



LIST OF DRAWINGS	
A-0.0	Cover Page
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A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-4.0	Garage Floor Plans
A-4.1	Garage Front & Rear Elevation
A-4.2	Garage Left & Right Elevation

FLOOR AREA

BASEMENT	= 1820.00 SQ. FT.
MAIN	= 1319.67 SQ. FT.
UPPER	= 1397.58 SQ. FT.
LOFT	= 955.88 SQ. FT.
TOTAL	= 3673.13 SQ. FT.

PROJECT NOTES:

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AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	14/05/26	DP PLANS	D.L.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-08-04 11:43:27 AM

PROJECT NAME:
4422 17 Street SW (South)
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 182 - 26
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SCALE: AS SHOWN	SHEET: A-0.0
--------------------	-----------------

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING
- 9

TORCH ON ROOF

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-08-04 11:43:31 AM

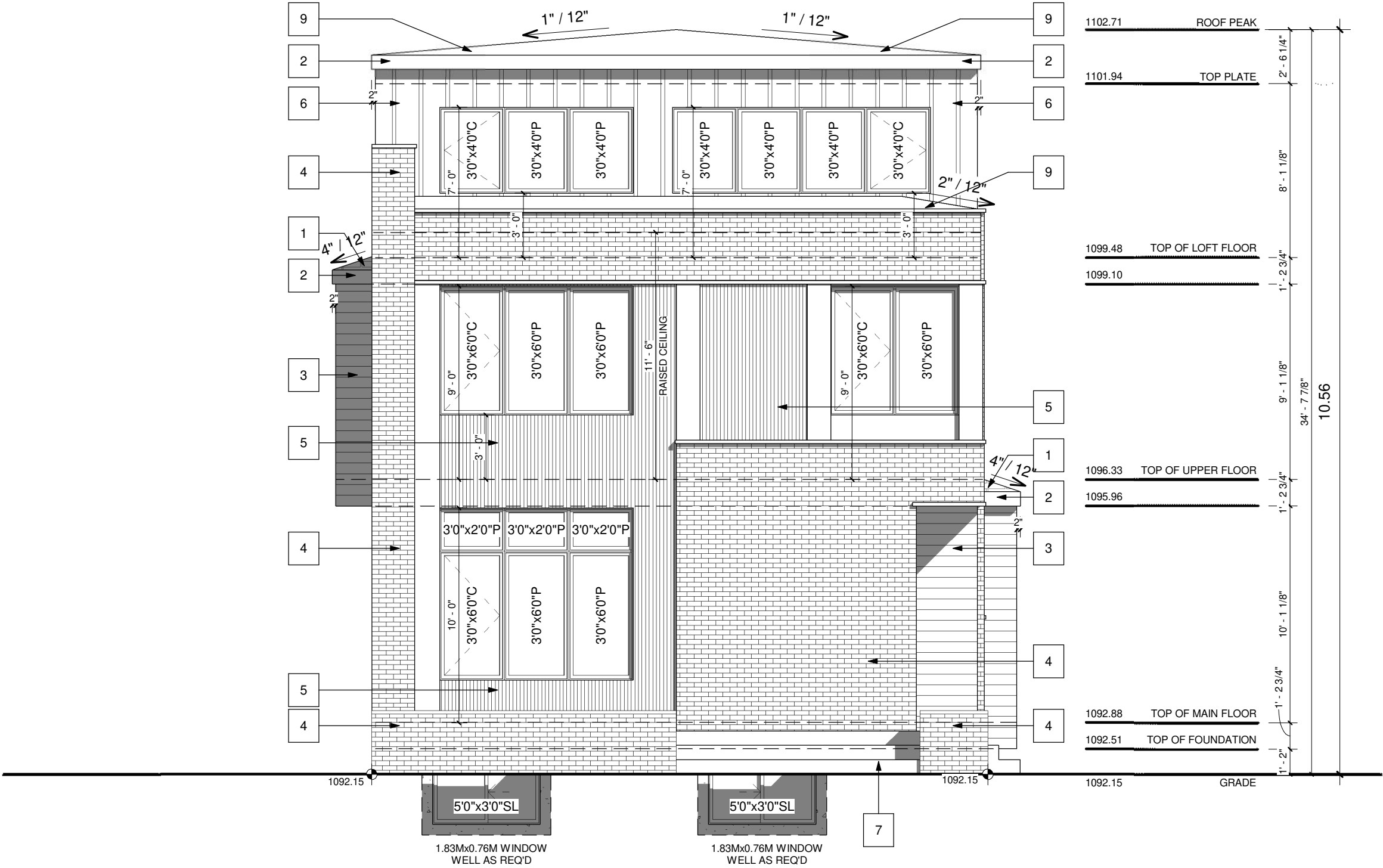
PROJECT NAME:
4422 17 Street SW (South)
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 182 - 26

SCALE: AS SHOWN
SHEET: A-2.0

FRONT ELEVATION

SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING
- 9

TORCH ON ROOF

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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-08-04 11:43:32 AM

PROJECT NAME:
4422 17 Street SW (South)
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 182 - 26

SCALE: AS SHOWN
SHEET: A-2.1

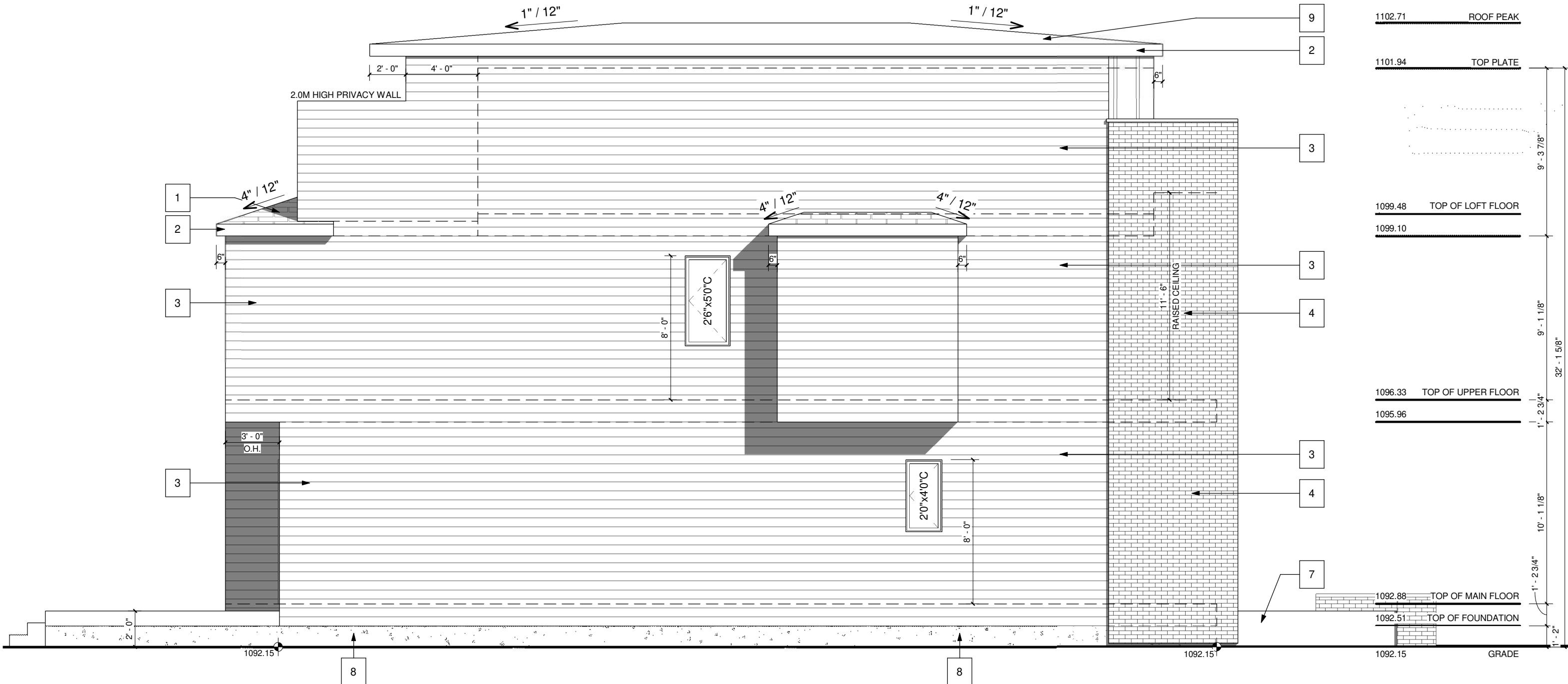
REAR ELEVATION
SCALE: 3/16" = 1'-0"



1	ASPHALT SHINGLES	4	BRICK CLADDING - WHITE	7	CAST-IN PLACE CONCRETE
2	8" ALUMINUM FASCIA / EAVES	5	BOARD & BATTEN - BLACK/DARK GREY	8	CONCRETE PARGING
3	HARDIE FINISH - BLACK	6	VERTICAL HARDIE FINISH - BLACK	9	TORCH ON ROOF

WALL AREA = 1582.32 SQ. FT.
WINDOW AREA = 21.64 SQ. FT.
 TOTAL: 21.64/1582.32 = 1.37%

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	14/05/26	DP PLANS	D.I
02.	--	--	--
03.	--	--	--
04.	--	--	--
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NEW HOME

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4422 17 Street SW (South)
CALGARY, ALBERTA

JT

182 - 26

AS SHOWN

A-2.2

1	ASPHALT SHINGLES	4	BRICK CLADDING - WHITE	7	CAST-IN PLACE CONCRETE
2	8" ALUMINUM FASCIA / EAVES	5	BOARD & BATTEN - BLACK/DARK GREY	8	CONCRETE PARGING
3	HARDIE FINISH - BLACK	6	VERTICAL HARDIE FINISH - BLACK	9	TORCH ON ROOF

WALL AREA = 1623.99 SQ. FT.
WINDOW AREA = 371.25 SQ. FT.
 TOTAL: $371.25/1623.99 = 22.86\%$

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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(SOFFIT ARE PRE-FIN ALUM)



PROJECT NOTES:

RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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03.	--	--	--
04.	--	--	--
05.	--	--	--

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PROJECT:

NEW HOME

STATUS:

—

SIGNATURES:

:

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PROJECT NAME:

4422 17 Street SW (South)
CALGARY, ALBERTA

DESIGNER:
JT

JOB #:
182 - 26

SCALE:
AS SHOWN

SHEET:
A-2.3

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
- 6

VERTICAL HARDIE FINISH - BLACK
- 7

CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING
- 9

TORCH ON ROOF

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03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

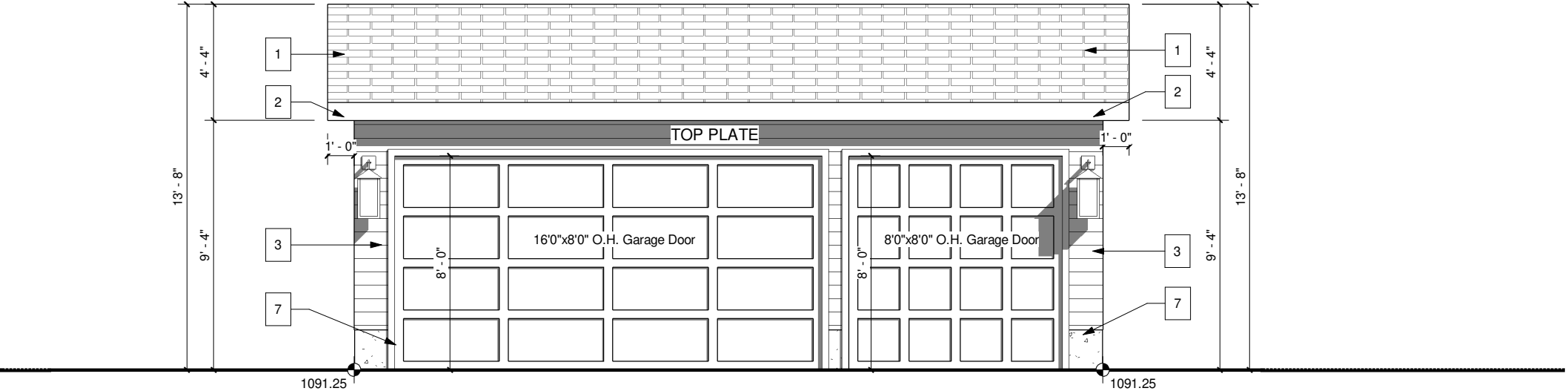
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PROJECT NAME:
4422 17 Street SW (South)
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 182 - 26

SCALE: AS SHOWN
SHEET: A-4.1

GARAGE FRONT ELEVATION (LANE)
SCALE: 3/16" = 1'-0"



GARAGE REAR ELEVATION
SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA / EAVES
- 3

HARDIE FINISH - BLACK
- 4

BRICK CLADDING - WHITE
- 5

BOARD & BATTEN - BLACK/DARK GREY
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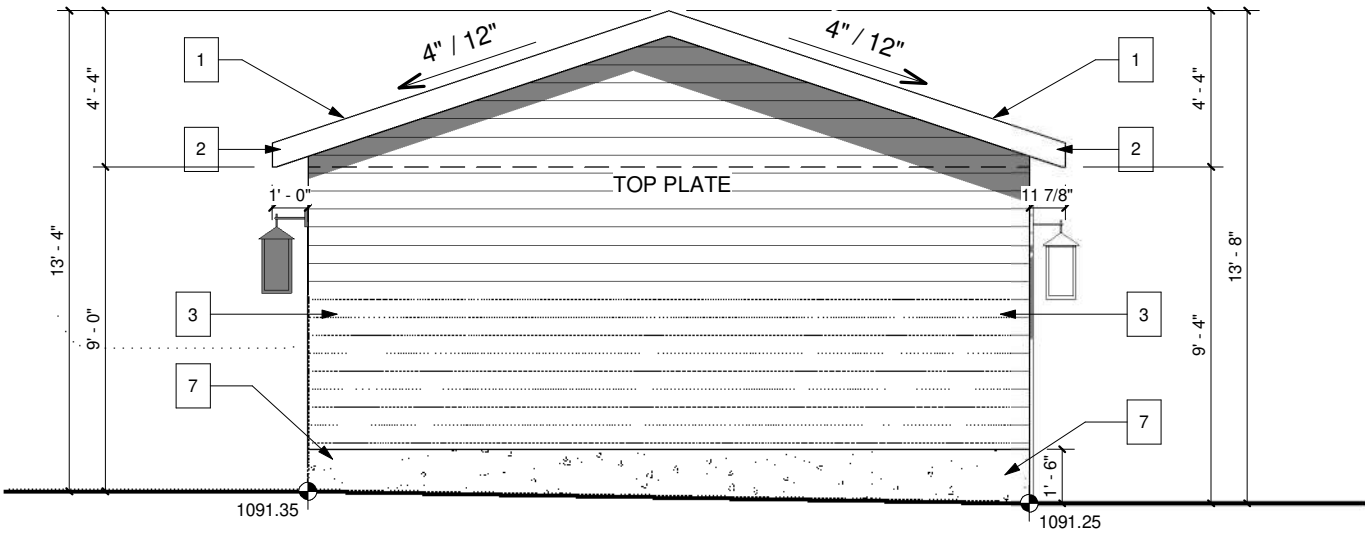
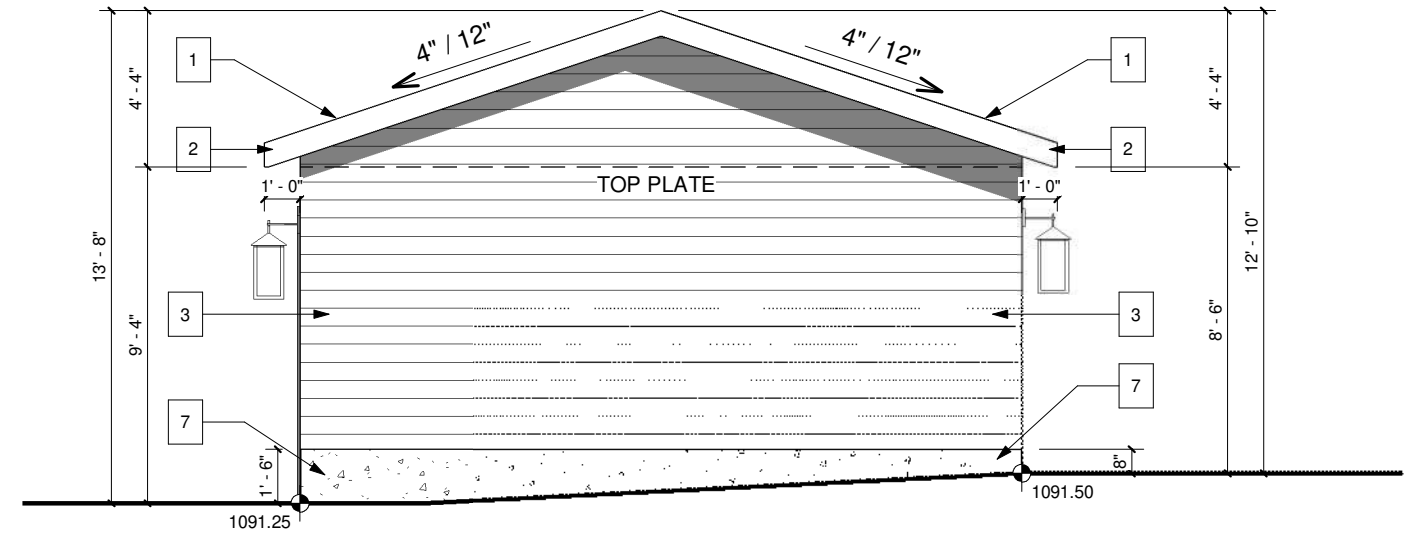
CAST-IN PLACE CONCRETE
- 8

CONCRETE PARGING
- 9

TORCH ON ROOF

VENTED SOFFIT NOTES:

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GARAGE RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

GARAGE LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-08-04 11:43:35 AM



PROJECT NAME:

4422 17 Street SW (South)
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

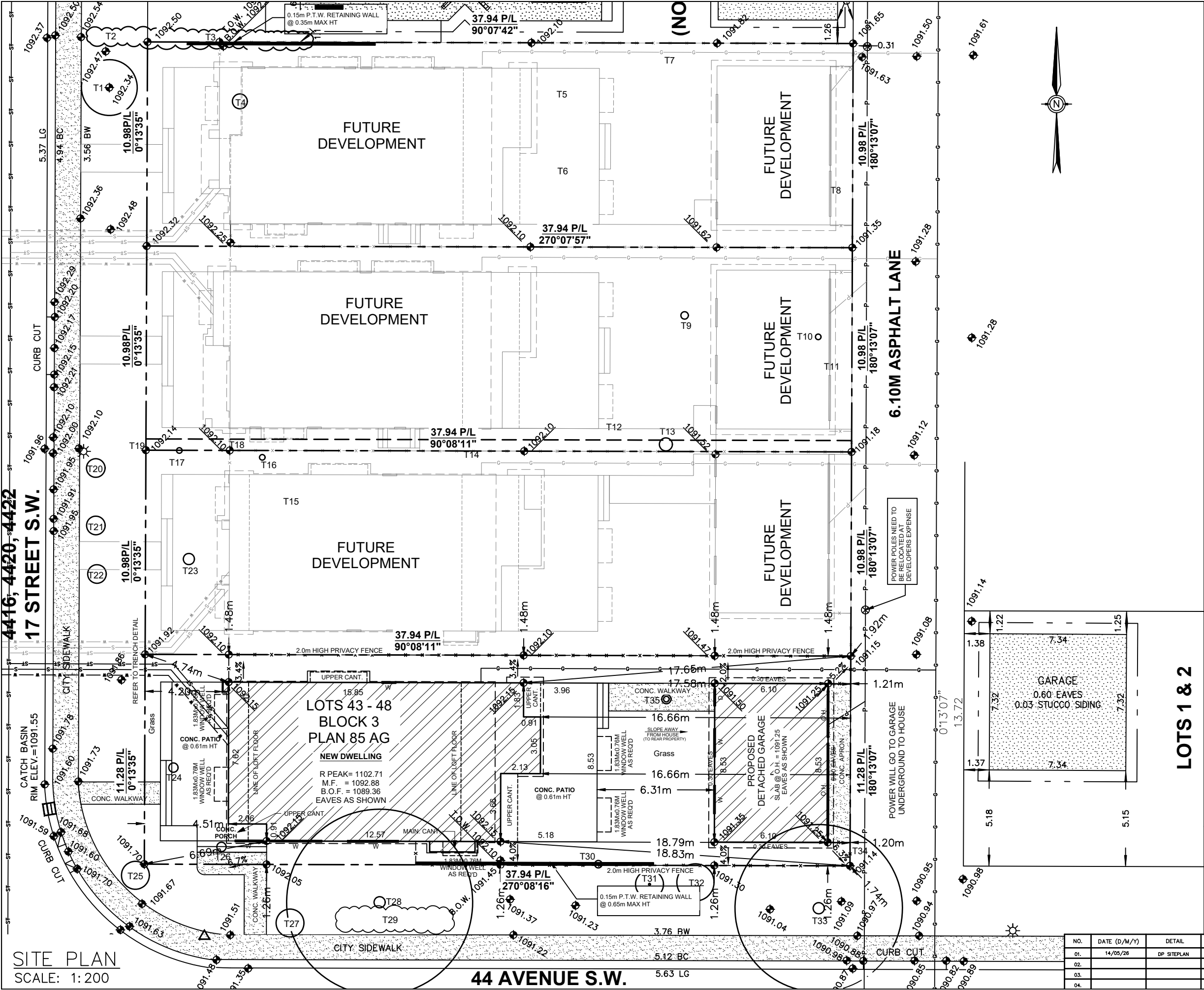
182 - 26

SCALE:

AS SHOWN

SHEET:

A-4.2



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

⬢	denotes Calculation points
⬢	denotes Water Valve
⬢	denotes Gas Valve
⬢	denotes Manhole
⬢	denotes Tree
⬢	denotes Power Pole
⬢	denotes Sign
⬢	denotes Light Standard
-X-X-	denotes Fence
-S-	denotes Sanitary Line
-ST-	denotes Storm Line
-W-	denotes Water Line
-G-	denotes Gas Line
-E-	denotes Electrical Line
-A.G.T-	denotes A.G.T Line
-U-	denotes Utility Right of Way Line
-P-	denotes Property Line
⬢	denotes Door
⬢	denotes Main Floor Windows
⬢	denotes Second Floor Windows
⬢	denotes Basement Floor Windows
⬢	denotes Shed Hatch
⬢	denotes Detached Garage Hatch
⬢	denotes Main Building Hatch
⬢	denotes Concrete and Asphalt Hatch
⬢	denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BC' denotes Back of Curb
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer

The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

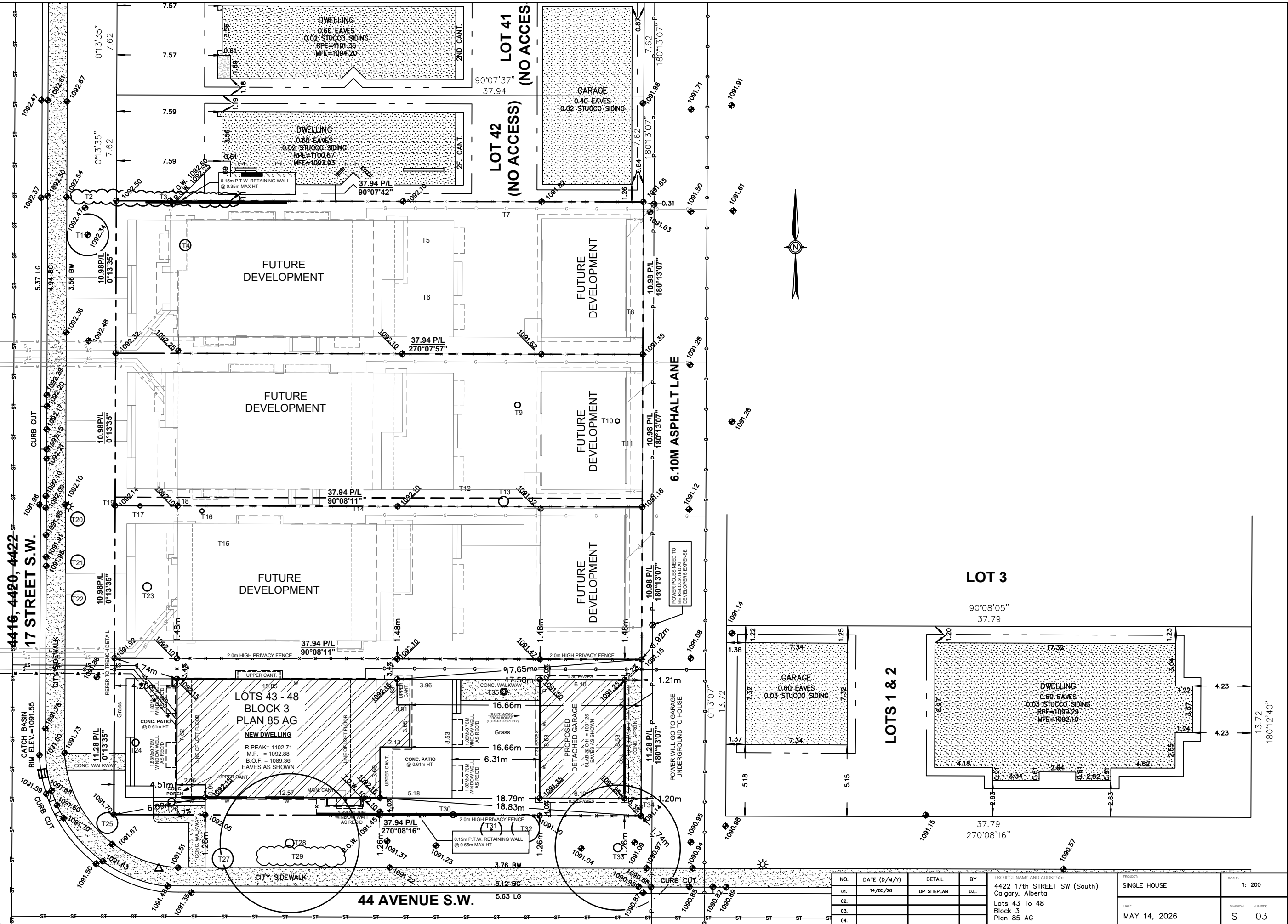
LEGAL DESCRIPTION:
Lots 43-48
Block 3
Plan 85 AG

MUNICIPAL ADDRESS:
4416,4420,4422 - 17th STREET S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 427.657 SQ M
HOUSE: 131.713 SQ M
COVERED PORCH: 1.881 SQ M
CANT.: 1.363 SQ M
WING WALL: 0.155 SQ M
GARAGE: 52.026 SQ M
TOTAL: 187.138/427.657
= 43.76%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	14/05/26	DP SITEPLAN	D.L.	4422 17th STREET SW (South) Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lots 43 To 48 Block 3 Plan 85 AG	DATE: MAY 14, 2026	DIVISION NUMBER: S 01
03.						
04.						

BLOCK PLAN
SCALE: 1:250



NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	14/05/26	DP SITEPLAN	D.L.	4422 17th STREET SW (South) Calgary, Alberta	SINGLE HOUSE	1: 200
02.				Lots 43 To 48 Block 3	DATE:	DIVISION NUMBER
03.				Plan 85 AG	MAY 14, 2026	S 03
04.						