

BACKYARD SUITE  
707 28TH AVENUE NW  
CALGARY, ALBERTA



PROJECT

BACKYARD SUITE

STAMP

ISSUED:

| NO. | ISSUE | DATE |
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|     |       |      |
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NOTES

DRAWING LISTS:

ARCHITECTURAL

|      |                          |
|------|--------------------------|
| A.00 | COVER PAGE               |
| A.01 | GENERAL NOTES            |
| A.02 | EXISTING SITE PLAN       |
| A.03 | PROPOSED SITE PLAN       |
| A.04 | PROPOSED FLOOR PLANS     |
| A.05 | PROPOSED ROOF PLAN       |
| A.06 | PROPOSED SOUTH ELEVATION |
| A.07 | PROPOSED WEST ELEVATION  |
| A.08 | PROPOSED NORTH ELEVATION |
| A.09 | PROPOSED EAST ELEVATION  |
| A.10 | PROPOSED SECTIONS 1      |
| A.11 | PROPOSED SECTIONS 2      |
| A.12 | DOOR WINDOW SCHEDULED    |
| A.13 | DETAILS                  |

ELECTRICAL

|      |                            |
|------|----------------------------|
| E.01 | PROPOSED GARAGE ELEC. PLAN |
| E.02 | PROPOSED UPPER ELEC. PLAN  |
|      |                            |
|      |                            |

DRAWING INFORMATION:

CLIENT:  
ADDRESS: 707 28TH AVENUE NW  
LOCATION: CALGARY, ALBERTA  
DRAWN BY: KT  
LEGAL PLAN/ BLK/ LOT :

DRAWING NO: OO  
DRAWING TITTLE: COVERPAGE  
SHEET: A.00  
SCALE: NTS  
REV. I



GENERAL NOTES

1. THE FOLLOWING NOTES ARE APPLICABLE TO ALL DRAWINGS AND PERTAIN WITHIN THE SCOPE OF WORK DOCUMENTATION
2. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ELECTRICAL AND MECHANICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. IT IS THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE DESIGNER IN THE EVENT OF A DISCREPANCY BETWEEN THE CONSULTANTS DOCUMENTATION AND THAT OF THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION / INSTALLATION. THE DESIGN DRAWINGS SHALL TAKE PRECEDENCE OVER THE ELECTRICAL AND MECHANICAL DRAWINGS.
3. ALTHOUGH PRESUMED TO BE ACCURATE, THESE DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THE CONTRACTOR SHALL VERIFY, COORDINATE AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB SITE. DIMENSIONS REQUIRING SITE MEASUREMENT SHALL BE CONFIRMED PRIOR TO PROCEEDING WITH WORK.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED BY THE CITY OF CALGARY AND THE PROVINCE OF ALBERTA.
5. ALL WORK TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE NATIONAL BUILDING CODE 2023 - ALBERTA EDITION.
6. THE GENERAL CONTRACTOR SHALL EXAMINE THE SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR A COMPLETE INSTALLATION AS REQUIRED BY THESE THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. FAILURE TO NOTE SITE CONDITIONS AND MAKE SUITABLE ALLOWANCES FOR SAME IN TENDER WILL IN NO WAY JUSTIFY A CLAIM FOR ADDITIONAL CHARGES OR COMPENSATION.
7. THESE CONTRACT DOCUMENTS ARE DIAGRAMMATIC IN NATURE AND ARE FURNISHED TO ESTABLISH SCOPE, MATERIAL, QUANTITIES, AND DESIGN INTENT. THE DOCUMENTS ARE NOT DETAILED INSTALLATION DRAWINGS. MINOR DETAILS USUALLY NOT SHOWN OR SPECIFIED AND ANY INCIDENTAL ACCESSORIES REQUIRED FOR PROPER INSTALLATION OF THE DESIGN ARE TO BE INCLUDED IN THE WORK AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUB-TRADES.
8. ALL CONSTRUCTION AND MATERIALS SHALL BE OF THE HIGHEST QUALITY AND CONFORM TO ACCEPTED INDUSTRY/TRADE STANDARDS FOR BEST QUALITY DESIGN AND CONSTRUCTION. ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS. ANY MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED PURPOSE.
9. THE GENERAL CONTRACTOR TO PROVIDE TO THE OWNER/TENANT WRITTEN MAINTENANCE INSTRUCTIONS FOR ALL NEW MATERIALS AND EQUIPMENT SUPPLIED.
10. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE DELIVERY TIME OF THE SPECIFIED MATERIALS DO NOT CAUSE A DELAY IN THE SCHEDULED COMPLETION OF THE PROJECT.
11. ANY WORK THAT CAN BE DEEMED DISRUPTIVE OR NOISY TO OTHER TENANTS, SHALL BE UNDERTAKEN AFTER HOURS. COORDINATE WITH LANDLORD AND/OR TENANT FOR SPECIFIC HOURS. ALLOWANCE FOR ALL AFTER HOURS WORK OR SCHEDULING TO BE INCLUDED IN BASE BID.
12. PROVIDE A SLIP JOINT AT THE TOP OF FULL HEIGHT WALLS WHICH MEET THE FLOOR SLAB ABOVE, TO ALLOW FOR 1" SLAB DEFLECTION.
13. SUPPLY AND INSTALL SOLID WOOD INTERNAL BLOCKING IN ALL WALLS TO RECEIVE WALL MOUNTED MILLWORK, EQUIPMENT AND OTHER OBJECTS FASTENED TO THE WALL.
14. THE CONTRACTOR IS TO REPAIR ALL DAMAGE TO WALL, FLOOR OR CEILING CAUSED BY THE CONSTRUCTION OR BUILD OUT OF THIS SPACE.
15. THE GENERAL CONTRACTOR IS TO ENSURE THAT PROPER AIR BALANCING TAKES PLACE PRIOR TO OCCUPANCY.
16. ALL MILLWORK SHALL CONFORM WITH THE LATEST VERSION OF THE A.W.M.A.C. (ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA) STANDARDS GUIDE.
17. THE GENERAL CONTRACTOR IS TO KEEP ONE SET OF RECORD DRAWINGS ON SITE AT ALL TIMES.
18. THIS INDICATES FOR RESIDENTIAL PROJECTS ONLY.
19. THE ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER AND FABRICATED BY A TRUSS SUPPLIER. SUPPLIER TO DO DRAWINGS FOR THE TOTAL ROOF AND VERIFY ALL DETAILS SHOWN ON THE DESIGNER'S DRAWINGS THE ROOF APPEARANCE MAY VARY.
20. ALL NAILING AND CONNECTIONS AS PER THE NATIONAL BUILDING CODE 2023 - ALBERTA EDITION.
21. INSTALL EAVESTROUGHING , DOWNSPROUTS AND EXTENSIONS, AS REQUIRED
22. ELECTRICAL, PLUMBING AND HEATING SYSTEM DESIGNED BY OTHERS
23. FACTORY-FIREPLACES ARE TO BE SUPERIOR CF3860 OR EQUIVALENT AND SHALL BE INSTALLED TO CONFORM TO ULC56100, ABC AND MANUFACTURER'S SPECIFICATIONS.
24. GRADES SHOWN MAY VARY ON SITE AND MAY ALTER THE APPEARANCE OF THE BUILDING
25. ANY ENGINEERING REQUIRED ON THESE DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER
26. SOIL BEARING IS ASSUMED TO BE MINIMUM OF 2,500 p.s.f. SOIL BEARING TO BE CHECKED BY THE GENERAL CONTRACTOR. CONSULT WITH A PROFESSIONAL ENGINEER IF THE SOIL BEARING IS LESS THAN 2,500 p.s.f. AND ALSO IF A PROBLEM SOIL EXISTS. THE FOUNDATION DESIGN MAY HAVE TO BE REVISE BY AN ENGINEER.

BUILDING ANALYSIS:

MUNICIPAL ADDRESS:  
707 28 AVE NW, CALGARY, AB

LEGAL PLAN:  
PLAN 3955R, BLOCK 10, LOT 31 & 32

SITE SIZE: : 6008.73 SQ.FT  
PROPOSED GARAGE : 807 SQ.FT(WITHOUT STAIRS)  
PROPOSED GARAGE SUITE: 875 SQ.FT (WITHOUT STAIRS & DECK)

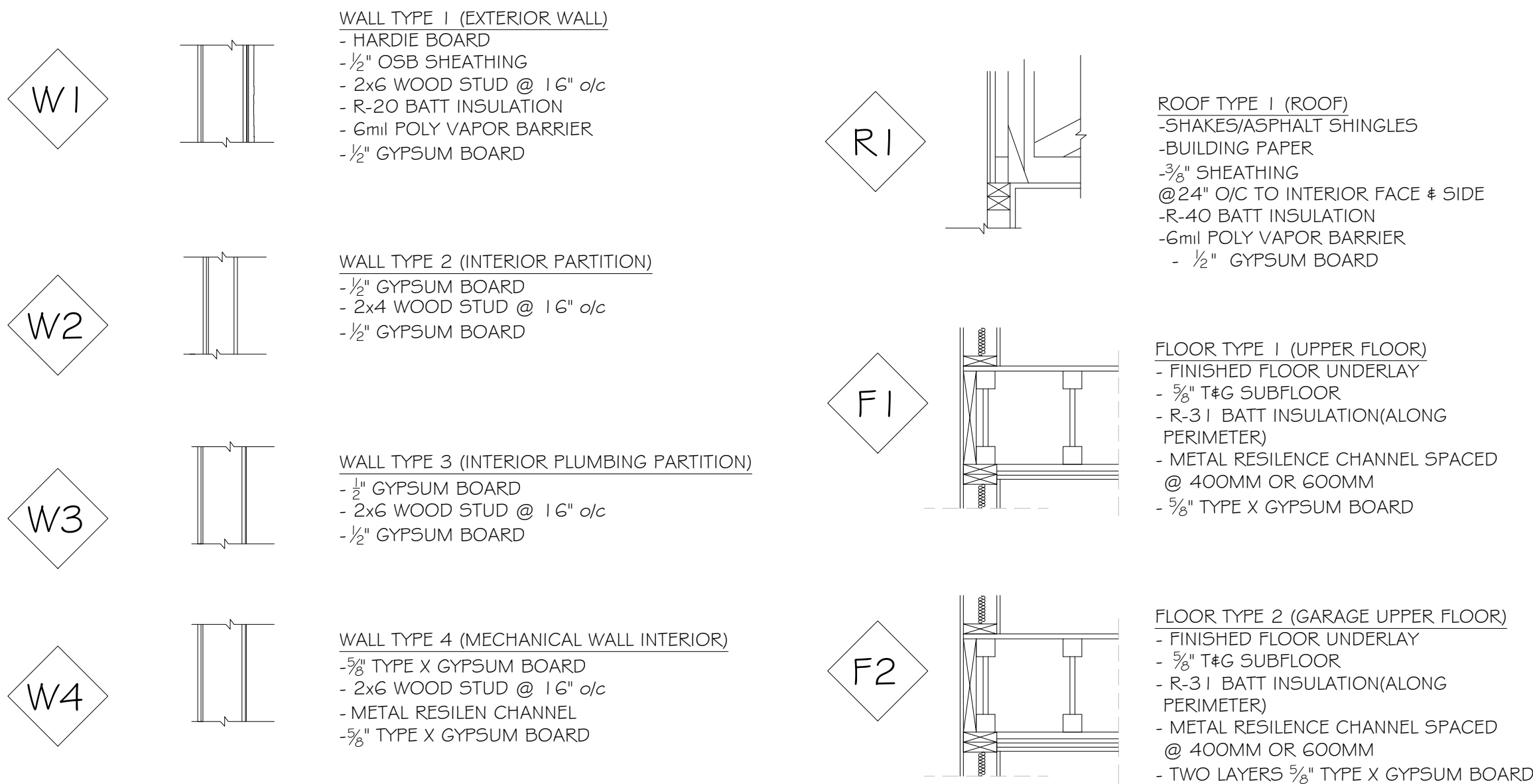
PROPOSED GARAGE  
GROUND COVERAGE : 807 SQ.FT

EXISTING RESIDENCE  
GROUND COVERAGE : 1722.17 SQ.FT

GROUND COVERAGE : 42.09 %

ZONING: R-CG

DESCRIPTION OF USE: DETACHED GARAGE SUITE



PERFORMANCE REQUIREMENTS NAFS  
PROVINCE = ALBERTA  
CITY = CALGARY  
PRODUCT HEIGHT = 39'5"  
TERRAIN TYPE = OPEN  
  
MIN. PERFORMANCE GRADE = 30 PG  
MIN. POSITIVE DESIGN PRESSURE = 1440 PA  
MIN. NEGATIVE DESIGN PRESSURE = 1440 PA  
MIN. WATER PENETRATION RESISTANCE TEST PRESSURE = 220 PA  
MIN. CANADA AIR INFILTRATION/EXFILTRATION = A2  
  
calculations based on AAMAWDM/CSA 1011.5, 2/A440-11 (NAFS-11) AND CSA A440S1-17 (CANADIAN SUPPLEMENT TO NAFS-11)



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CLIENT:

ADDRESS: 707 28TH AVENUE NW

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN/ BLK/ LOT :

DRAWING NO: OO

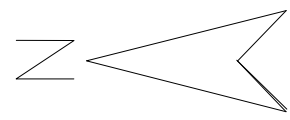
DRAWING TITTLE: GENERAL NOTES

SHEET: A.O1

SCALE: NTS

REV. I





6 STREET N.W.

707 28 AVENUE N.W.

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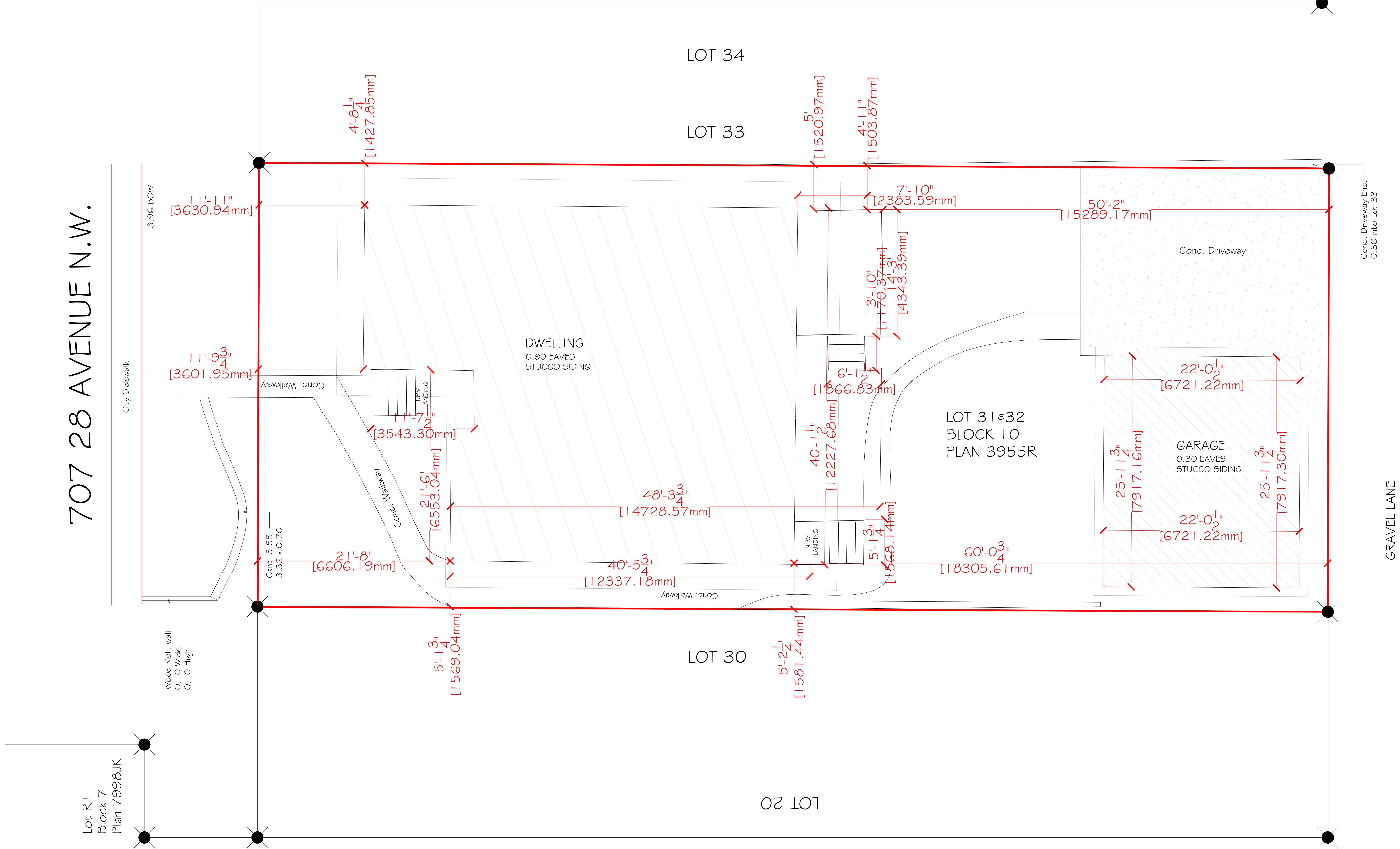
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LOCATION: CALGARY, ALBERTA  
DRAWN BY: KT  
LEGAL PLAN/ BLK/ LOT :

DRAWING NO: 01  
DRAWING TITTLE: EXISTING SITE PLAN  
SHEET: A.02  
SCALE: 3/16"=1'0"  
REV. 0







LOT 34

LOT 33

PROPOSED  
BACKYARD SUITE  
ABOVE FLOOR 2'  
CANTILEVERED

LOT 31#32  
BLOCK 10  
PLAN 3955R

DWELLING  
0.90 EAVES  
STUCCO SIDING

PROPOSED  
BACKYARD SUITE

OVERHANG

LOT 30

LOT 20

707 28 AVENUE N.W.

Lot R1  
Block 7  
Plan 7998JK

I PROPOSED SITE PLAN  
A.03

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CLIENT:

ADDRESS: 707 28TH AVENUE NW

LOCATION: CALGARY, ALBERTA

DRAWN BY: KT

LEGAL PLAN/ BLK/ LOT :

DRAWING NO: 01

DRAWING TITTLE: PROPOSED SITE PLAN

SHEET: A.03

SCALE:  $3/16" = 1'0"$

REV. 0



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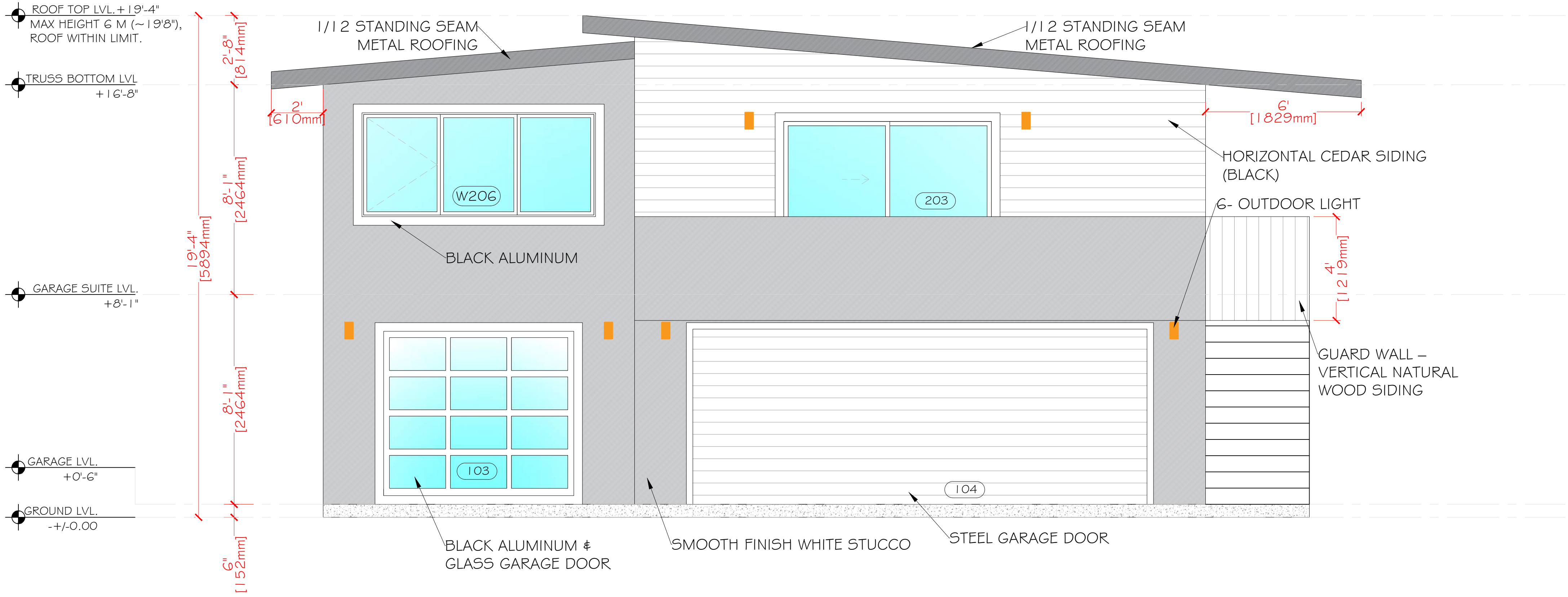
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ADDRESS: 707 28TH AVENUE NW  
LOCATION: CALGARY, ALBERTA  
DRAWN BY: KT  
LEGAL PLAN/ BLK/ LOT :

DRAWING NO: 05  
DRAWING TITTLE: SOUTH ELEVATION  
SHEET: A.06  
SCALE: 3/8" = 1'0"  
REV. 0



SPATIAL SEPARATION CALCULATION

| ITEM                        | VALUE/AREA (SQ M) |
|-----------------------------|-------------------|
| TOTAL ELEVATION AREA        | 59.83             |
| TOTAL GLAZING AREA          | 9.11              |
| GLAZING PERCENTAGE          | 15.23%            |
| DISTANCE FROM SETBACK       | 3.0 M             |
| MAXIMUM ALLOWED GLAZING (%) | 17.92%            |



OUTDOOR LIGHT



PROJECT

BACKYARD SUITE

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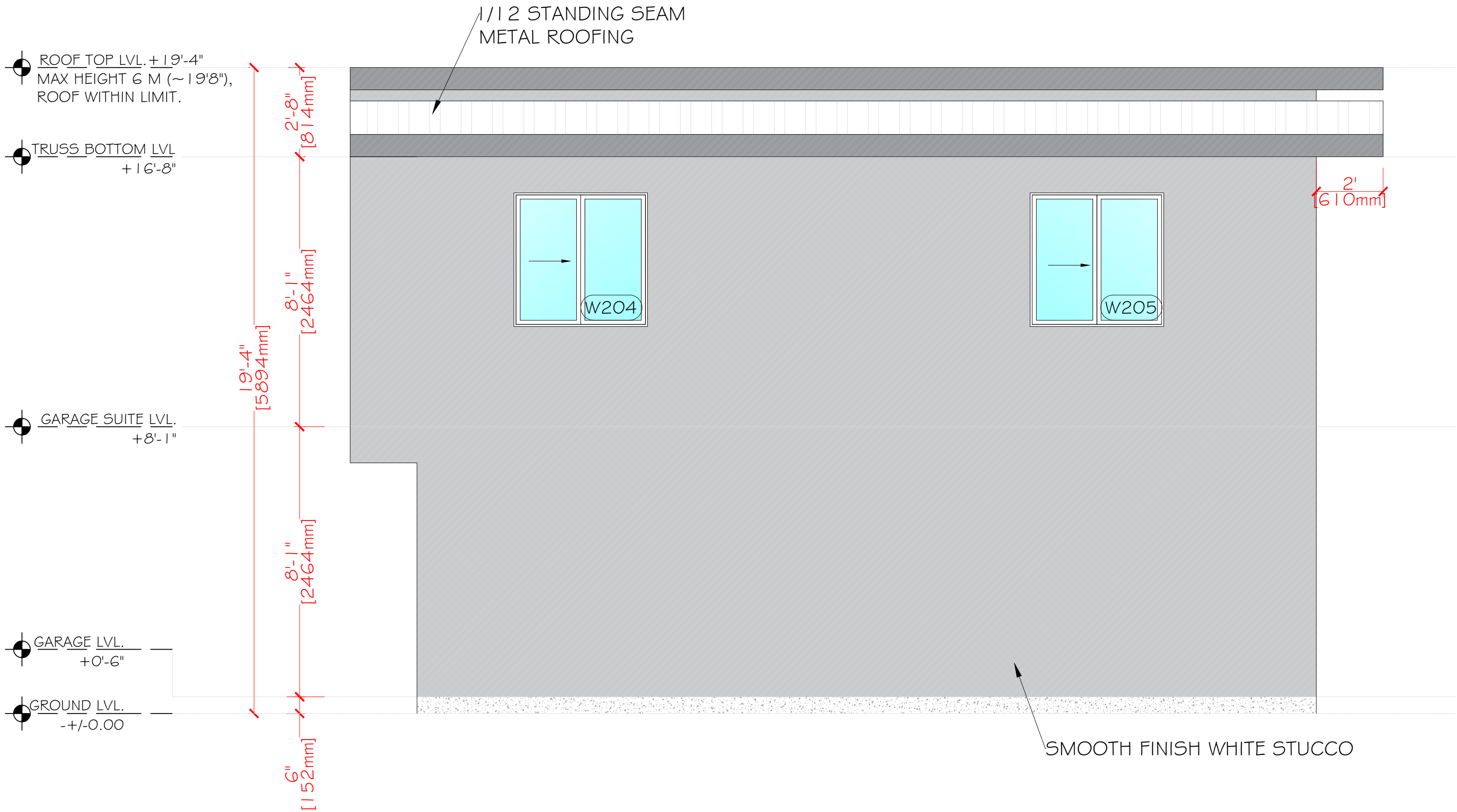
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LOCATION: CALGARY, ALBERTA  
DRAWN BY: KT  
LEGAL PLAN/ BLK/ LOT :

DRAWING NO: 06  
DRAWING TITTLE: WEST ELEVATION  
SHEET: A.07  
SCALE: 3/8"= 1'0"  
REV. 0



SPATIAL SEPARATION CALCULATION

| ITEM                        | VALUE/AREA (SQ M) |
|-----------------------------|-------------------|
| TOTAL ELEVATION AREA        | 43.38             |
| TOTAL GLAZING AREA          | 2.97              |
| GLAZING PERCENTAGE          | 6.8%              |
| DISTANCE FROM SETBACK       | 1.2 M             |
| MAXIMUM ALLOWED GLAZING (%) | 7%                |



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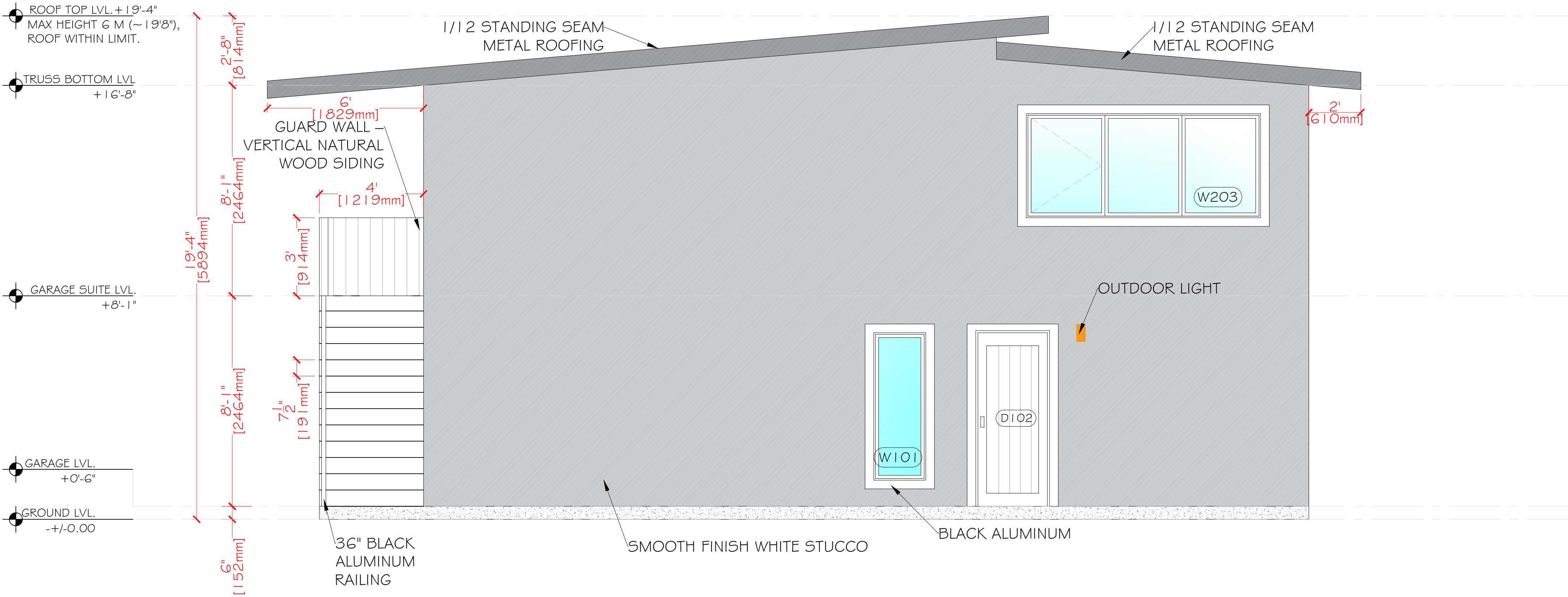
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LOCATION: CALGARY, ALBERTA  
DRAWN BY: KT  
LEGAL PLAN/ BLK/ LOT :

DRAWING NO: 07  
DRAWING TITLE: NORTH ELEVATION  
SHEET: A.08  
SCALE: 3/8"= 1'0"  
REV. 0



SPATIAL SEPARATION CALCULATION

| ITEM                        | VALUE/AREA (SQ M) |
|-----------------------------|-------------------|
| TOTAL ELEVATION AREA        | 59.83             |
| TOTAL GLAZING AREA          | 4.37              |
| GLAZING PERCENTAGE          | 7.3%              |
| DISTANCE FROM SETBACK       | 3.9 M             |
| MAXIMUM ALLOWED GLAZING (%) | 25.2%             |



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LOCATION: CALGARY, ALBERTA  
DRAWN BY: KT  
LEGAL PLAN/ BLK/ LOT :

DRAWING NO: 08  
DRAWING TITLE: EAST ELEVATION  
SHEET: A.09  
SCALE: 3/8"= 1'0"  
REV. 0

