

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

LEGAL DESCRIPTION:

LOT: 127
BLOCK: 13
PLAN: 741 0992

MUNICIPAL ADDRESS:

648 QUEEN CHARLOTTE DRIVE S.E.
CALGARY, ALBERTA
CLIENT: [REDACTED]

DATE OF SURVEY: AUGUST 26, 2022

LEGEND:

Found Iron Post shown thus ● Found Concrete Nail shown thus ▲
Found Iron Bar shown thus ◆ Found Spike shown thus ▲
Delta shown thus Δ Fences shown thus X-X
Drill Hole shown thus ○ Break in line shown thus - - -
Eaves are dimensioned to the fascia line and shown thus: ————
Subject property is outlined thus: ————

All dimensions are in metres and decimals thereof.
Unless otherwise specified, the dimensions shown relate to distances from property boundaries to extent of the foundation walls only at the time of survey.
Fences are within 0.20 metres of property line unless otherwise noted.

PURPOSE:

This Report and attached plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents, for the purpose(s) of (real estate transaction). Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this Report. The attached plan should not be used to establish boundaries (e.g., for fencing) because of the risk of misinterpretation or measurement error by the user. The information shown on this Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements because subsequent development changes on the property will not be reflected on the Report.

NOTE:

Title information is based on title search dated AUGUST 10, 2022;
C. of T. 951 221 132 and is subject to:

121 287 329 - MORTGAGE
151 240 641 - MORTGAGE

CERTIFICATION:

I hereby certify that this Report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association's Manual of Standard Practice and supplements thereto. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- the plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, and registered easements and rights-of-way affecting the extent of the title to the Property;
- the improvements are entirely within the boundaries of the Property
EXCEPT FENCE INTO ROAD AND LANE
- no visible encroachments exist on the Property from any improvements situated on an adjoining property
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of the Property

Dated at Calgary, Alberta
this 31 day of AUGUST 2022

Stephen Hao
Stephen Hao, A.L.S.
(Copyright reserved)

This Document is not valid unless it bears the original signature or digital signature of an Alberta Land Surveyor and a New Maple Geomatics Inc. permit stamp.

SCALE = 1:200

0 1 2 3 4 5 10m

© COPYRIGHT NEW MAPLE GEOMATICS INC. 2022.



NEW MAPLE GEOMATICS INC.

TEL: (587) 232-9708
info@newmaplegeomatics.com

FIELD: D.E.
DRAWN BY: N.R. FILE NO: 2022-0759

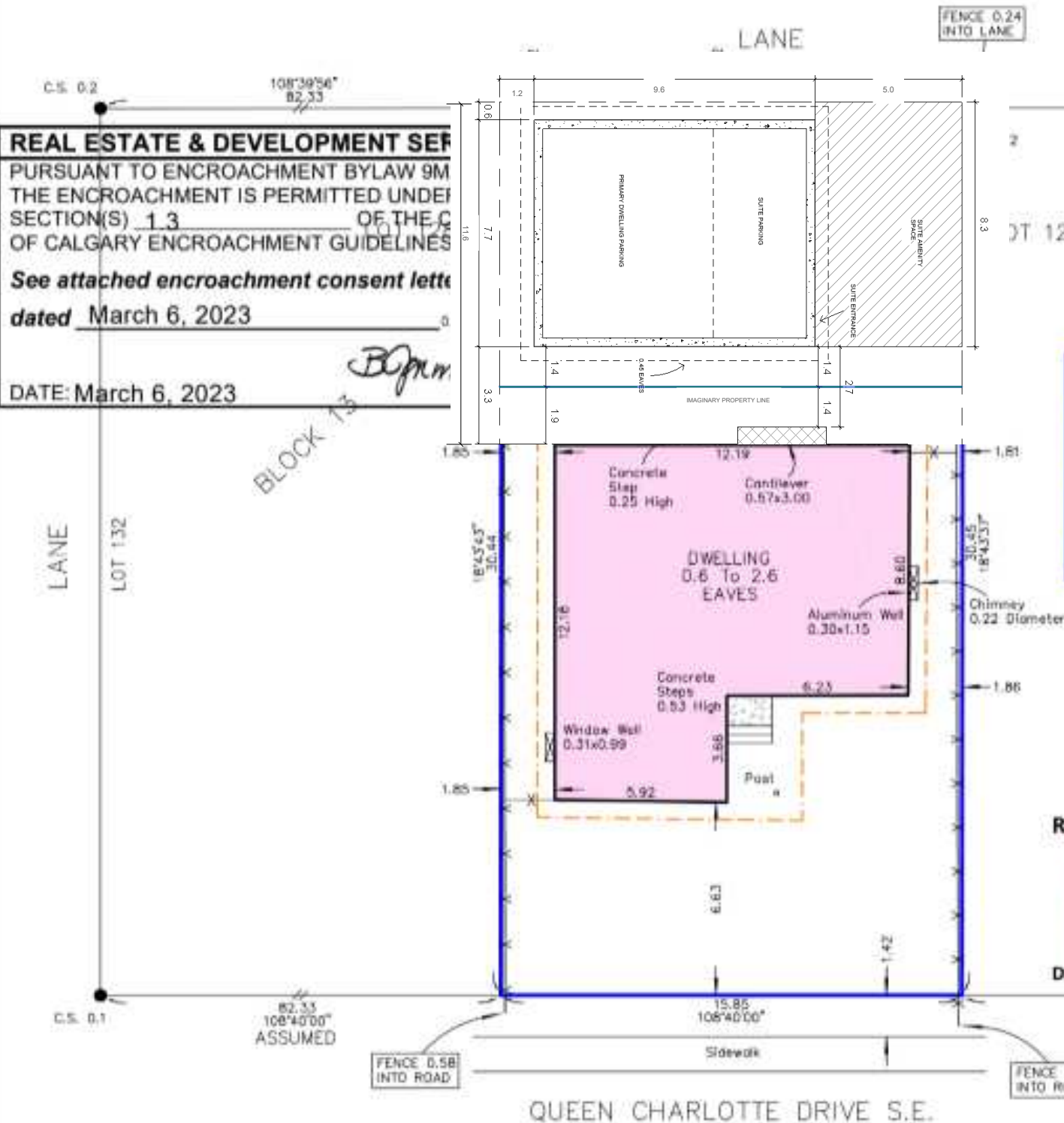
REAL ESTATE & DEVELOPMENT SERVICES

PURSUANT TO ENCROACHMENT BYLAW 9M THE ENCROACHMENT IS PERMITTED UNDER SECTION(S) 1.3 OF THE CITY OF CALGARY ENCROACHMENT GUIDELINES

See attached encroachment consent letter dated March 6, 2023

DATE: March 6, 2023

LANE
LOT 132



The City of Calgary Planning and Development
CERTIFICATE OF COMPLIANCE
Provided that all of the information shown on this survey plan is accurate the location of the building as shown complies with the City of Calgary Encroachment Bylaw 9M. The location of the building as shown on this survey plan is subject to the requirements of the Land Use Bylaw 1P2007 and does not relate to the requirements of any federal, provincial or municipal legislation. No to the landowner's agreement of other document affecting the building or land.
Date: Sep 01, 2022

REAL ESTATE & DEVELOPMENT SERVICES

The City of Calgary Real Estate & Development Services

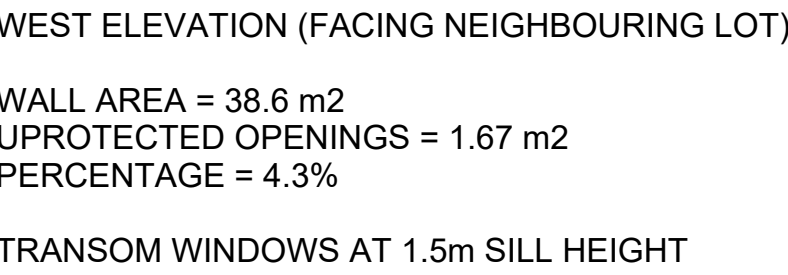
Encroachment Advisory

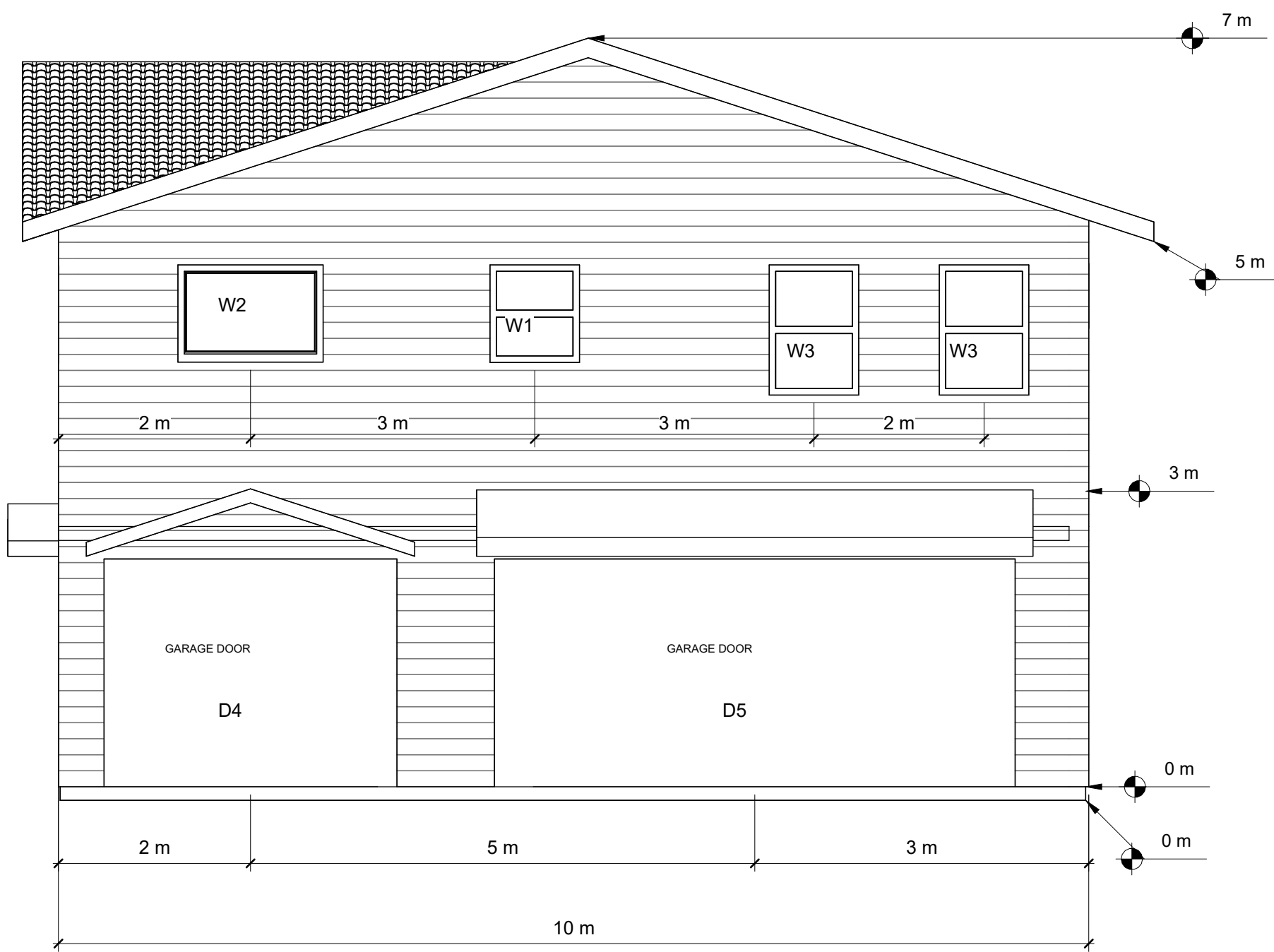
An encroachment fee has been assessed on this Real Property Report. Encroachment fees of this type may require authorization to be permitted to remain. Please contact Encroachments@calgary.ca

DATE: March 6, 2023

Bonnie Jarmain
Bonnie Jarmain

Abbreviations
A/C Air Conditioning Unit
W/W Window Well
c.s. Counter Sunk
Rel. Relining
Fd. Found
Mb. Mark
I. Iron Post
D.H. Drill Hole
R. Radius
A. Arc
I.B. Iron Bar
M. Magnetic
R/W Right-of-Way





NORTH ELEVATION (FACING LANE/ALLEY)

WALL AREA = 56.6 m2
UPROTECTED OPENINGS = 21.5 m2
PERCENTAGE = 37.99%

1 A2.2 NORTH ELEVATION
1 : 50



SOUTH ELEVATION (FACING FACING EXISTING HOUSE)

WALL AREA = 56.6 m2
UPROTECTED OPENINGS = 1.71 m2
PERCENTAGE = 3.02%

2 A2.4 SOUTH ELEVATION
1 : 50

Rev	Description	Date

CODE	SUITABILITY DESCRIPTION
STATUS	PURPOSE OF ISSUE

**AUTODESK**
www.autodesk.com/revit

PROJECT
648 Queen Charlotte
Drive SE, Calgary AB

TITLE
NORTH/SOUTH
ELEVATIONS

CLIENT

DRAWN BY Author	CHECKED BY Checker	DATE 08-03-2026
SCALE (@ A1) 1 : 50	PROJECT NUMBER Project Number	REV
DRAWING NUMBER A3.1		



CLIENT			
DRAWN BY Author		CHECKED BY Checker	DATE 08-03-2026
SCALE (@ A1) 1 : 50		PROJECT NUMBER Project Number	
DRAWING NUMBER A3.2			REV