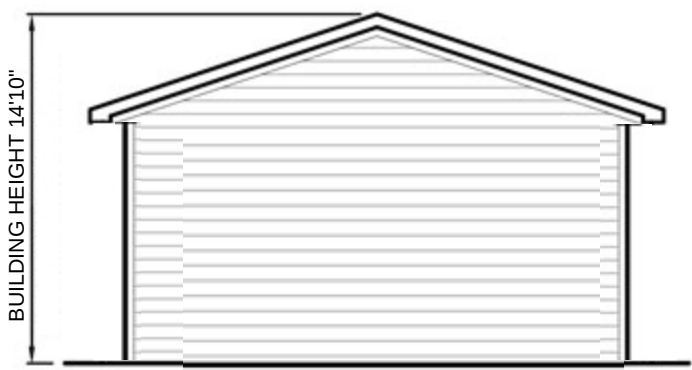
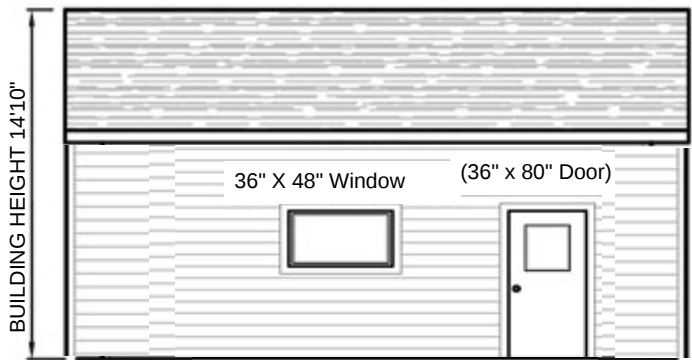




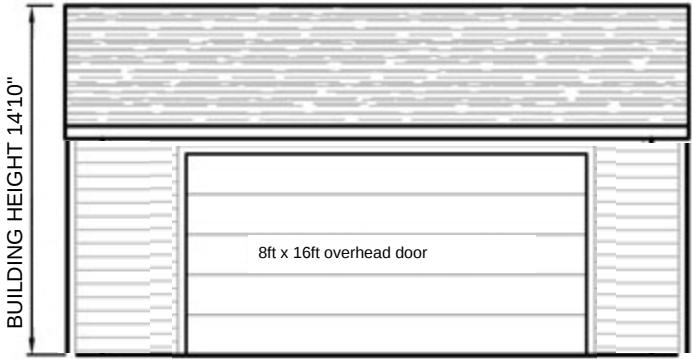
SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION

WALL CONSTRUCTION

VINYL SIDING
TYVEK BUILDING PAPER
3/8" OSB
2"x4" STUDS 16" O/C
PW

ROOF CONSTRUCTION

ASPHALT SHINGLES
TAR PAPER
7/16" OSBENGINEERED

FLOOR CONSTRUCTION

4" CONCRETE SLAB ON
GRADE WITH 3" MINIMUM
SLOPE FROM FRONT TO
BACK (WEST TO EAST)



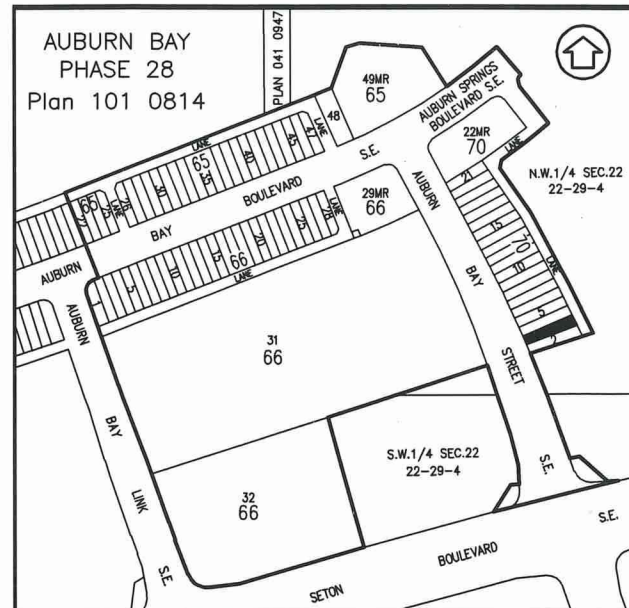
ELEVATIONS

DATE: July 23, 2026

ADDRESS: 64 Auburn Bay Street SE

SCALE: NTS

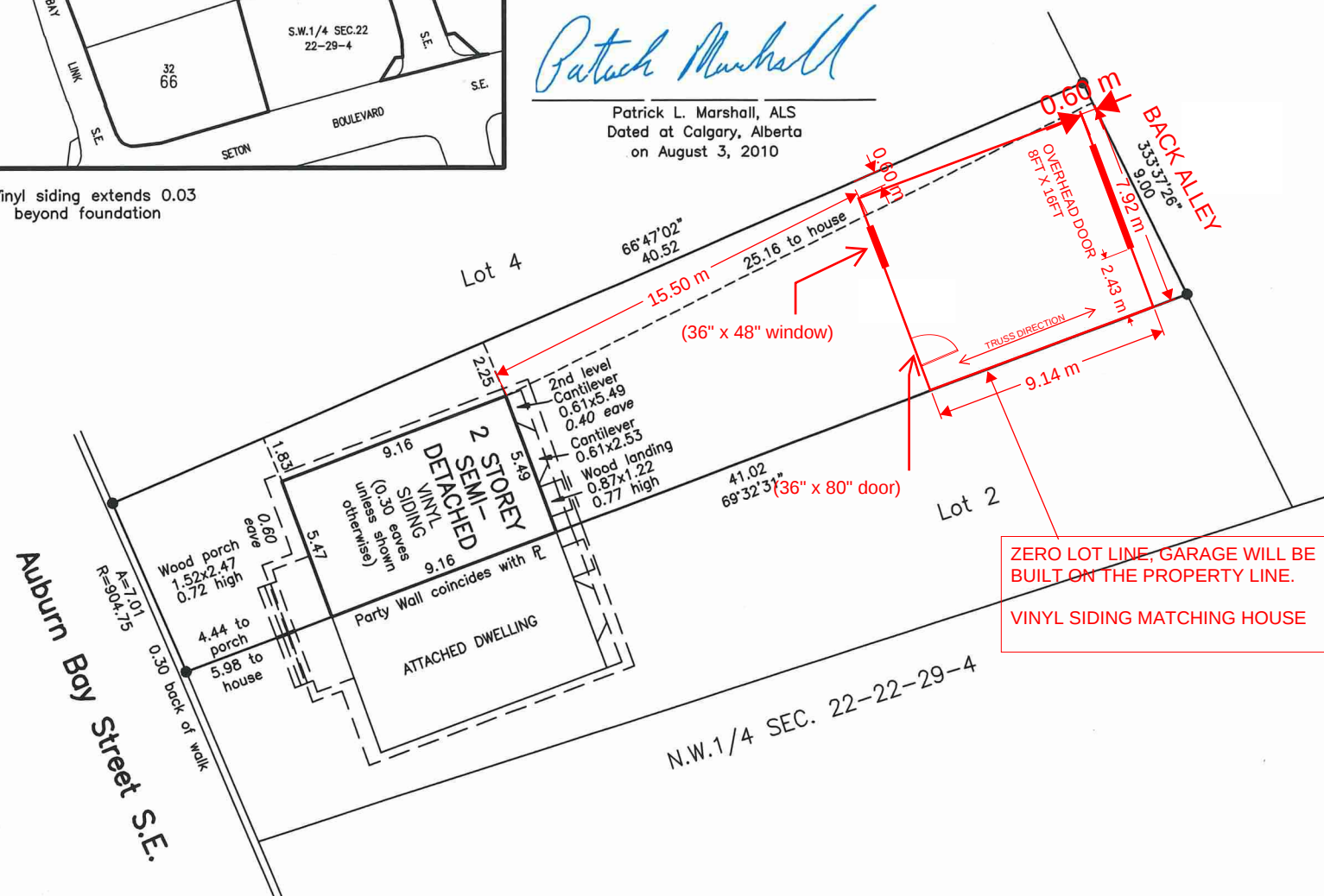
AUBURN BAY
PHASE 28
Plan 101 0814



Patrick Marshall

Patrick L. Marshall, ALS
Dated at Calgary, Alberta
on August 3, 2010

*Vinyl siding extends 0.03
beyond foundation



ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

LOT: 3 BLOCK: 70 PLAN: 101 0814

MUNICIPAL ADDRESS: 64 Auburn Bay Street S.E., Calgary

CLIENT: Heartland Homes

("the Property")

SCALE: 1:250

Re-established corner location from Plan 101 0814 using internal control surveyed on September 21, 2009.

Found Iron Post shown thus: ●

Distances are in metres and decimals thereof.

Date of Survey: July 14, 2010

Date of Title Search: July 30, 2010

Alberta Land Surveyor's Certification:

I hereby certify that this report, which includes this plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association's Manual of Standard Practice and supplements thereto. Accordingly, within those standards and as of the date of this report, I am of the opinion that:

1. the plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way affecting the extent of the title to the Property;
2. the improvements are entirely within the boundaries of the Property;
3. no visible encroachments exist on the Property from any improvements situated on an adjoining property;
4. no visible encroachments exist on registered easements or rights-of-way affecting the extent of the Property;
5. all eaves are dimensioned to the fascia line; and
6. unless otherwise specified the dimensions shown relate to distances from property boundaries to foundation walls only at the date of survey.

Purpose of Report:

This Report and related plan have been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a land conveyance or support of a subdivision application. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on this plan. Unless shown otherwise, property corner markers have not been placed during the survey for this Report.

This plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user.

The information shown on this Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

This document is not valid unless it bears an original signature in blue ink and a Maidment Land Surveys Ltd. permit stamp in red ink.

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Maidment Land Surveys Ltd.

Land Surveyors/Land Development Consultants

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Fax (403) 286-6632