINDOW / WHITE

E - DOORS

E1.1	METAL DOOR / BLACK
E2.1	METAL GARAGE DOOR / WHITE

F - GUARDS & RAILINGS

F1.1 ALUMINUM GUARDRAIL W/ PICKETS / BLACK
EXISTING GEODETIC ELEVATION



☐ CONSTRUCTION	YYYY-MM-DD
☐ TENDER	YYYY-MM-DD
☐ BUILDING PERMIT	YYYY-MM-DD

HILLHURST

206, 210, 214, 218 19TH ST N.W.
CALGARY, AB.

LEGAL ADDRESS		
L: 4-7	B: 19	P: 8942GB

PROJECT NO.	26.008
-------------	--------

DRAWN	CHECKED
YYYY	YYYY

DATE	SCALE
2026-07-23	AS NOTED

DRAWING TITLE
BUILDING ELEVATIONS

1. *Journal of the American Medical Association*, 2000; 284: 2689-2694.

DP.401

1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

N.01 SIGNAGE LOCATION (FOR INFORMATION ONLY)

0.0 MATERIAL TAG DESCRIPTION

A1.1	HARDIE PANEL - LAP SIDING OR VERTICAL / IRON GRAY
A2.1	HARDIE PANEL / IRON GRAY
A3.1	HARDIE PANEL-WOODSTONE/ SAND CASTLE
A4.1	HARDIE PANEL / ARCTIC WHITE

B1.1 BRICK VENEER / GREY

C1.1 EASY TRIM / WHITE

D1.1 WINDOW / BLACK

D2.1 WINDOW / WHITE

E - DOORS

E1.1 METAL DOOR / BLACK

E2.1 METAL GARAGE DOOR / WHITE

F - GUARDS & RAILINGS

F1.1 ALUMINUM GUARDRAIL W/ PICKETS / BLACK

 EXISTING GEODETIC ELEVATION[illegible]

☐ CONSTRUCTION	YYYY-MM-DD
☐ TENDER	YYYY-MM-DD
☐ BUILDING PERMIT	YYYY-MM-DD
PROJECT NAME	

HILLHURST

206, 210, 214, 218 19TH ST N.W.
CALGARY, AB.

LEGAL ADDRESS

PROJECT NO.	00-000
-------------	--------

DRAWN	CHECKED
-------	---------

DATE	SCALE
------	-------

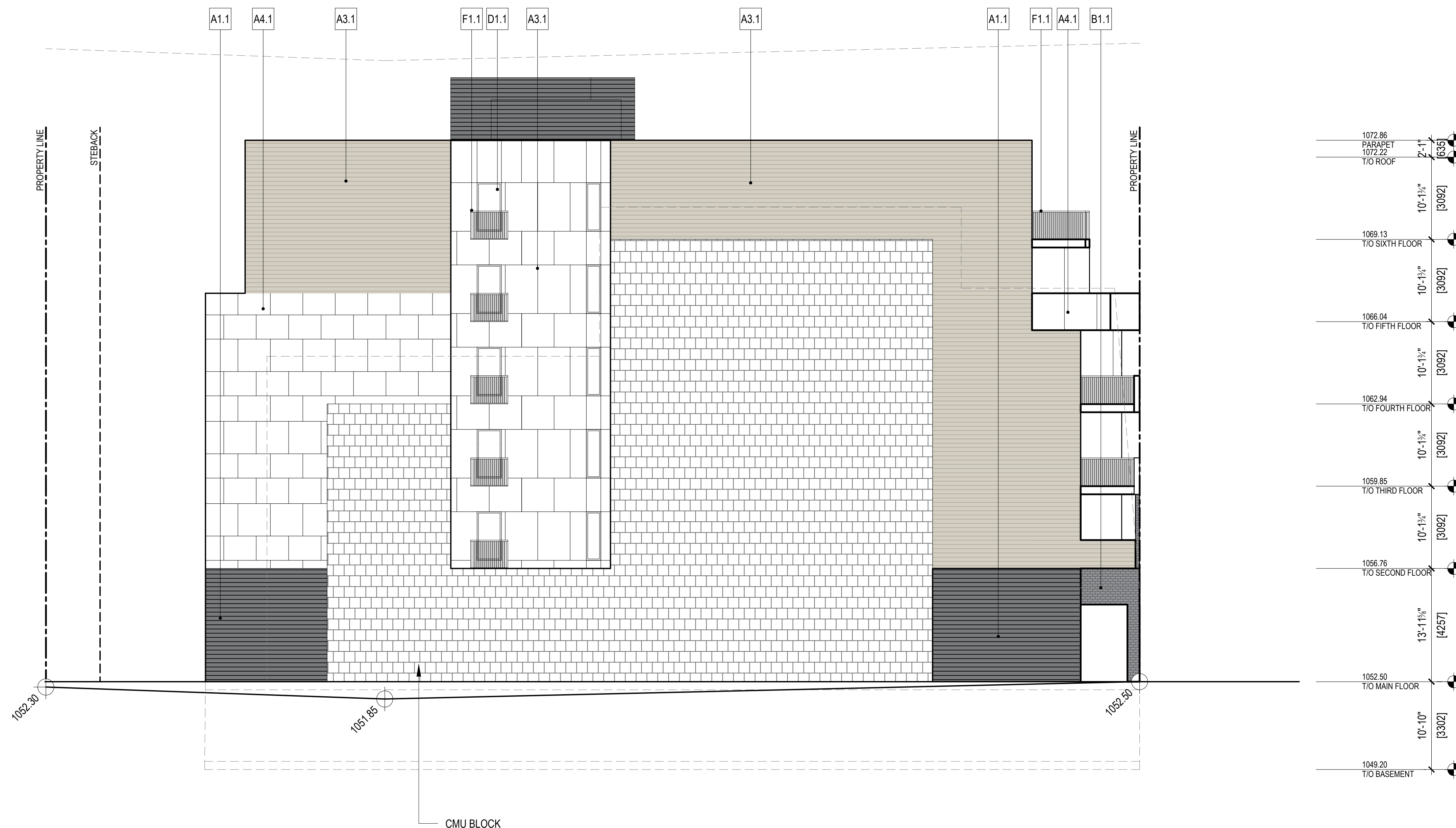
2026-07-23	AS NOTED
DRAWING TITLE	

BUILDING ELEVATIONS

DRAWING NUMBER

DP.402

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.



1	NORTH ELEVATION
DP.402	SCALE: 1/8" = 1' 0"

☐ CONSTRUCTION	YYYY-MM-DD
☐ TENDER	YYYY-MM-DD
☐ BUILDING PERMIT	YYYY-MM-DD

DP.403

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.

1. REFER TO DOOR & GLAZING SCHEDULES FOR ADDITIONAL INFORMATION.
2. ALL EXTERIOR MECHANICAL LOUVER / GRILLE COVERS TO MATCH ADJACENT FINISH COLOUR.

N.01 SIGNAGE LOCATION (FOR INFORMATION ONLY)

0.0 MATERIAL TAG DESCRIPTION

A1.1	HARDIE PANEL - LAP SIDING OR VERTICAL / IRON GRAY
A2.1	HARDIE PANEL / IRON GRAY
A3.1	HARDIE PANEL-WOODSTONE/ SAND CASTLE
A4.1	HARDIE PANEL / ARCTIC WHITE

B1.1 BRICK VENEER / GREY

C1.1 EASY TRIM / WHITE

D1.1	WINDOW / BLACK
D2.1	WINDOW / WHITE

E1.1	METAL DOOR / BLACK
E2.1	METAL GARAGE DOOR / WHITE

F1.1 ALUMINUM GUARDRAIL W/ PICKETS / BLACK
EXISTING GEODETIC ELEVATION

1	SOUTH ELEVATION
DP.403	SCALE: 1/8" = 1' 0"



[illegible]

☐ CONSTRUCTION	YYYY-MM-DD
☐ TENDER	YYYY-MM-DD
☐ BUILDING PERMIT	YYYY-MM-DD
PROJECT NAME	

HILLHURST

206, 210, 214, 218 19TH ST N.W.
CALGARY, AB.

LEGAL ADDRESS

L: 4-7 B: 19 P: 8942G

PROJECT NO.
26.008

DRAWN	CHECKED
UDR	CD

DATE	SCALE
2022-02-27	AS NOTED

DRAWING TITLE	REVISIONS

DRAWING NUMBER

A.001

[illegible]

☐ CONSTRUCTION	YYYY-MM-DD
☐ TENDER	YYYY-MM-DD
☐ BUILDING PERMIT	YYYY-MM-DD

HILLHURST

206, 210, 214, 218 19TH ST N.W.
CALGARY, AB.

LEGAL ADDRESS		
L: 4-7	B: 19	P: 8942GE

PROJECT NO.	26.008
-------------	--------

DRAWN	CHECKED
XXXX	XXXX

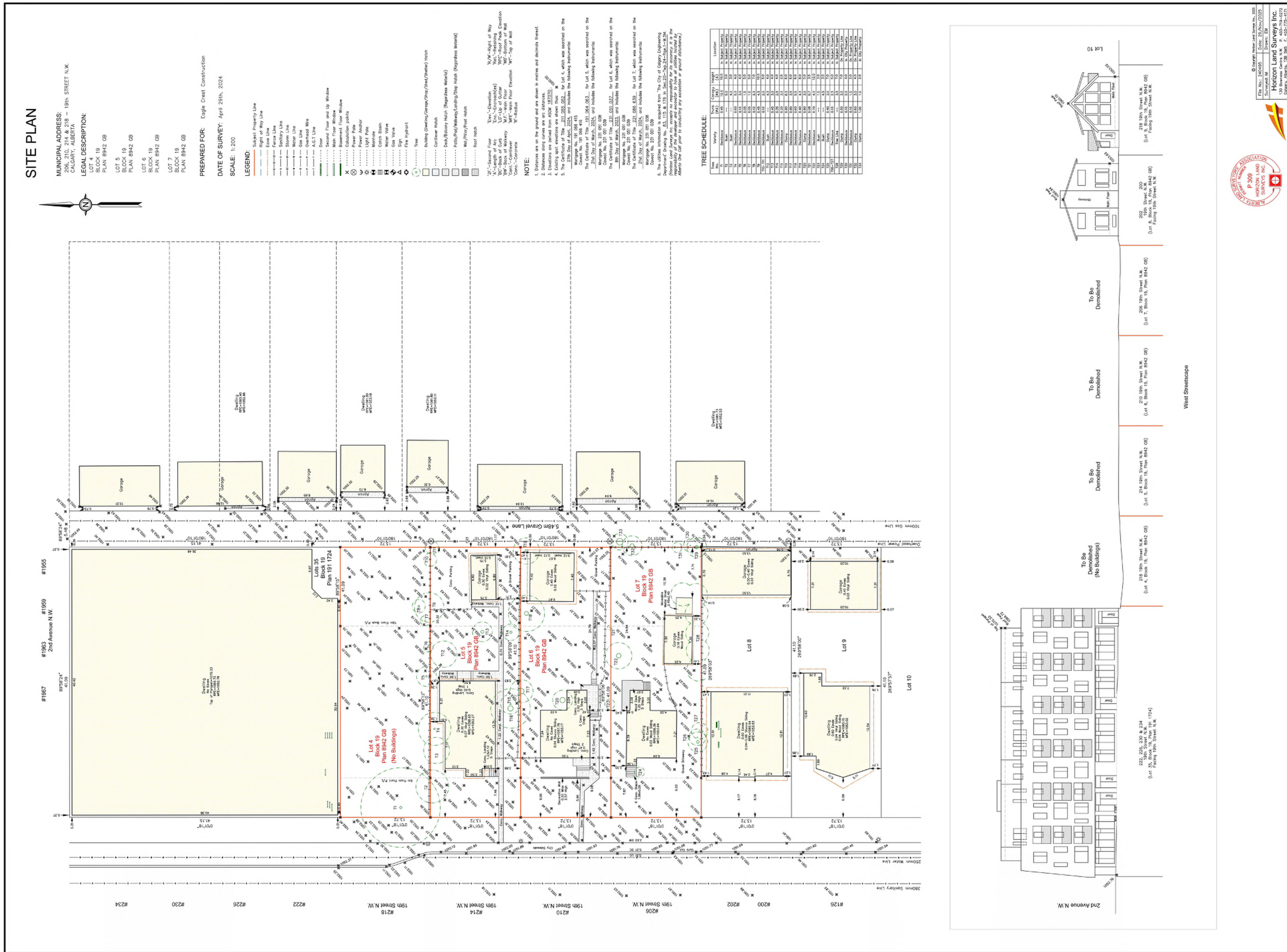
DATE	SCALE
2026-07-23	AS NOTED

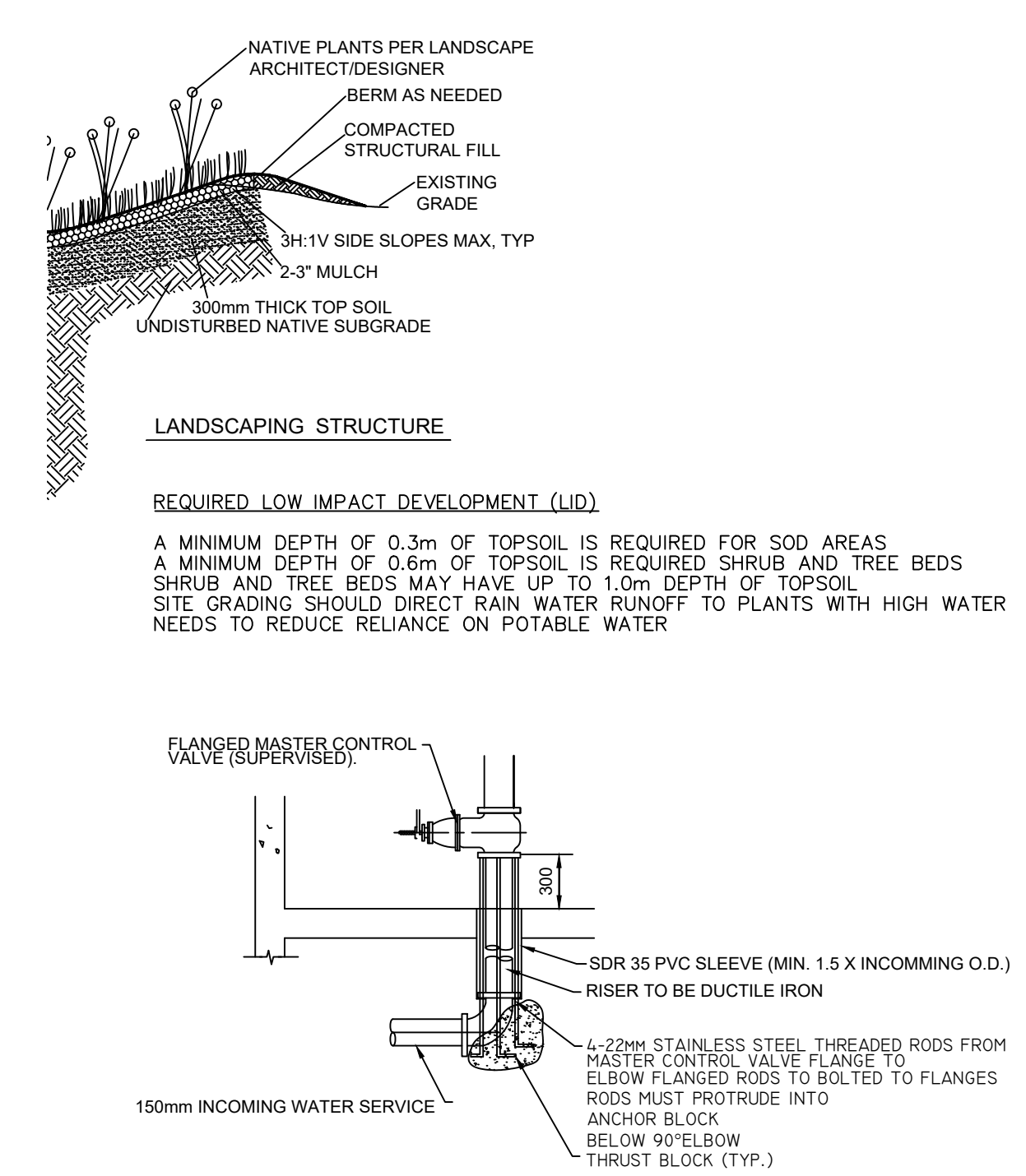
DRAWING TITLE
SURVEY PLAN

DRAWING NUMBER

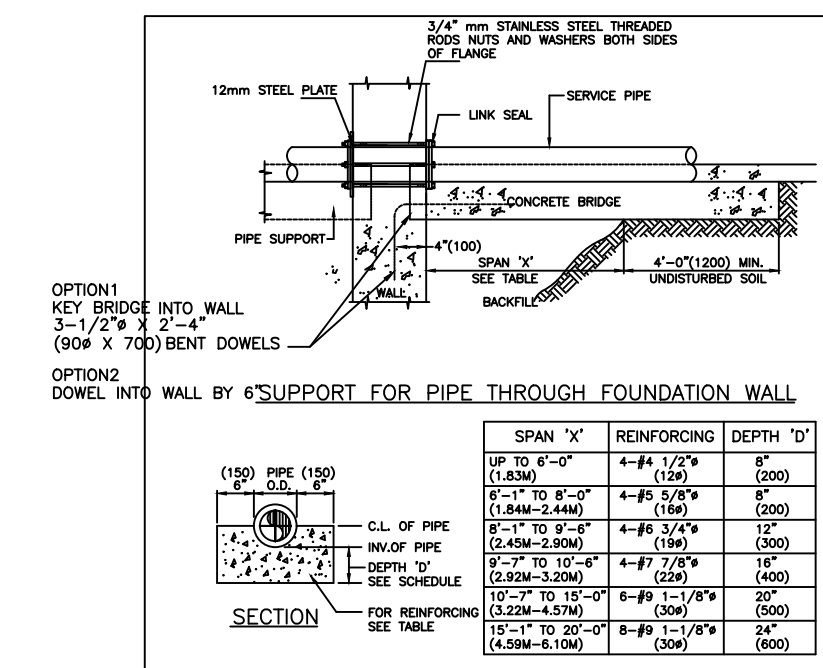
S.100

Copyright reserved. This drawing and all copyright therein are the sole and exclusive property of the consultant. Reproduction or use of this drawing in whole or in part is prohibited and may not be used without the written consent of FAAS Architecture. Do not scale this drawing.





WATER ENTRY DETAIL



- ALL THE EXISTING UTILITIES INFORMATION ARE EITHER FROM THE RECORD OF CITY OF CALGARY OR THE SURVEY PLAN PROVIDED BY THE SURVEY COMPANY. THE CONTRACTOR SHOULD CONFIRM ALL THE EXISTING SERVICES INFORMATION (INVERTS, LOCATION, ETC) AND INFORM RICHVIEW ENGINEERING INC FOR NECESSARY ADJUSTMENT PRIOR TO CONSTRUCTION.
- ALL THE SURFACE LAYOUT, INCLUDING THE CURB LAYOUT, BUILDING LAYOUT, ETC, SHOULD FOLLOW THE LATEST SITE PLAN FROM ARCHITECT.
- IF THIS DRAWING IS TO BE USED FOR SURVEY PURPOSE, THE SURVEYOR NEED TO INPUT THIS DRAWING INTO HIS OWN COORDINATE SYSTEM FOR SURVEY LAYOUT.
- THE CONTRACTOR MUST SUPPLY WRITTEN NOTICE TO RICHVIEW ENGINEERING INC OF INTENT TO START CONSTRUCTION OF THE DEEP UTILITIES AT LEAST 3 DAYS IN ADVANCE OF THE CONSTRUCTION START.
- FAILURE TO DO SO MAY RESULT IN A REQUEST TO HAVE THE LINES EXCAVATED SO AS TO ASCERTAIN BEDDING CONDITIONS AND THAT PIPE HAS BEEN PLACED CORRECTLY AND/OR TO HAVE A VIDEO EXAMINATION OF THE PIPE PERFORMED AT THE CONTRACTOR'S EXPENSE.
- FAILURE TO HAVE THE INSPECTIONS COMPLETED ADEQUATELY WILL PREVENT RICHVIEW ENGINEERING INC'S BEING ABLE TO EXECUTE THE NECESSARY CERTIFICATIONS REQUIRED BY THE ALBERTA BUILDING CODE AND THE NATIONAL BUILDING CODE.

CITY OF CALGARY DEVELOPMENT SITE SERVICING PLAN			
DATE RECEIVED _____			
CIRCULATION TO		INITIAL	DATE
WATER RESOURCES			
REVIEW AND INSPECTION BY THE CITY IS NOT SUBSTITUTE FOR SUPERVISION, INSPECTION, AND DUE DILIGENCE BY THE ENGINEER OF RECORD, LOT OWNER, OR CONTRACTOR. THE ENGINEER OF RECORD MAINTAINS FULL RESPONSIBILITY TO EXERCISE COMPETENCE AND GOOD ENGINEERING JUDGEMENT FOR THE ENTIRETY OF THEIR DESIGN AND PROVIDE DOCUMENTATION FOR ALL PRIVATE SITE WORKS AND RETAIN THESE RECORDS FOR THE USE OF THEIR CLIENTS.			

NOT FOR CONSTRUCTION
UNTIL FINAL APPROVAL IS GRANTED
BY THE CITY OF CALGARY



RICHVIEW
ENGINEERING INC.
CONSULTING ENGINEERS

SUITE 201, 203 - 38th AVE NE, CALGARY, ALBERTA T2E 2M5
PHONE: (403) 230-3218 FAX: (403) 230-3208

THIS DRAWING MAY NOT BE REPRODUCED OR
COPIED WITHOUT THE EXPRESS WRITTEN CONSENT
OF RICHVIEW ENGINEERING INC.

NOTES:

1. ALL PLANS SUBJECT TO TERMS OF DEVELOPMENT AGREEMENT.
2. ALL DIMENSIONS ARE IN METRES AND DECIMALS THEREOF.
3. ALL ELEVATIONS ARE MEASURED TO 100.000 M. D.A.M.
4. ALL WORK TO BE DONE TO CITY OF CALGARY SPECIFICATIONS.
5. WATER SERVICES SHALL HAVE A MIN. OF 3.0m cover IN CLAY SOIL CONDITIONS, AND 3.5m IN GRAVEL CONDITIONS.
6. WATER MAINS 1500 OR PVC DR18.
7. ALL HYDRANT LEADS OR TO BE PVC DR18.
8. ALL SANITARY & STORM MAINS 1500 OR LARGER SHALL BE SDR-35.
9. ALL SANITARY SERVICES 1000 OR SMALLER SHALL BE SDR-28.
10. ALL WATER TO BE BROUGHT TO 1.5m INSIDE THE SAN & STM SERVICES ARE TO BE BROUGHT TO 1.5m INSIDE THE FOUNDATION WALL. WATER SERVICES ARE TO BE BROUGHT INTO THE METEORIC TANK.
11. MANHOLES TO BE TYPE 5A SULPHATE RESISTANT CONCRETE AND TO BE INSTALLED IN ACCORDANCE WITH CITY OF CALGARY SPECIFICATIONS.
12. ALL CONCRETE SEWER PIPES, MANHOLES, CHUTE BASIN BARRIS SHALL BE SULPHATE RESISTANT CONCRETE (TYPE 50).
13. ALL 1500 AND LARGER WATER MAINS & STORM DRAININGS FOR PIPES SIZE 1000mm TO 375mm TO BE CLASS III IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATIONS IN ASTM D3321.
14. IF WEeping IS NEEDED, CONNECT TO SUMP PUMP. WEeping TILE SHALL BE PUMPED TO GRADE. INSTALL PAST THE DOWNSPOUTS VIA A BASEMENT SUMP AND PUMP, AS PER ALBERTA BUILDING CODE.
15. ENSURE THAT THE DRAINAGE FROM DOWNSPOUTS IS AWAY FROM BUILDING.
16. EXACT ELEVATION OF MANHOLE RIMS ARE TO BE SET IN THE FIELD PRIOR TO LAYOUT.
17. PLASTIC PIPES BY NORWOOD FOUNDARY OR EQUIVALENT TO BE USED IN PLACE OF PARSON INSERTS ON SANITARY MANHOLES SITUATED IN TRAP LOTS.
18. ALL CHUTE BASINS SHALL BE TYPE 'C' OTHERWISE NOTED.
19. WATER RATCHER LOCATION TO BE CONFIRMED BY MECHANICAL ENGINEER

LEGEND:

	PROPOSED	EXISTING
SITE PROPERTY LINE	---	---
EASEMENT LINE	---	---
STORM SEWER	<u>ST 250 PVC</u>	<u>EX ST 250 PVC</u>
SANITARY SEWER	<u>S 250 PVC</u>	<u>EX S 250 PVC</u>
WATER MAIN	<u>W 250 PVC</u>	<u>EX W 250 PVC</u>
CATCHBASIN		
MANHOLE		
WATER VALVE		
FIRE HYDRANT		
CAPPED PIPE END		
GRADE		
WATER METER		
REDUCER		
CHECK VALVE		
LIGHT STANDARD		
ICD		

MUNICIPAL ADDRESS

206, 210, 214, 218 19th St NW, CALGARY, AB
LEGAL ADDRESS
LOTS 4,5,6,7
BLOCK 19
PLAN 8942GB
SE 1/4 SEC 20 TWP 24 RGE 01 W5th M

REVISIONS

[illegible]

CLIENT

Eagle Crest Construction

PROJECT

Hillhurst Mixed-Use Development

DESIGN:

CC

DRAWN: CC

CHECKED:

RL

DATE:

DATE: 2026-08-07

SITE SERVICING PLAN

DATE:	DEVELOPMENT PERMIT No.	PROJECT No.	DWG. No.	ISS/REV
2026-08-07	DPXXX	1958	01	00
SCALE: 1:150	DSSP CIRC. No. DSSP			