

PROJECT INFORMATION

- DRAWINGS ARE NOT TO BE SCALED
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE
- BUILDER IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS + INFORMATION ON DRAWINGS
- ANY DISCREPANCIES MUST BE REPORTED TO SDP FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- **ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED**
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK

LEGAL ADDRESS:

PLAN: 921 0507
BLOCK: 2
LOT: 16

PROPERTY INFORMATION:

LAND-USE DISTRICT = R-C1
YEAR OF CONSTRUCTION = 1994
WALK-OUT = ☐ YES / ☒ NO
FLOOD FRINGE = ☐ YES / ☒ NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = ☐ YES / ☒ NO
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = ☐ YES / ☒ NO
LANLESS LOT = ☒ YES / ☐ NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = ☐ YES / ☒ NO
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING = ☐ YES / ☒ NO
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES = ☐ YES / ☒ NO
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT = ☐ YES / ☒ NO
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) = ☐ YES / ☒ NO
*IF YES: SHOW ON SITE W/ GEODETICS

Drawing List

- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 Project Specific Notes
- A1.0 Site Plan
- A2.0 Floor Plan
- A2.1 Roof Plan
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A4.0 Sections
- SR1.0 Screen Room Details
- SR1.1 Screen Room Details



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Web: www.sevendaypermits.ca

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THIS DRAWING IS INVALID UNLESS CLEARLY INDICATED EITHER 'FOR BP SUBMISSION' OR 'FOR DP SUBMISSION'

IF P.ENG IS REQUIRED:

BUILDER/OWNER TO SEND PHOTOS OF ANY APPLICABLE ENGINEERED SCOPE:
INCLUDING (BUT NOT LIMITED TO):
• CONCRETE: REBAR + FORM WORK PRIOR TO POUR
• FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC.
• SCREW PILES: TORQUE REPORT
• SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS
CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

GENERAL CONTRACTOR
SUNCOAST



ENGINEER

PROJECT SCOPE

- SCREEN ROOM
- -
- -

RELAXATIONS

- REAR SETBACK
- SIDE SETBACK
- -

177 PATTERSON BLVD SW
CALGARY, AB

SCREEN ROOM

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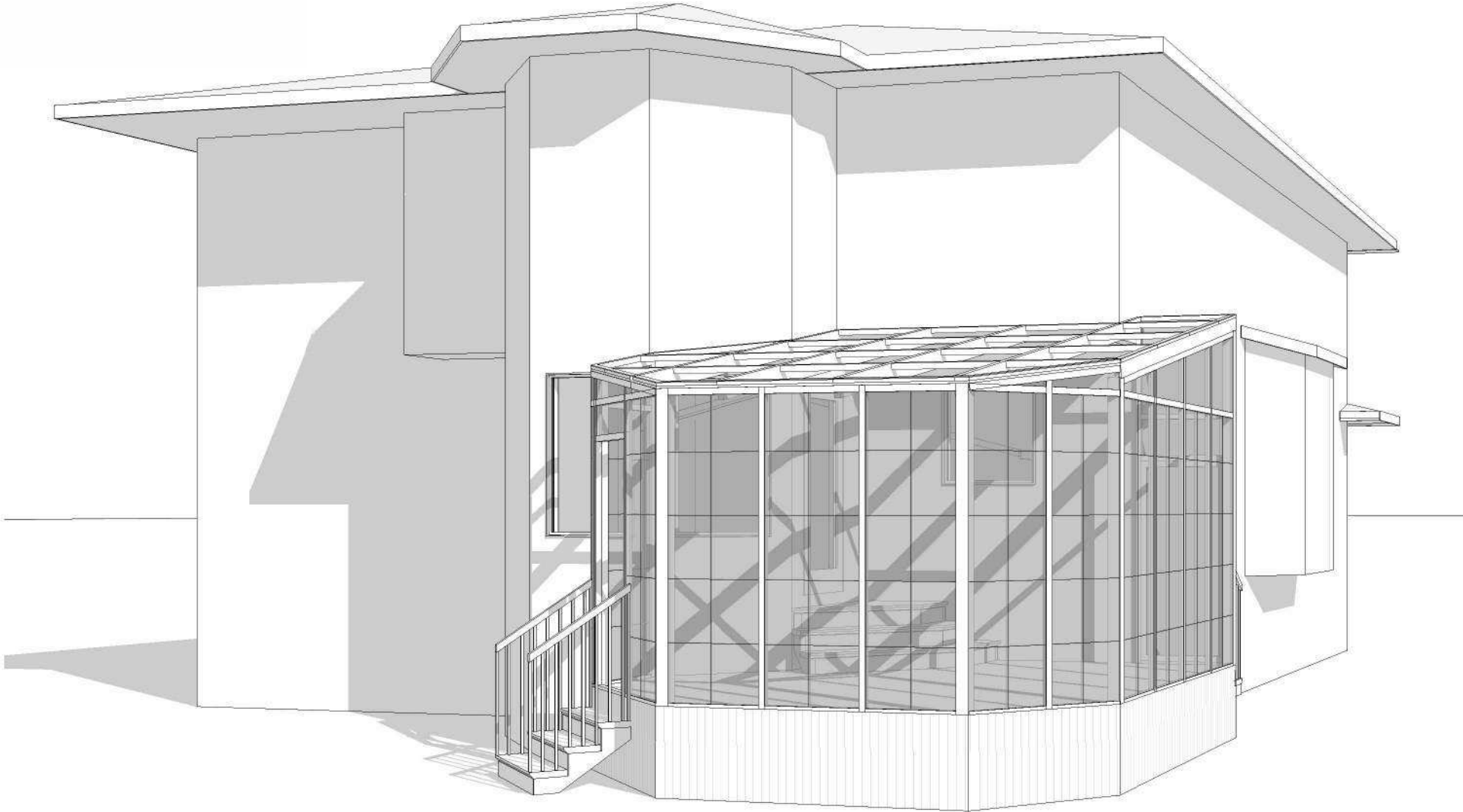
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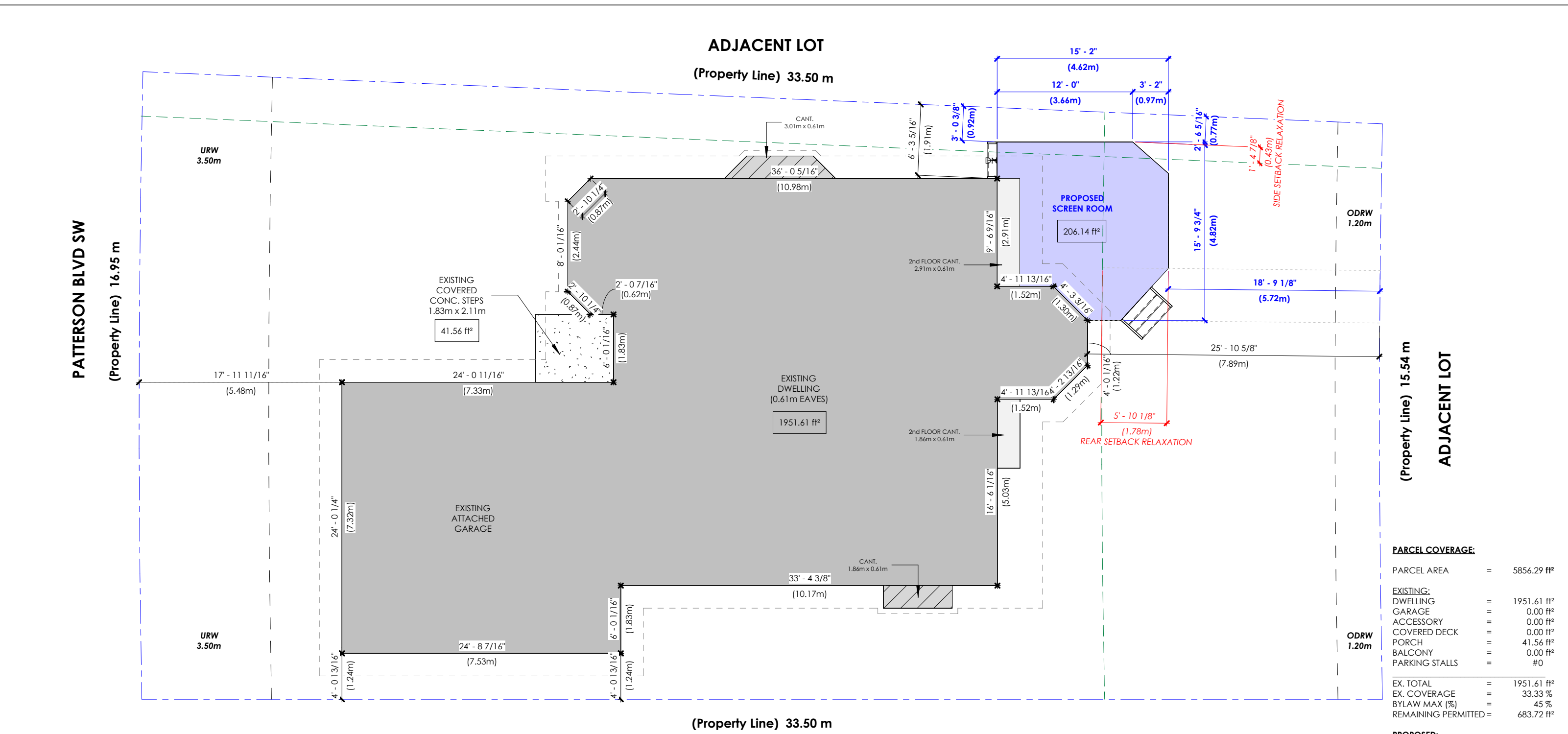
Project : 2026-394DP

Scale:

Drawn By: RFC

A0.0





NOTE:
• ALL MATERIAL STORAGE ON SITE
• SITE ACCESS FROM ROAD OR LANE AS APPLICABLE
• ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED
• BUILDER TO CONFIRM ALL MEASUREMENTS PRIOR TO CONSTRUCTION
• BUILDER TO CONFIRM ROOF SLOPE AND HEEL HEIGHT PRIOR TO CONSTRUCTION (IF APPLICABLE)

NOTE:
PROPERTY LINE VALUES AND EXISTING SITE INFORMATION TO BE CONFIRMED PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS PLAN ACQUIRED FROM SUPPLIED RPR/SURVEY

EMAIL: ROB@SEVENDAYPERMITS.CA
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ENGINEER

GENERAL CONTRACTOR

SUNCOAST

ENCLOSURES™

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CALGARY, AB

SCREEN ROOM

Site Plan

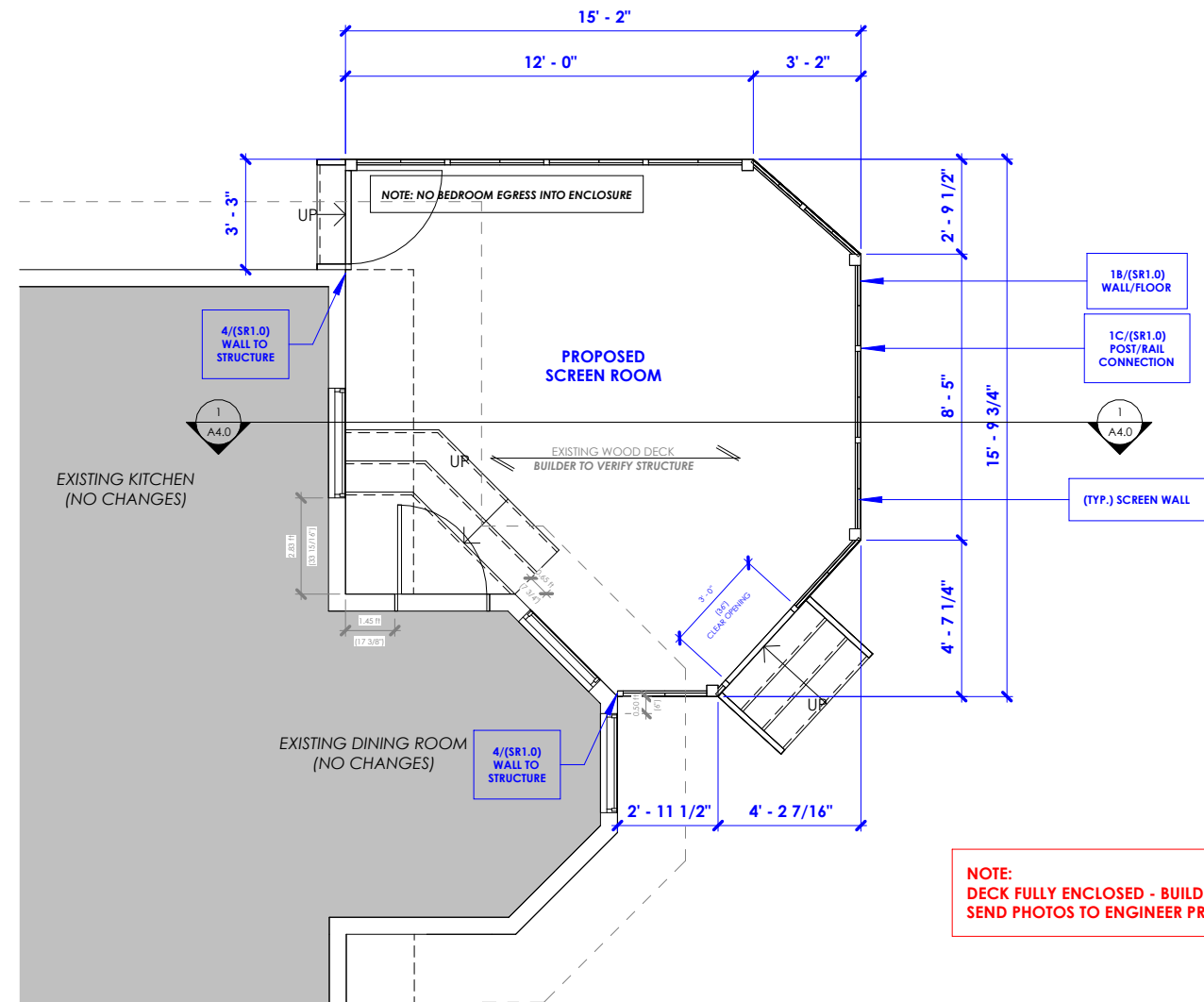
Project : 2026-394DP

Scale: 1 : 100

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A1.0

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ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

BUILDER: CONFIRM MEASUREMENTS PRIOR TO CONSTRUCTION AND NOTIFY SDP OF ANY DISCREPANCIES

DRAFTING LEGEND

(NEW BEAM)

(EXISTING BEAM)

(CONC. PILE)

(SCREW. PILE)

(EXISTING POST)

(NEW POST)

NON-CONDITIONED SPACE
(3-SEASON ENCLOSURE/PERGOLA)

1 T/O Deck
3/16" = 1'-0"



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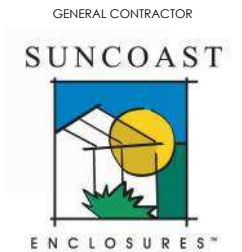
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ENGINEER



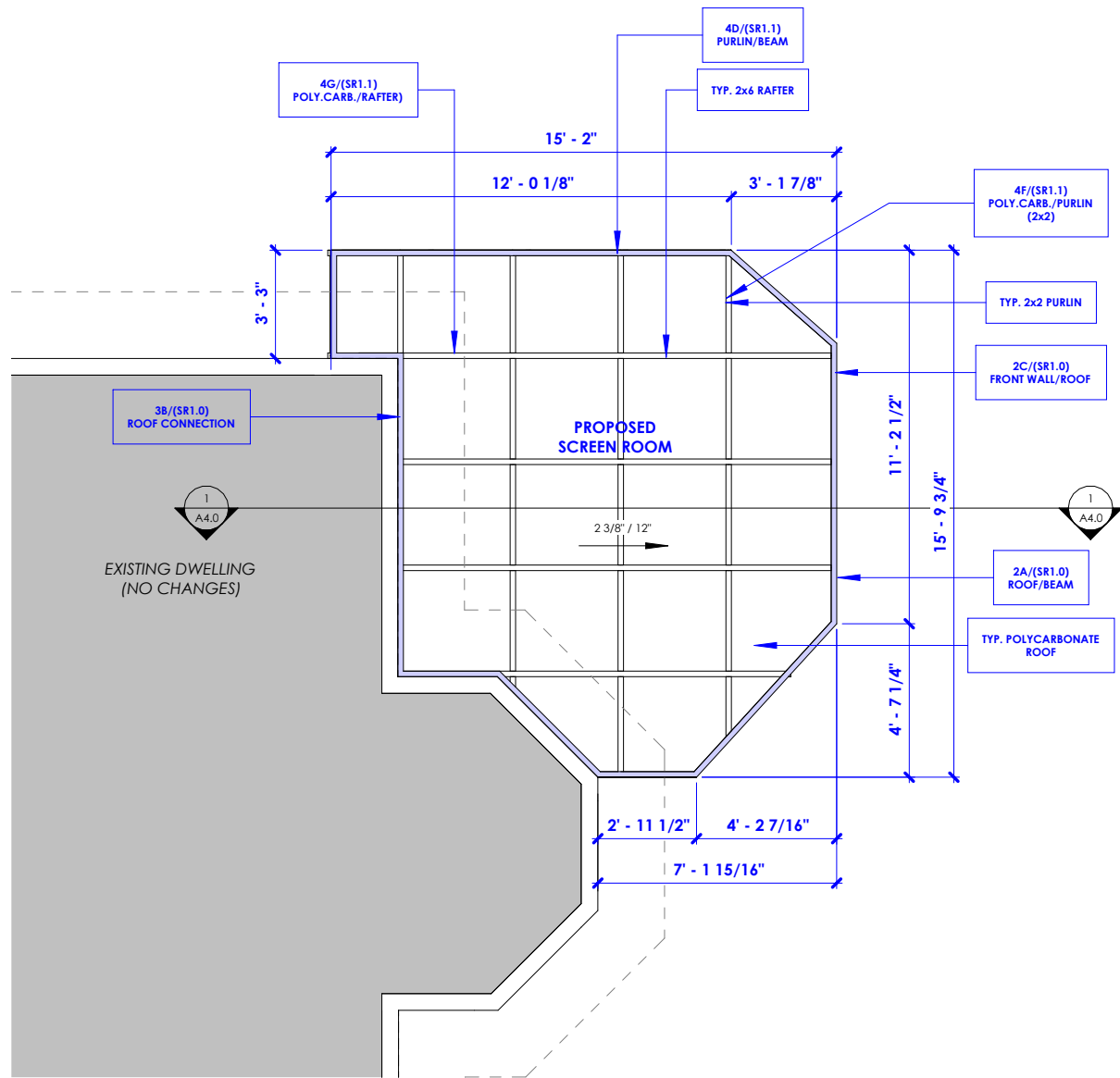
GENERAL CONTRACTOR

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CALGARY, AB

SCREEN ROOM

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Floor Plan	
Project :	2026-394DP
Scale:	3/16" = 1'-0"
Drawn By:	RFC
A2.0	



ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED

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DRAFTING LEGEND

(NEW BEAM) [Symbol]

(EXISTING BEAM) [Symbol]

(CONC. PILE) [Symbol]

(SCREW. PILE) [Symbol]

(EXISTING POST) (EP1) [Symbol]

(NEW POST) (P1) [Symbol]

NON-CONDITIONED SPACE
(3-SEASON ENCLOSURE/PERGOLA)

MAX RAFTER/BREAM
SPACING
1.200 m

1 T/O Structure
3/16" = 1'-0"



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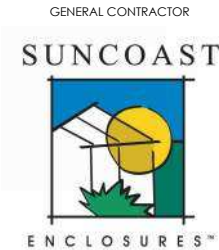
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ENGINEER



GENERAL CONTRACTOR

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CALGARY, AB

SCREEN ROOM

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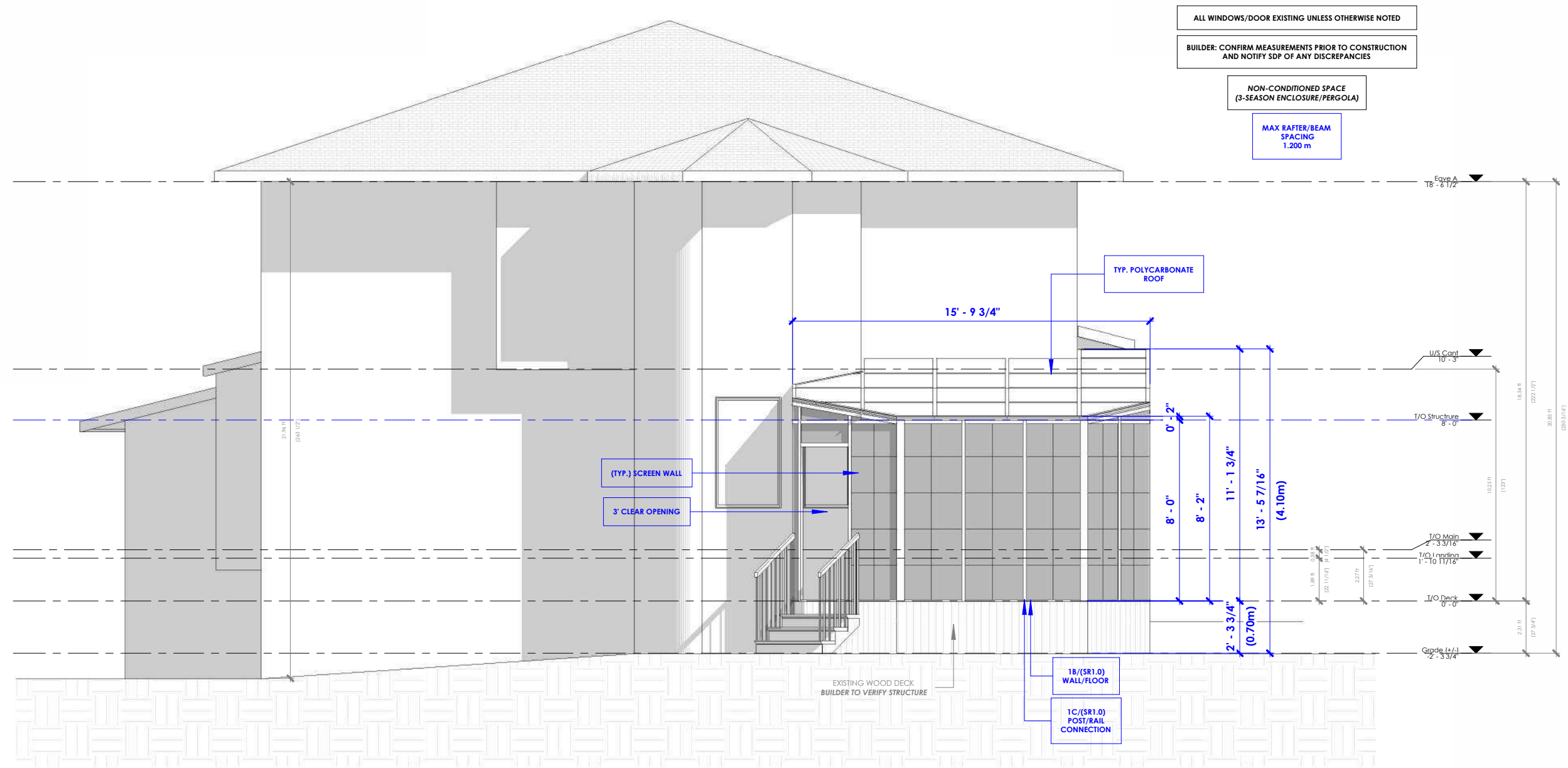
Roof Plan

Project : 2026-394DP

Scale: 3/16" = 1'-0"

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A2.1



1 Rear Elevation
3/16" = 1'-0"



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CALGARY, AB

SCREEN ROOM

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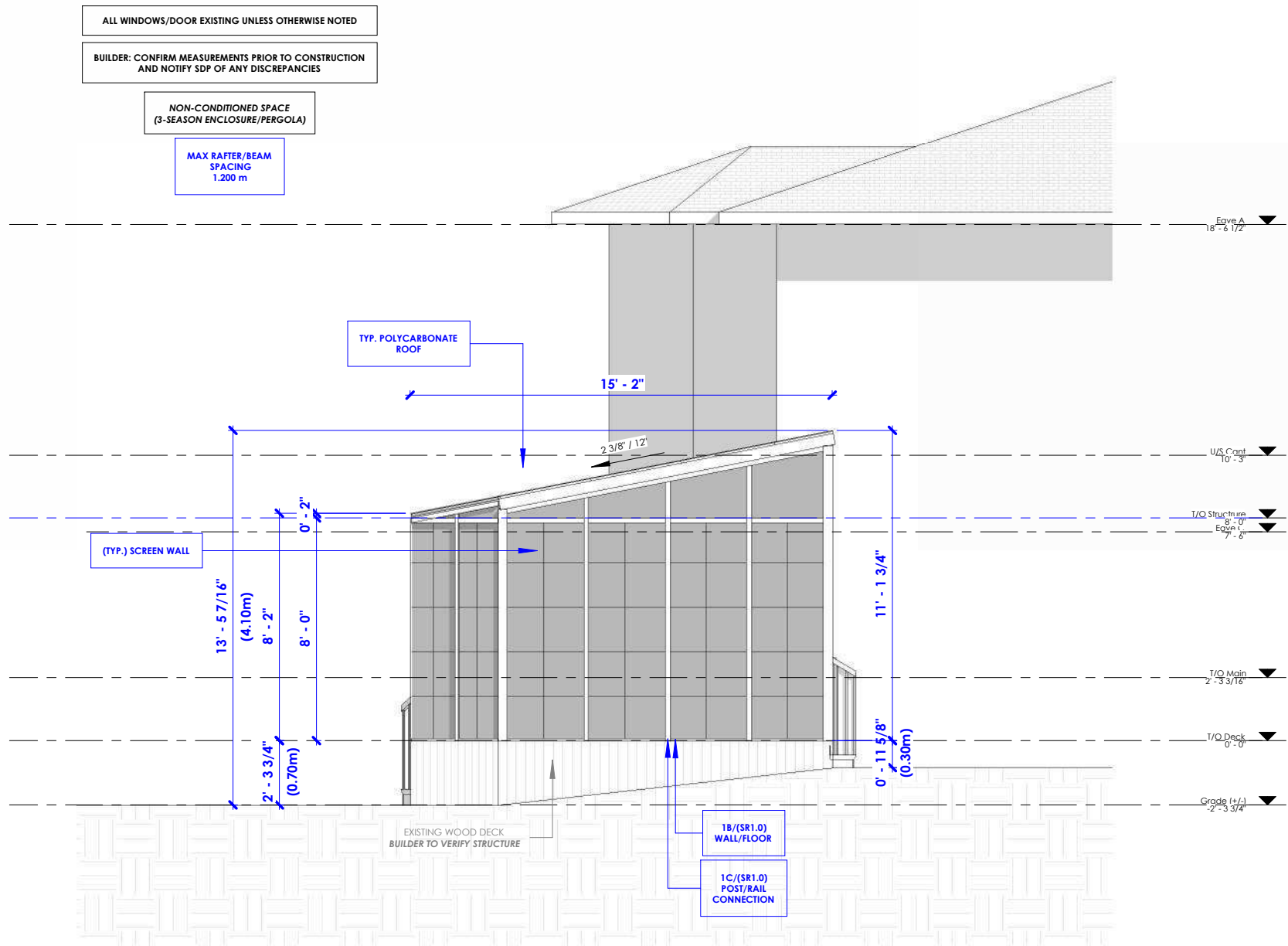
Elevations

Project : 2026-394DP

Scale: 3/16" = 1'-0"

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A3.0



1 Left Elevation
3/16" = 1'-0"



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SCREEN ROOM

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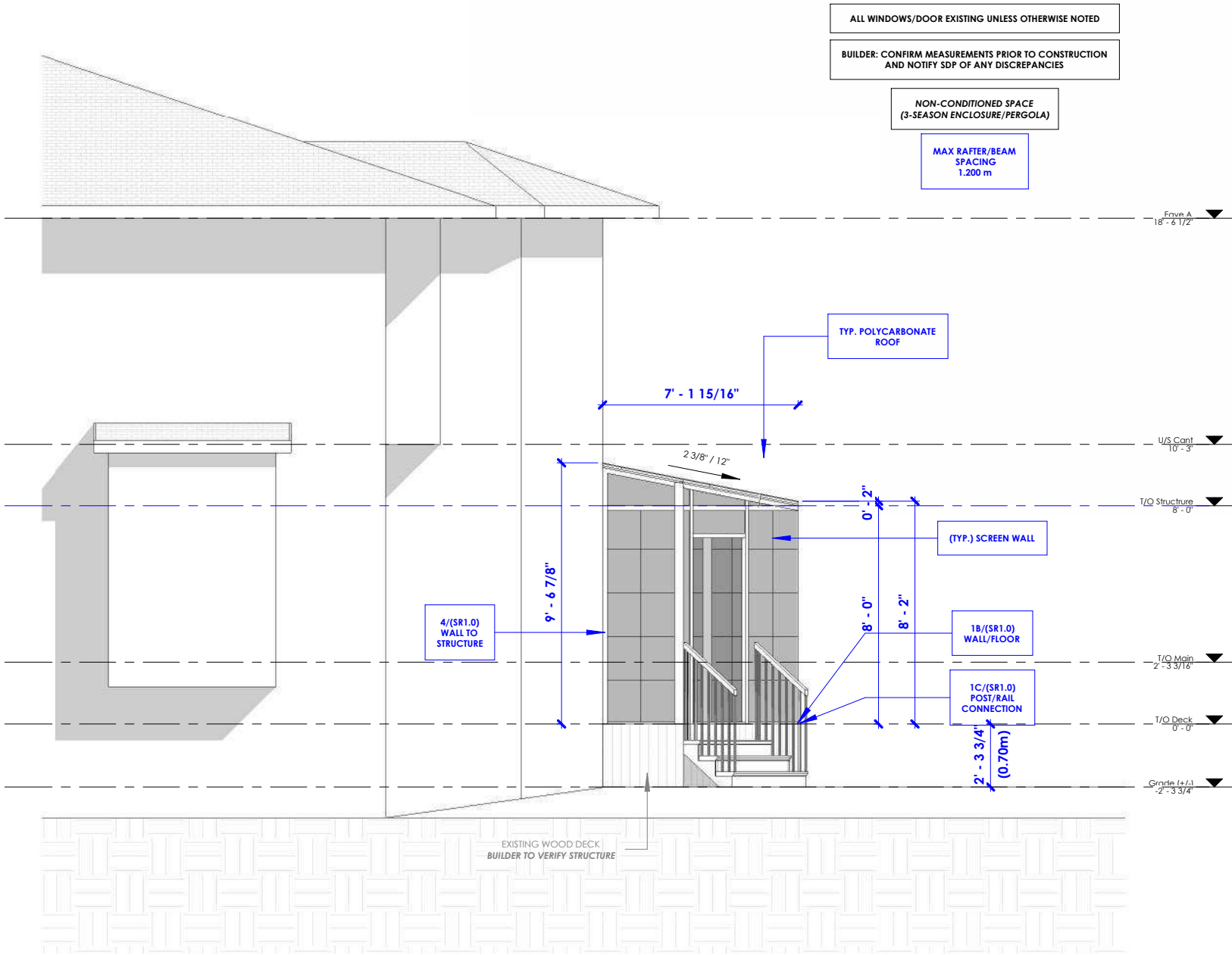
Elevations

Project : 2026-394DP

Scale: 3/16" = 1'-0"

Drawn By: RFC

A3.1



1 Right Elevation
3/16" = 1'-0"

ENGINEER



GENERAL CONTRACTOR
177 PATTERSON BLVD SW
CALGARY, AB
SCREEN ROOM

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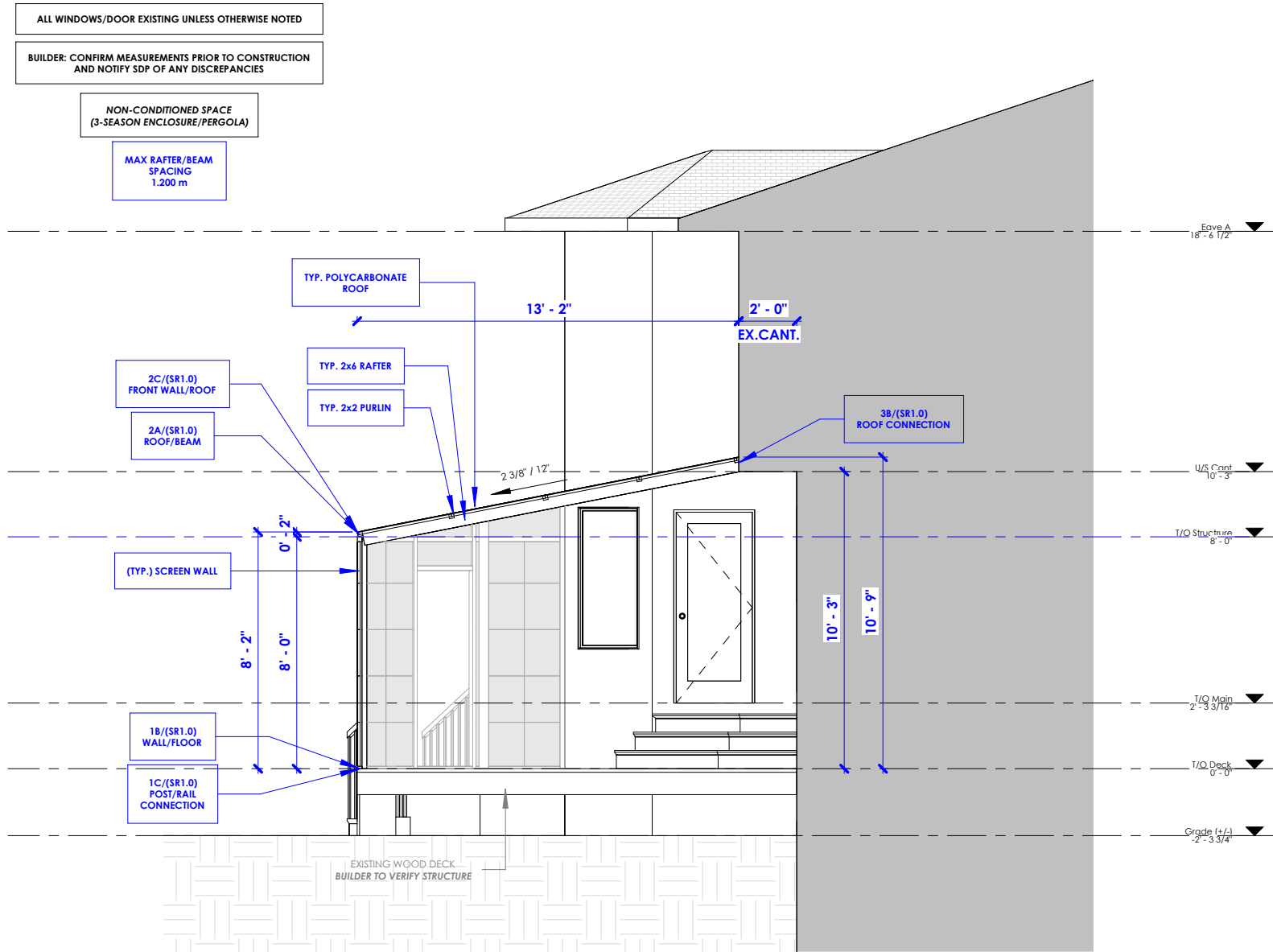
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Elevations	
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Scale:	3/16" = 1'-0"
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A3.2	



1 Section
3/16" = 1'-0"



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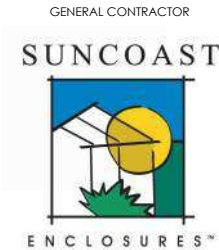
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SCREEN ROOM

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Sections

Project : 2026-394DP

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A4.0