

4_PLEX
1324 37 STREET S.E. , CALGARY, ALBERTA
PLAN 7039GG , BLOCK 23 , LOT 5



DEVELOPMENT PERMIT SET

ISSUE DATE : 2026-08-05

LIST OF DRAWINGS:

- | | | |
|-------------------------------------|----------------------------------|--|
| G-001 GENERAL NOTES | A-005 STREETSCAPE | A-101 PROPOSED LEGAL SUITE FLOOR PLAN |
| A-001 SURVEY | A-006 PROPOSED LANDSCAPE | A-102 PROPOSED MAIN FLOOR PLAN |
| A-002 EXISTING & PROPOSED SITE PLAN | A-007 LANDSCAPE ZONES | A-202 PROPOSED RIGHT & LEFT ELEVATIONS |
| A-003 PROPOSED SITE PLAN | A-008 LANDSCAPE DETAILS | A-103 PROPOSED UPPER FLOOR PLAN |
| A-004 PROPOSED GRADES | A-009 APRON & BOULEVARD SECTIONS | A-301 BUILDING SECTION |
| | A-010 CONSTRUCTION ACCESS AREAS | A-104 PROPOSED ROOF PLAN |
| | | A-105 AREA PLANS |
| | | A-201 PROPOSED FRONT & REAR ELEVATIONS |

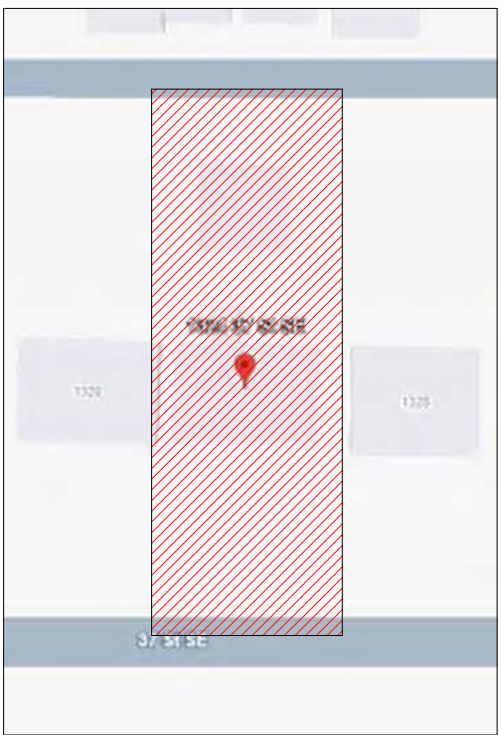
UNIT #1			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	594.01	55.19
	UPPER FLOOR	638.02	59.27
	TOTAL	1232.03	114.46
	LEGAL SUITE FLOOR	598.03	55.56
	GRAND TOTAL	1830.06	170.02
	SUNKEN PATIO	172.93	16.07

UNIT #2			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	594.01	55.19
	UPPER FLOOR	638.02	59.27
	TOTAL	1232.03	114.46
	LEGAL SUITE FLOOR	598.03	55.56
	GRAND TOTAL	1830.06	170.02
	SUNKEN PATIO	131.39	12.21

UNIT #3			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	594.01	55.19
	UPPER FLOOR	638.02	59.27
	TOTAL	1232.03	114.46
	LEGAL SUITE FLOOR	598.03	55.56
	GRAND TOTAL	1830.06	170.02
	SUNKEN PATIO	172.93	16.07

UNIT #4			
AREA SCHEDULE	FLOOR PLANS	SQ. FT.	SQ. M.
	MAIN FLOOR	594.01	55.19
	UPPER FLOOR	638.02	59.27
	TOTAL	1232.03	114.46
	LEGAL SUITE FLOOR	598.03	55.56
	GRAND TOTAL	1830.06	170.02
	SUNKEN PATIO	131.39	12.21

KEY PLAN :



KEY PLAN :

26-1058



#202 - 4216 10TH STREET NE,
CALGARY, AB.
T2E 6K3
P:403.203.1970 F:403.203.1990
info@tricordg.ca
www.tricordesigns.com

SITE - PLAN

SURVEY INFORMTION :-

MUNICIPAL ADDRESS:-

1324 37 STREET S.E. , CALGARY, ALBERTA

LEGAL ADDRESS:-

PLAN 7039GG , BLOCK 23 , LOT 5

ZONNING:- R-CG

NOTES:

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

PROPOSED COVERAGE CALCULATION:

LOT AREA = 584.35 m²
THE MAXIMUM COVERAGE AREA (55%) = 321.39
PARKING AREA = 19 X 4 = 76 M²
MAXIMUM ALLOWABLE COVERAGE= 321.39-76 =245.39 M²
PROPOSED BUILDING AREA =237.51 M²
TOTAL PROPOSED COVERAGE = 237.51 M² OR 40.64% OF LOT AREA

PROJECT SETBACK REQUIREMENTS:

- BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 0.6m INTO THE FRONT SETBACK AREA)
- MINIMUM 1.20 m REAR SETBACK
- MINIMUM BUILDING SETBACK FROM ANY SIDE PROPERTY LINE IS :
A) 1.20 M

NOTE:

- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

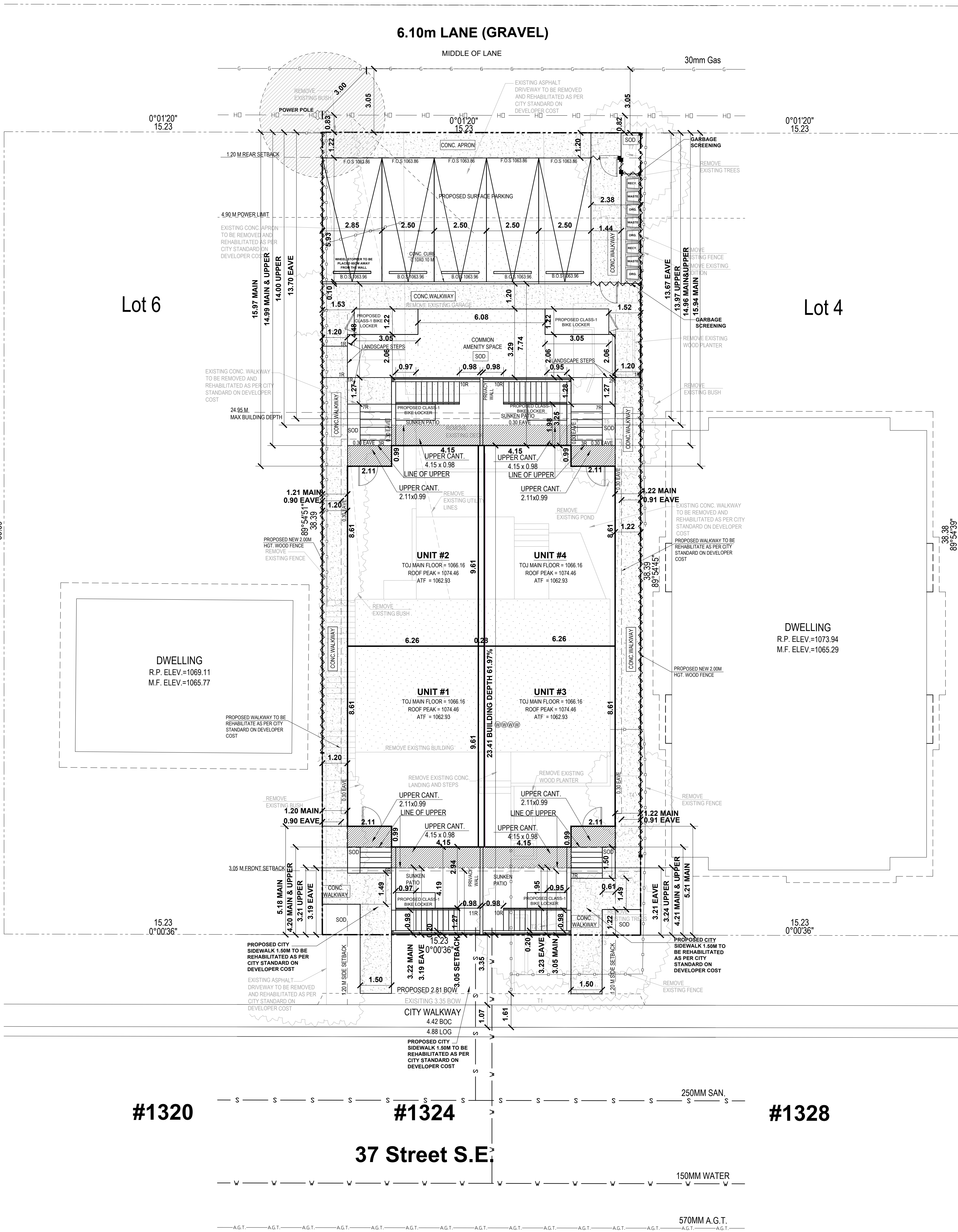
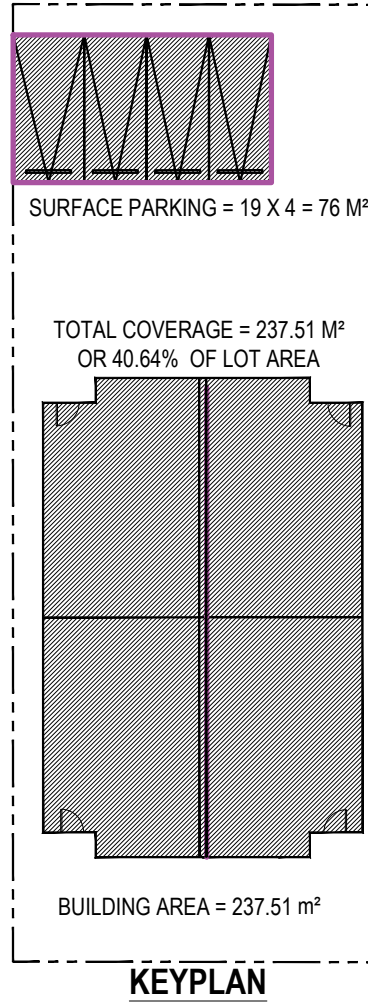
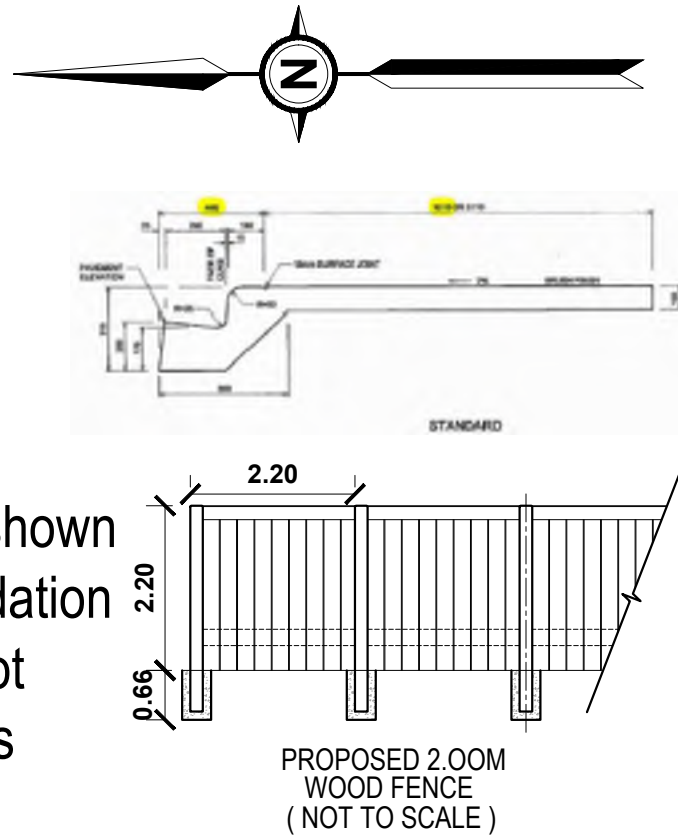
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

EXISTING TREE SCHEDULE

Tree No.	Variety	(Ø±)	SPREAD	HEIGHT	LOCATION	CASE
T1	BUSH	---	1.00	1.50	In City Boulevard	REMOVED
T2	DECIDUOUS	0.60	6.00	5.00	In Subject Property	REMOVED
T3	DECIDUOUS	0.60	6.00	5.00	On Property	REMOVED
T4	BUSH	---	4.00	5.00	In Subject Property	REMOVED
T5	BUSH	---	5.00	7.00	In Subject Property	REMOVED
T6	DECIDUOUS	0.30	5.00	8.00	In Subject Property	REMOVED
T7	DECIDUOUS	0.30	5.00	8.00	In Subject Property	REMOVED

NOTES:

- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.-FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- A MINIMUM DEPTH OF 300 MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- WASTE STORAGE ENCLOSURES AND COLLECTION AREAS SHALL BE MAINTAINED AND CLEAR OF SNOW AND ICE.



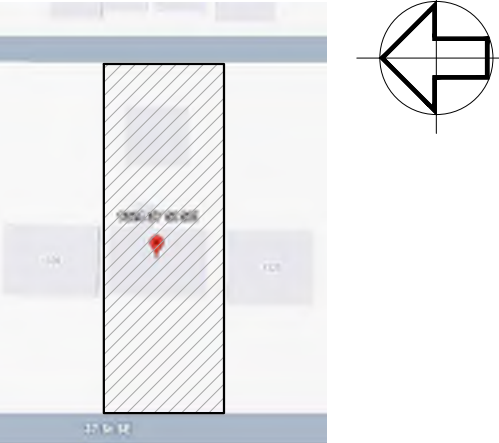
DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.

tricordesigns.com
#202, 4216 181 STREET NE
CALGARY, AB, T2E 6K3
PHONE: (403) 203-1970
FAX: (403) 203-1990
EMAIL: info@tricordesigns.com

KEY PLAN



NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION, THE PURCHASER OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01	2026-08-05	DEVELOPMENT PERMIT SET	E.R./T.J	EZ

THE CLIENT:

PRIVATE CLIENT

PROJECT:

4-PLEX BUILDING

ADDRESS:

1324 37 STREET S.E. ,
CALGARY, ALBERTA
PLAN 7039GG , BLOCK 23 , LOT 5

DRAWING SET:

DEVELOPMENT PERMIT SET

DRAWING TITLE:

EXISTING AND PROPOSED
SITE PLAN

DRAWING NO.

A-002

PROJECT NO.:

26-1058

CHECKED BY:

EZ

DATE:

2026-08-05

DRAWN BY:

E.R./T.J

SCALE:

1:100

SITE - PLAN

MUNICIPAL ADDRESS:-

LEGAL ADDRESS:-

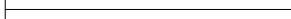
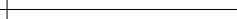
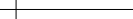
ZONNING:- R-CG

Note: Unless otherwise specified, the dimensions shown relate to distances from property boundary to foundation walls only at the date of the survey. Positions of spot elevations are approximate. Distances are in metres and decimals thereof.

LOT AREA = 584.35 m²
 THE MAXIMUM COVERAGE AREA (55%) = 321.39
 PARKING AREA = 19 X 4 = 76 M²
 MAXIMUM ALLOWABLE COVERAGE= 321.39-76 =245.39 M²
 PROPOSED BUILDING AREA =237.51 M²
 TOTAL PROPOSED COVERAGE = 237.51 M² OR 40.64% OF LOT AREA

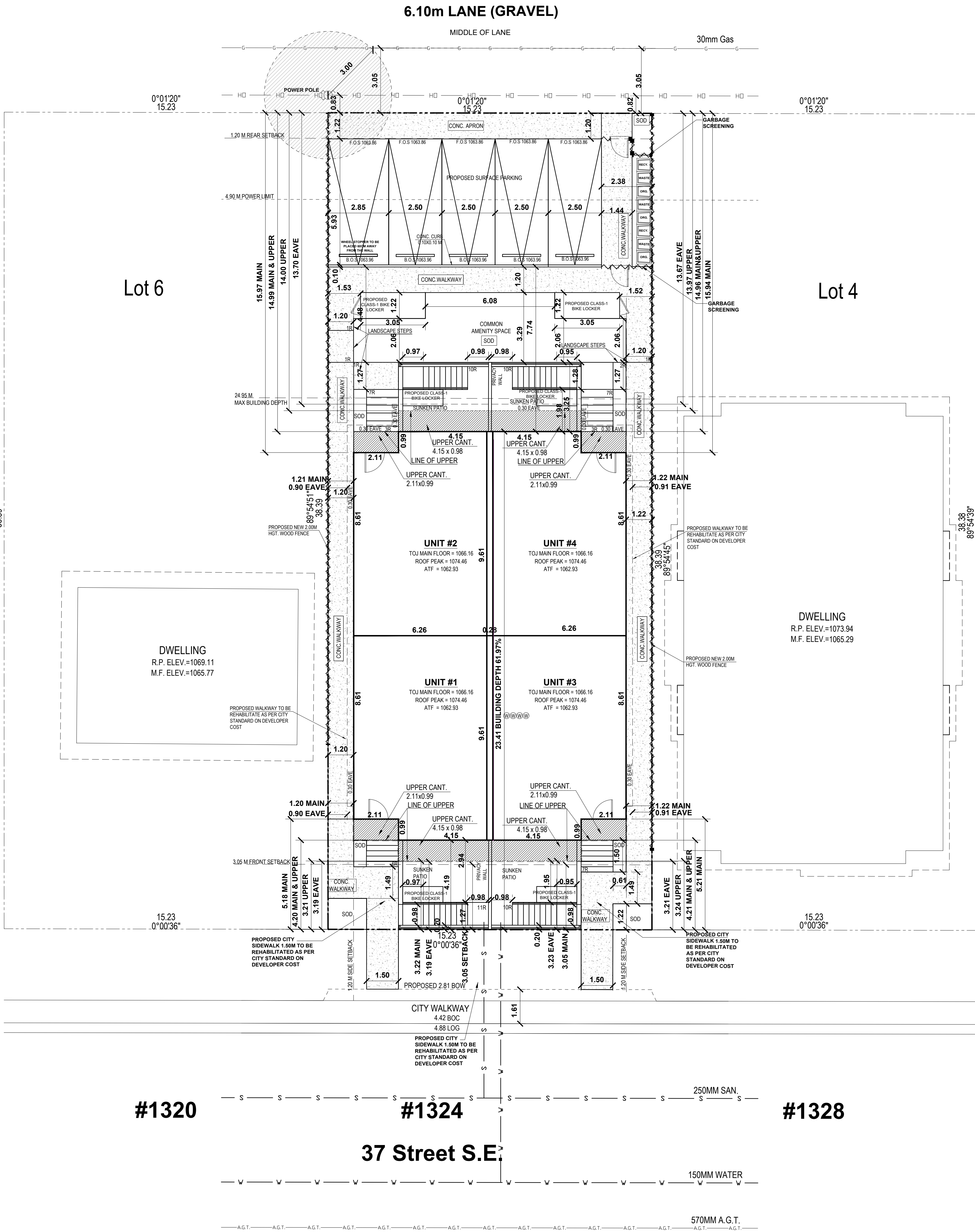
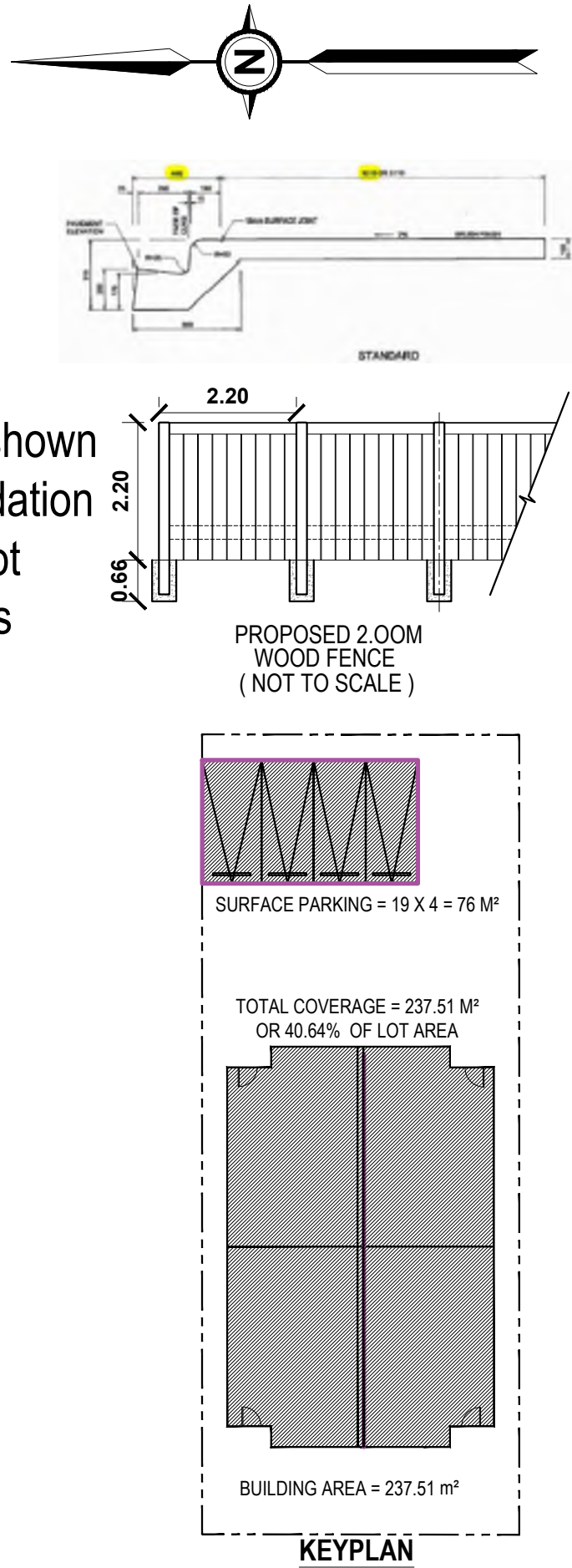
1. BUILDING SETBACK FROM A FRONT PROPERTY LINE IS 3.0 METRES.
(BAY WINDOWS AND EAVES MAY PROJECT A MAX. OF 0.6m INTO THE FRONT SETBACK AREA)
2. MINIMUM 1.20 m REAR SETBACK
3. MINIMUM BUILDING SETBACK FROM ANY SIDE PROPERTY
A) 1.20 M

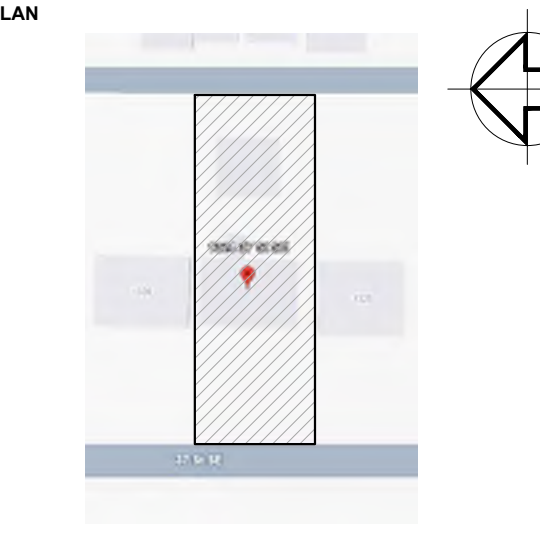
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED AS NOTED
- CONSTRUCTION ACCESS TO BE FROM REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIAL AND STORAGE OF CONSTRUCTION MATERIAL IS NOT PERMITTED.

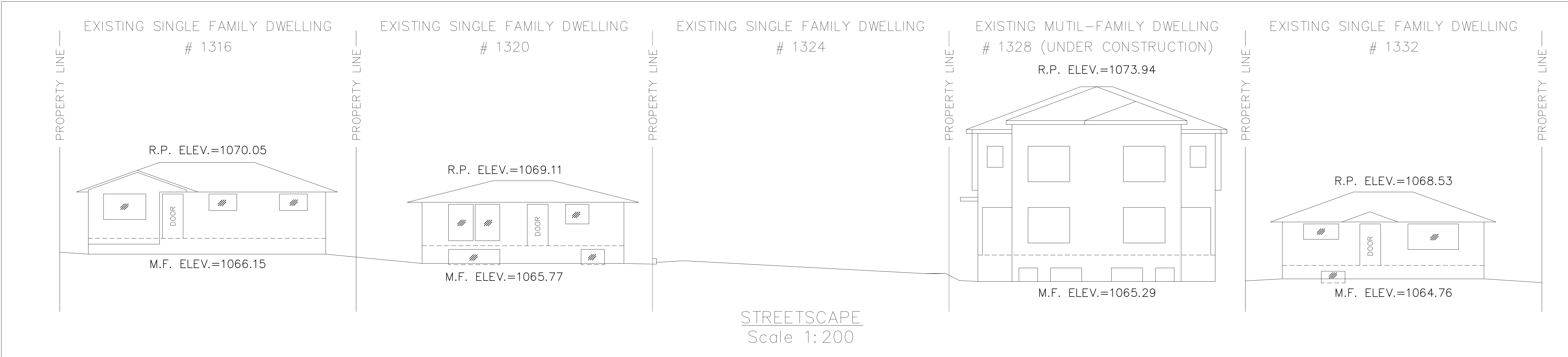
LEGEND		LEGEND		LEGEND	
	PROPOSED NEW FENCE		UTILITY LINES GAS		EXISTING GRADES
	PWF LANDSCAPE RETAINING WALL		UTILITY LINES SANITARY		CALCULATED GRADES
	CANTILEVERS		STORM LINE		NEED TO TRIM
	SETBACK		UTILITY LINES WATER		REMOVE EXISTING TREE
	EAVES		REMOVE FENCE		BUILDING REMOVE
	UTILITY LINES POWER		UPPER CANT		CONCRETE

Tree No.	Variety	(Ø±)	SPREAD	HEIGHT	LOCATION	CASE
T1	BUSH	---	1.00	1.50	In City Boulevard	REMOVED
T2	DECIDUOUS	0.60	6.00	5.00	In Subject Property	REMOVED
T3	DECIDUOUS	0.60	6.00	5.00	On Property	REMOVED
T4	BUSH	---	4.00	5.00	In Subject Property	REMOVED
T5	BUSH	---	5.00	7.00	In Subject Property	REMOVED
T6	DECIDUOUS	0.30	5.00	8.00	In Subject Property	REMOVED
T7	DECIDUOUS	0.30	5.00	8.00	In Subject Property	REMOVED

- BUILDING READY FOR SOLAR PANEL INSTALLATION .
- BUILDING WILL BE 'SOLAR READY' AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC (PV) PANELS TO GENERATE ELECTRICITY.-FOR SOLAR PV AT LEAST 2.5 CM (1") NOMINAL DIAMETER CONSTRUCTED OFRIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THECANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.
- A MINIMUM DEPTH OF 300 MM TOPSOIL FOR ALL SODDED AREAS AND 600MM FOR SHRUB AND TREE BEDS IS TO BE USED.
- ALL AREAS OF SOFT LANDSCAPING MUST BE IRRIGATED WITH AN UNDERGROUND IRRIGATION SYSTEM.
- ALL SODDED AREA ARE PLANTED WITH A DROUGHT TOLERANT GRASS SPECIES.
- WASTE STORAGE ENCLOSURES AND COLLECTION AREAS SHALL BE MAINTAINED AND CLEAR OF SNOW AND ICE.



DESIGNED BY: 				
RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL. tricordesigns.com #202, 4216 18th STREET NE CALGARY, AB. T2E 0K3 PHONE: (403)203-1970 FAX: (403)203-1890 EMAIL: info@tricordg.ca				
KEY PLAN 				
NOTES: - DRAWINGS ARE NOT TO BE SCALED. - ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION. - IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO RESPONSIBLE. - ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023 -- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. - THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED. - THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC., AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.				
REVISIONS:				
No.	Date	Description	DRAWN By	Chk'd By
ISSUES:				
No.	Date	Description	DRAWN By	Chk'd By
01	2026-08-05	DEVELOPMENT PERMIT SET	E.R./T.I	EZ
THE CLIENT :				
PRIVATE CLIENT				
PROJECT :				
4-PLEX BUILDING				
ADDRESS:				
1324 37 STREET S.E., CALGARY, ALBERTA PLAN 1039GG, BLOCK 23 , LOT 5				
DRAWING SET :				
DEVELOPMENT PERMIT SET				
DRAWING TITLE :				
PROPOSED SITE PLAN				
DRAWING NO.				
A-003				
PROJECT NO. :		CHECKED BY:	DATE:	
26-1058		E.Z	2026-08-05	
		DRAWN BY:	SCALE:	
		E.R./T.I	1:100	



TRICOR

DESIGN GROUP

RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.
tricordesigns.com
#202, 4216 18H STREET NE
CALGARY, AB.
PHONE: (403)203-1970
FAX: (403)203-1590
EMAIL: info@tricordg.ca

KEY PLAN

NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION, TRICOR DESIGN GROUP INC. IS NOT RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE, 2023 - ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER. EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME. AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES, AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

No.	Date	Description	DRAWN By	Chk'd By

ISSUES:

No.	Date	Description	DRAWN By	Chk'd By
01	2026-08-05	DEVELOPMENT PERMIT SET	E.R./T.J	EZ

THE CLIENT :

PRIVATE CLIENT

PROJECT :

4-PLEX BUILDING

ADDRESS:

1324 37 STREET S.E. ,
CALGARY, ALBERTA
PLAN 7039GG , BLOCK 23 , LOT 5

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

STREETSCAPE

DRAWING NO.

A-005

PROJECT NO. :

26-1058

CHECKED BY:

EZ

DATE:

2026-08-05

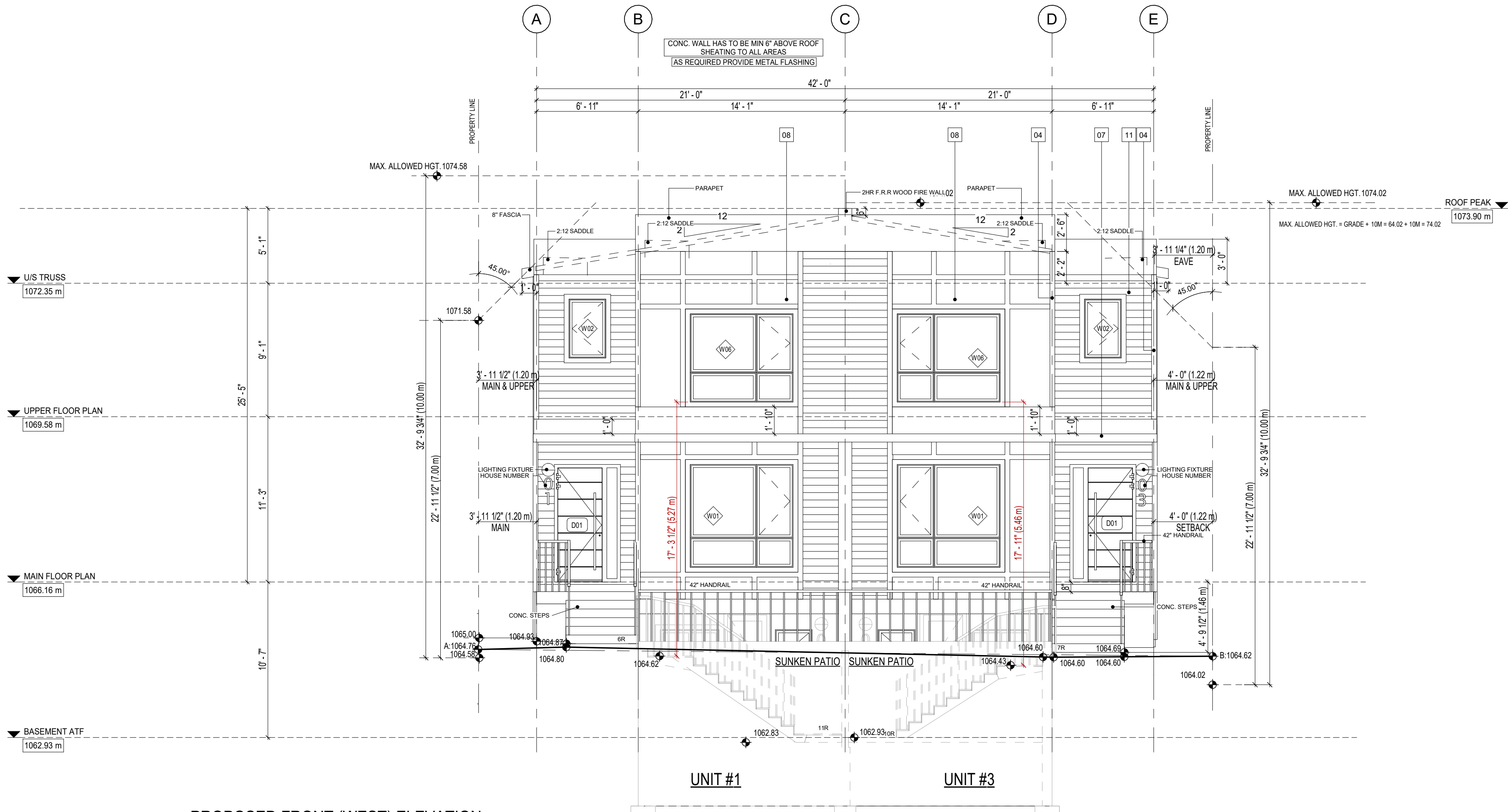
DRAWN BY:

E.R./T.J

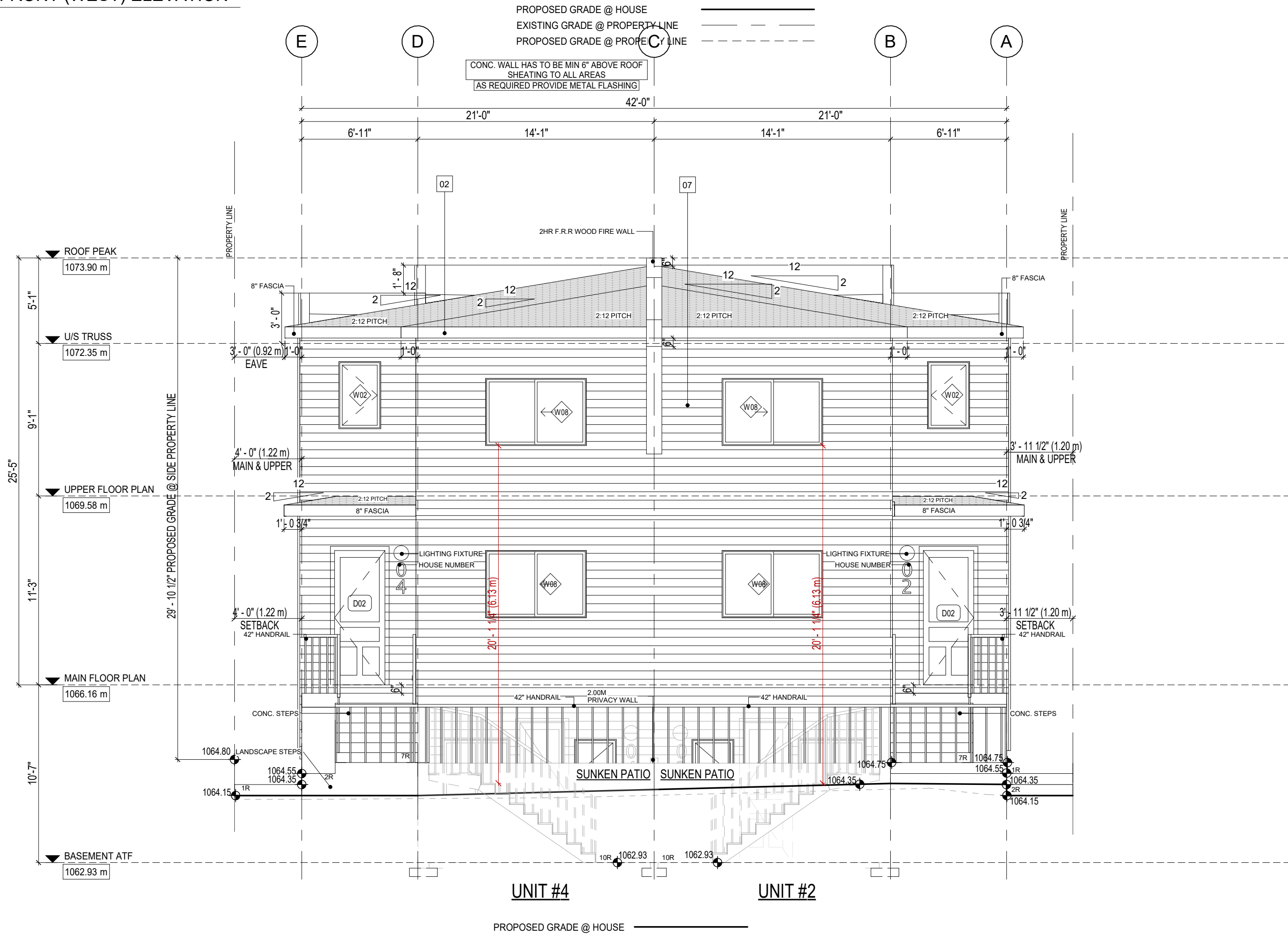
SCALE:

1:100

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
01	TRC Default Wall
02	PRE-FINISHED METAL FASCIA
04	4" CORNER BOARD LIGHT
05	STUCCO CLADING DARK
06	4" TRIM WHITE
07	HORIZONTAL SIDING - HARDIE - DARK
08	SMART BOARD WHITE
11	HORIZONTAL SIDING - HARDIE (LUX PANELS)



1 PROPOSED FRONT (WEST) ELEVATION
3/16" = 1'-0"



2 PROPOSED REAR (EAST) ELEVATION
3/16" = 1'-0"

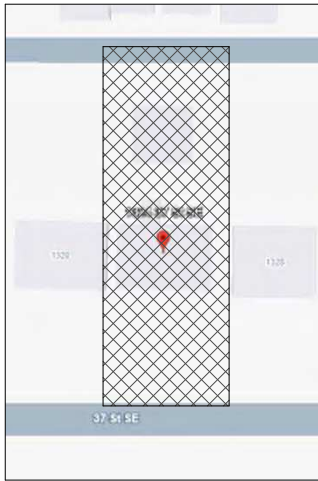
DESIGNED BY:



RESIDENTIAL, INFILL, MULTI-FAMILY, COMMERCIAL.

tricordesigns.com
#202, 4216 10TH STREET NE
CALGARY, AB
T2E 6K3
PHONE: (403)203-1970
FAX: (403)203-1990
EMAIL: info@tricordg.ca

KEY PLAN



NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2022- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-08-05	DEVELOPMENT PERMIT SET	M.M./E.R./T.I	A.K.
02				
03				
04				
05				

THE CLIENT :

PRIVATE CLIENT

PROJECT :

4_PLEX

ADDRESS:

1324 37 STREET S.E. , CALGARY,
ALBERTA
PLAN 7039GG , BLOCK 23 , LOT 5

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED FRONT & REAR
ELEVATIONS

DRAWING NO.

A-201

PROJECT NO. :

26-1058

CHECKED BY:

A.K.

DATE:

2026-08-05

DRAWN BY:

M.M./E.R./T.I

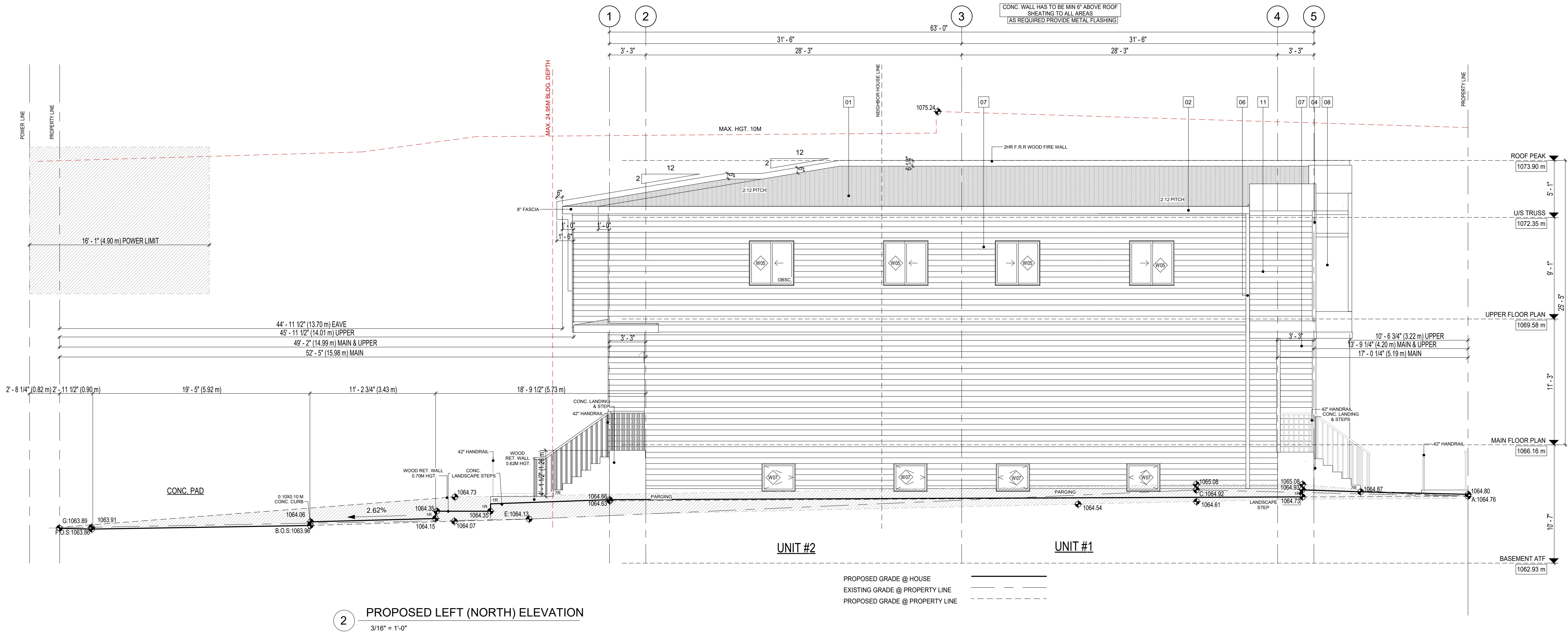
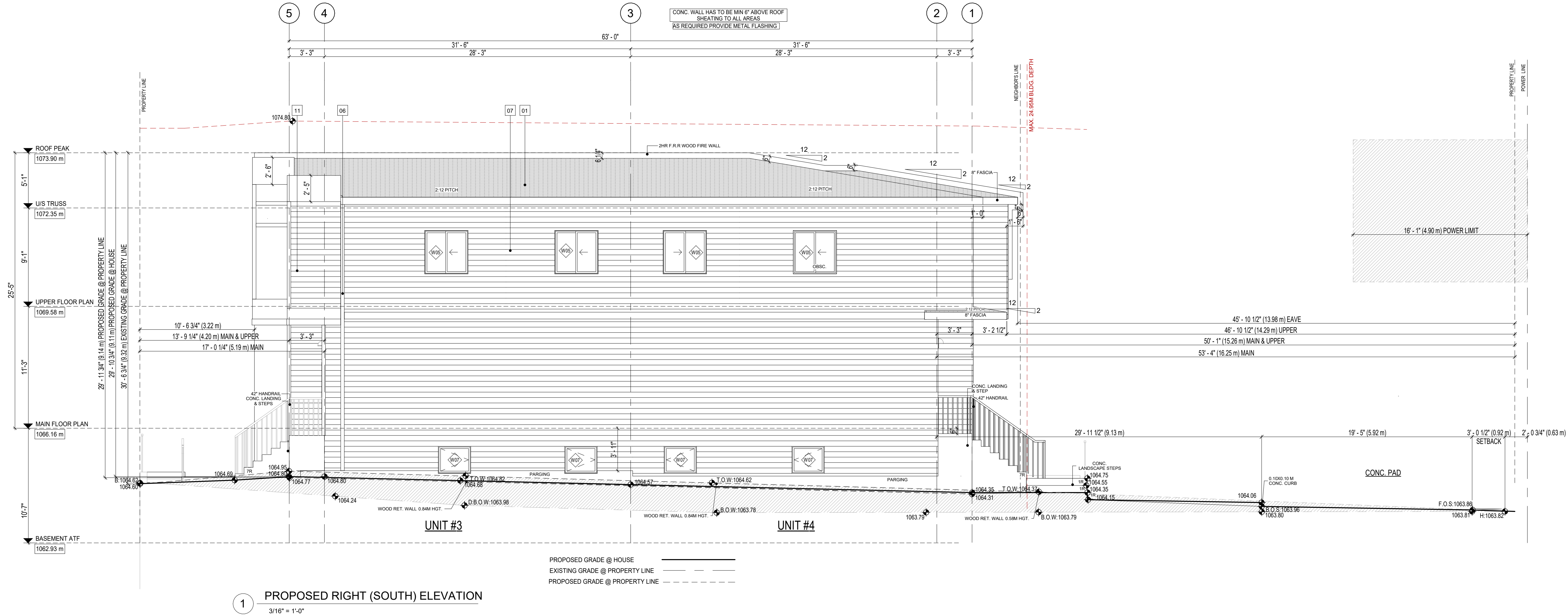
SCALE:

3/16" = 1'-0"

ELEVATIONS FINISHES MATERIAL	
MARK	NAME
01	ASPHALT SHINGLES
01	TRC Default Wall
02	PRE-FINISHED METAL FASCIA
04	4" CORNER BOARD LIGHT
05	STUCCO CLADDING DARK
06	4" TRIM WHITE
07	HORIZONTAL SIDING - HARDIE - DARK
08	SMART BOARD WHITE
11	HORIZONTAL SIDING - HARDIE (LUX PANELS)

UNPROTECTED OPENINGS RIGHT ELE.			
CODE CHECK	EXPOSED BUILDING FACE	1430.49 SQ. FT.	132.80 SQ.M²
	MINIMUM SETBACK	4'-0"	1.20 M
	PERCENTAGE OF ALLOWED OPENINGS	7.00%	9.30 SQ.M²
	SQ. FT.G. OF ALLOWED OPENINGS	94.00 SQ. FT.	8.73 SQ.M²
	ACTUAL SQ. FT.G. OF OPENINGS	94.00 SQ. FT.	8.73 SQ.M²
	MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	50.07 SQ. FT.	4.65 SQ.M²

UNPROTECTED OPENINGS LEFT ELE.			
CODE CHECK	EXPOSED BUILDING FACE	1435.31 SQ. FT.	133.38 SQ.M²
	MINIMUM SETBACK	4'-0"	1.20 M
	PERCENTAGE OF ALLOWED OPENINGS	7.00%	9.33 SQ.M²
	SQ. FT.G. OF ALLOWED OPENINGS	100.45 SQ. FT.	9.33 SQ.M²
	ACTUAL SQ. FT.G. OF OPENINGS	94.00 SQ. FT.	8.73 SQ.M²
	MAX SQ. FT. OF INDIVIDUAL OPENING (50%)	50.24 SQ. FT.	4.66 SQ.M²



DESIGNED BY:



RESIDENTIAL. INFILL. MULTI-FAMILY. COMMERCIAL.

tricordesigns.com

#202, 4216 10TH STREET NE

CALGARY, AB

T2E 6K3

PHONE: (403)203-1970

FAX: (403)203-1990

EMAIL: info@tricordg.ca

KEY PLAN

NOTES

- DRAWINGS ARE NOT TO BE SCALED.
- ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION.
- IF THESE ERRORS, OMISSIONS OR DISCREPANCIES ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO CONSTRUCTION THE BUILDER AND/OR OWNER ARE FULLY RESPONSIBLE.
- ALL WORK IS PERFORMED TO COMPLY TO CURRENT NATIONAL BUILDING CODE 2023- ALBERTA EDITION, AND ALL OTHER AUTHORITIES HAVING JURISDICTION.
- THESE PLANS AND ANY RELATED MATERIALS ARE PROTECTED BY COPYRIGHT AND ARE THE PROPERTY OF TRICOR DESIGN GROUP INC. REPRODUCTION OF THESE PLANS, EITHER IN WHOLE OR IN PART, INCLUDING ANY FORM AND/OR PREPARATION OF DERIVATIVE WORK, FOR ANY REASON AND IN ANY FORM WITHOUT PRIOR WRITTEN PERMISSION OF TRICOR DESIGN GROUP INC. IS STRICTLY PROHIBITED.
- THE PURCHASE OF A SET OF CONSTRUCTION DRAWINGS IN NO WAY TRANSFERS ANY COPYRIGHT OR OTHER OWNERSHIP INTEREST TO THE BUYER, EXCEPT FOR A LIMITED LICENSE TO USE THIS SET OF DRAWINGS FOR THE CONSTRUCTION OF ONE, AND ONLY ONE DWELLING. DRAWINGS ARE NOT TO BE SCALED. ANY ERRORS, OMISSIONS OR DISCREPANCIES WITH THE DRAWINGS MUST BE REPORTED TO TRICOR DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF ANY STAGE OF CONSTRUCTION AND PRIOR TO ANY RELIANCE BEING MADE ON SAME, AND TRICOR DESIGN GROUP INC. MUST BE PROVIDED WITH A REASONABLE PERIOD OF TIME, IN ITS SOLE AND ABSOLUTE DISCRETION, TO REVIEW SAME AND TO MAKE ANY CORRECTIONS NEEDED. IF THESE ERRORS, OMISSIONS OR DISCREPANCIES AS THE CASE MAY BE, ARE NOT REPORTED TO TRICOR DESIGN GROUP INC. AS REQUIRED ABOVE, THEN IT SHALL NOT BE RESPONSIBLE OR LIABLE IN ANY WAY FOR ANY USE OF OR RELIANCE UPON THE PLANS.

REVISIONS:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY

ISSUES:

NO.	DATE	DESCRIPTION	DRAWN BY	CHK'D BY
01	2026-08-05	DEVELOPMENT PERMIT SET	M.M./E.R./T.J	A.K.
02				
03				
04				
05				

THE CLIENT :

PRIVATE CLIENT

PROJECT :

4_PLEX

ADDRESS:

1324 37 STREET S.E. , CALGARY, ALBERTA
PLAN 7039GG , BLOCK 23 , LOT 5

DRAWING SET :

DEVELOPMENT PERMIT SET

DRAWING TITLE :

PROPOSED RIGHT & LEFT
ELEVATIONS

DRAWING NO.

A-202

PROJECT NO. :

26-1058

CHECKED BY:

A.K.

DATE:

2026-08-05

DRAWN BY:

M.M./E.R./T.J

SCALE:

3/16" = 1'-0"