

PROPOSED GARAGE

DRAWING LIST

PAGE #	SHEET	NAME
01	A0	COVER PAGE
02	A0	NOTES
03	A1	SITE PLAN
04	A1	EXISTING MAIN FLOOR PLAN
05	A1	PROPOSED MAIN FLOOR PLAN
06	A2	EXISTIN /PROPOSED FRONT ELEVATION
07	A2	EXISTING / PROPOSED RIGHT SIDE ELEVATION
08	A2	EXISTING /PROPOSED REAR ELEVATION

THIS DOCUMENT IS THE PROPERTY OF PERMIT MASTERS. THE UNAUTHORIZED REPRODUCTION OR DISTRIBUTION WILL BE PROSECUTED.

Legal Address		
PLAN 781 0545; BLOCK 5; LOT 24		
Municipal Address		
131 HUNTWELL ROAD N.E.		
Project		
C61419-G		
Page Number	Sheet Name	
01 OF 08	A0	JULY 2026
Scale		
AS INDICATED		



GENERAL NOTE:

1.
- ALL CONSTRUCTION SHALL CONFORM TO THE NATIONAL BUILDING CODE, 2023, ALBERTA EDITION (ABC 2023), INCLUDINGALL APPLICABLE REQUIREMENTS OF DIVISION B, PART 9, AND ALL APPLICABLE AMENDMENTS.
2.
- ALL DRAWINGS ARE TO SCALE BUT NOT BE SCALED. DIMENSIONS SHOWN SHALL GOVERN.
3.
- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO INITIATION OF CONSTRUCTION.
4.
- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE DRAWINGS AND APPROVED PLANS. ANY CHANGES SHALL BE COMUNICATED TO PERMIT MASTERS AND/OR THE LOCAL AUTHORITY HAVING JURISDICTION PRIOR TO IMPLEMENTATION.
5.
- DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL DRAWINGS. REPORT ANY DISCREPANCIES TO THE DESIGNER OR ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
6.
- A BUILDING PERMIT IS ISSUED SUBJECT TO FIELD INSPECTION APPROVAL.
7.
- THE BUILDING INSPECTOR AND THE AUTHORITY HAVING JURISDICTION SHALL HAVE FINAL AUTHORITY ON MATTERS OF CODE INTERPRETATION AND CONSTRUCTION COMPLIANCE.
8.
- SEPARATE PERMITS ARE REQUIRED PRIOR TO ANY PLUMBING, GAS, MECHANICAL AND/OR ELECTRICAL WORK.
9.
- THE HOMEOWNER OR THEIR CONTRACTORS IS RESPONSIBLE TO BOOK ALL INSPECTIONS AS REQUIRED

THIS DOCUMENT IS THE PROPERTY OF PERMIT MASTERS. THE UNAUTHORIZED REPRODUCTION OR DISTRIBUTION WILL BE PROSECUTED.

Legal Address
PLAN 781 0545; BLOCK 5; LOT 24

Municipal Address
131 HUNTWELL ROAD N.E.

Project
C61419-G

Page Number	Sheet Name	
02 OF 08	A0	JULY 2026

Scale
AS INDICATED





LEGEND	
	PROPERTY LINE
	FENCE LINE
	CURB LINE (ALL CURBS 0.15m WIDE U.N.O.)
	LINE OF EXISTING BUILDING
	PROJECTION LINE
	TO BE DEMOLISHED
	NEW CONSTRUCTION

THIS DOCUMENT IS THE PROPERTY OF PERMIT MASTERS. THE UNAUTHORIZED REPRODUCTION OR DISTRIBUTION WILL BE PROSECUTED.

Legal Address		
PLAN 781 0545; BLOCK 5; LOT 24		
Municipal Address		
131 HUNTWELL ROAD N.E.		
Project		
C61419-G		
Page Number	Sheet Name	
03 OF 08	A1	JULY 2026
Scale		
AS INDICATED		

HUNTWELL ROAD N.E.

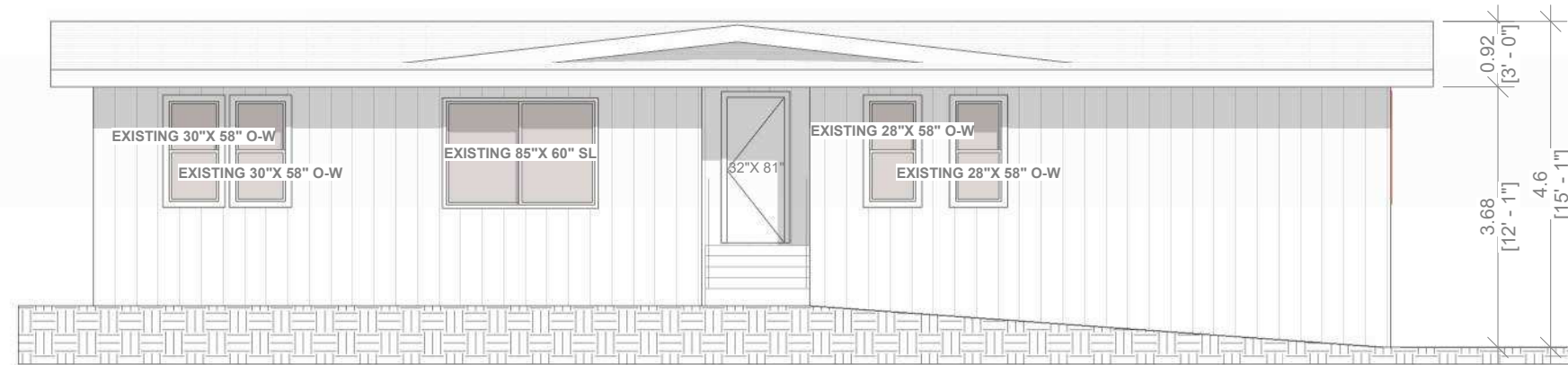
1

A1

SITE PLAN

1 : 160



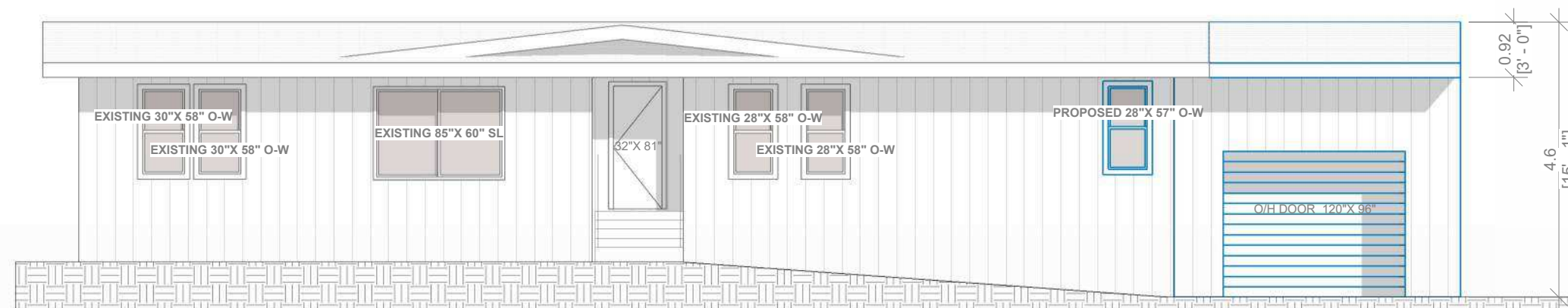


1

EXISTING FRONT ELEVATION

A2

1/8" = 1'-0"



2

PROPOSED FRONT ELEVATION

A2

1/8" = 1'-0"

THIS DOCUMENT IS THE PROPERTY OF
PERMIT MASTERS. THE UNAUTHORIZED
REPRODUCTION OR DISTRIBUTION WILL BE
PROSECUTED.

Legal Address

PLAN 781 0545; BLOCK 5; LOT 24

Municipal Address

131 HUNTWELL ROAD N.E.

Project

C61419-G

Page Number

06 OF 08

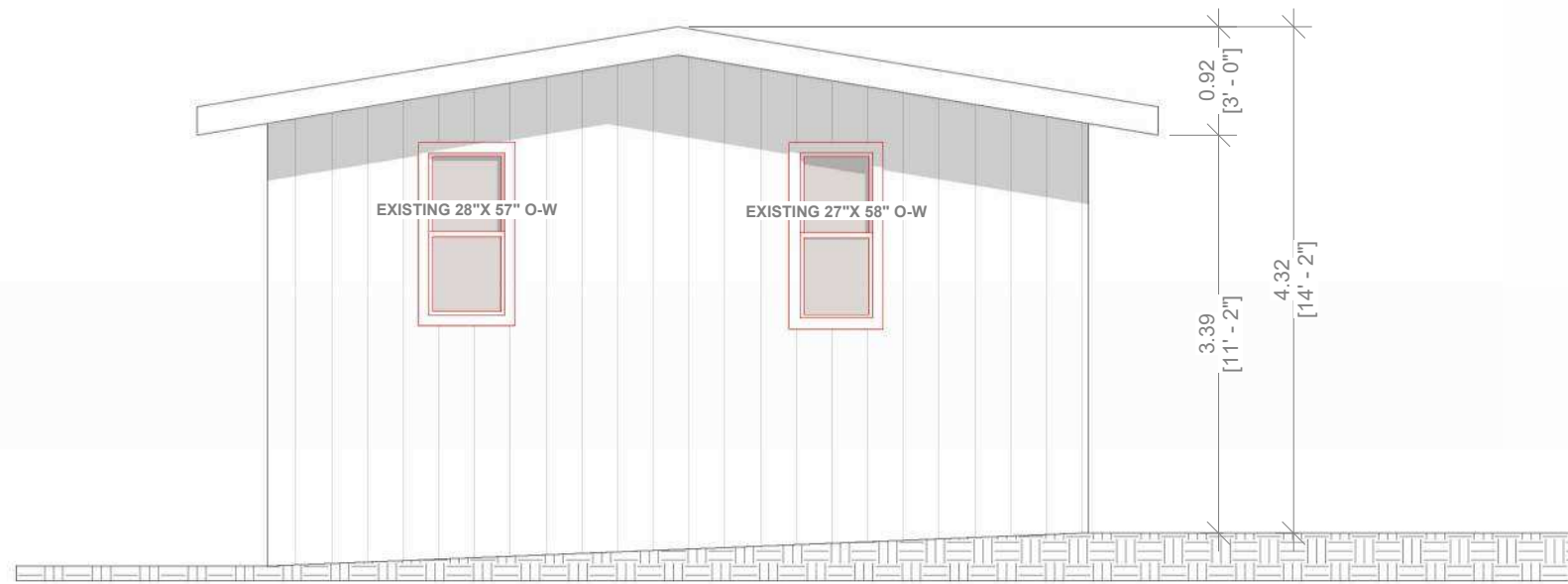
Sheet Name

A2

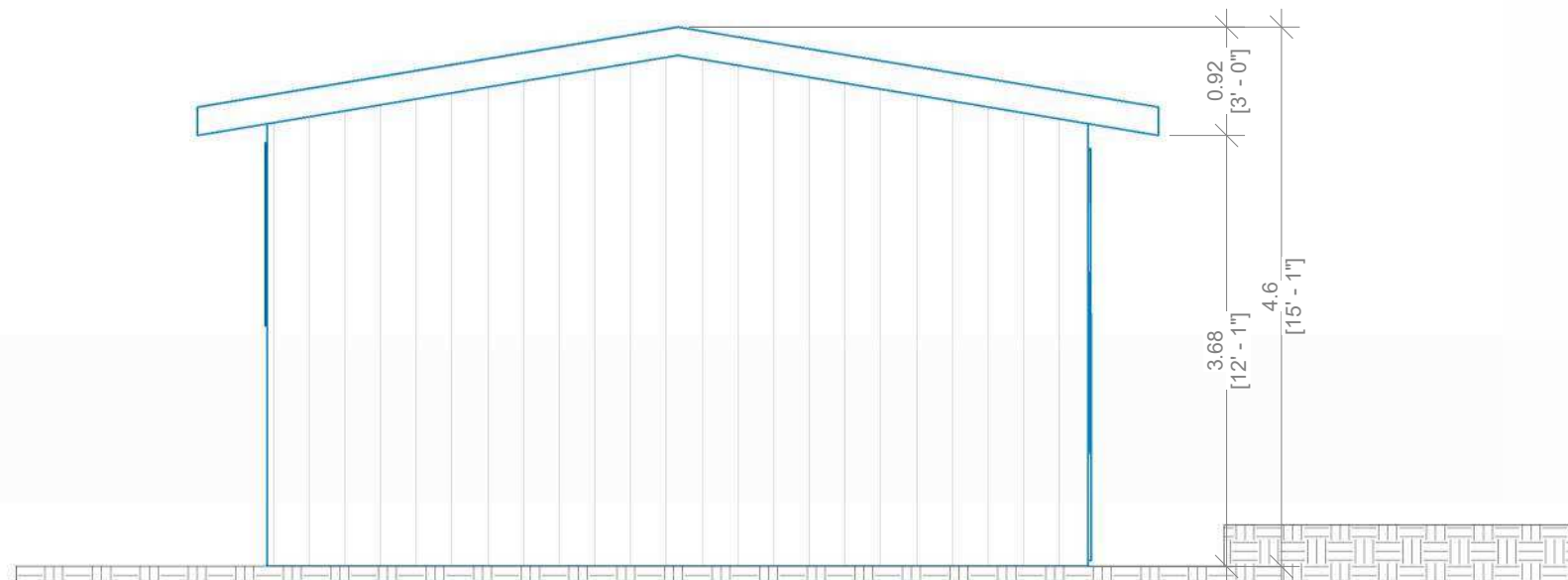
JULY 2026

Scale

AS INDICATED



3
A2
EXISTING RIGHT SIDE ELEVATION
3/16" = 1'-0"

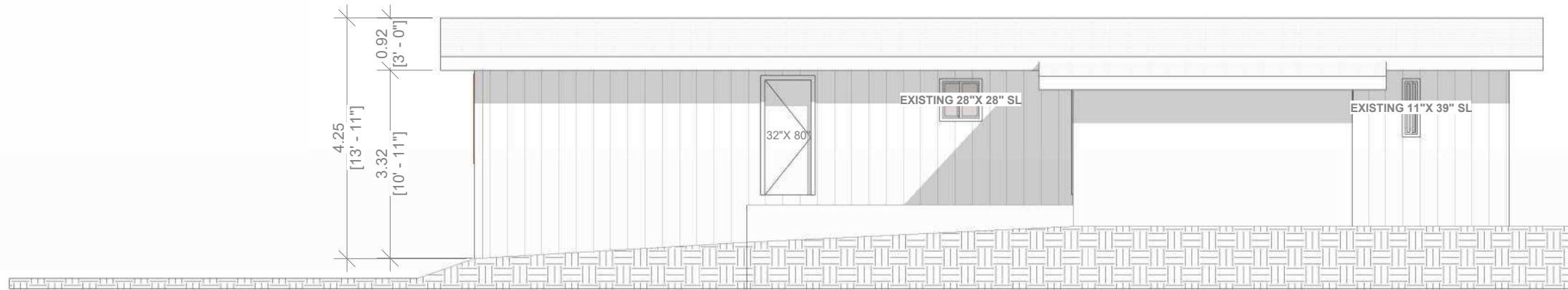


4
A2
PROPOSED RIGHT SIDE ELEVATION
3/16" = 1'-0"

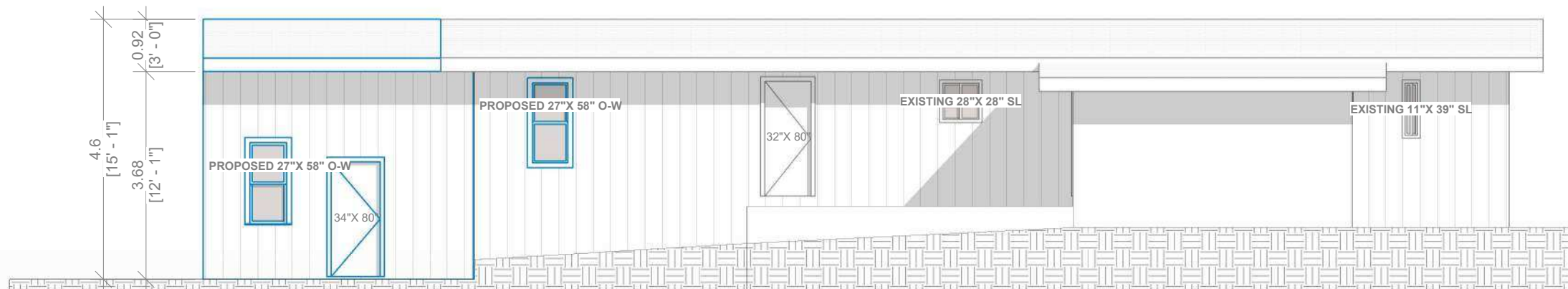
THIS DOCUMENT IS THE PROPERTY OF
PERMIT MASTERS. THE UNAUTHORIZED
REPRODUCTION OR DISTRIBUTION WILL BE
PROSECUTED.

Legal Address		
PLAN 781 0545; BLOCK 5; LOT 24		
Municipal Address		
131 HUNTWELL ROAD N.E.		
Project		
C61419-G		
Page Number	Sheet Name	
07 OF 08	A2	JULY 2026
Scale		
AS INDICATED		





5
A2
EXISTING REAR ELEVATION
1/8" = 1'-0"



6
A2
PROPOSED REAR ELEVATION
1/8" = 1'-0"

THIS DOCUMENT IS THE PROPERTY OF
PERMIT MASTERS. THE UNAUTHORIZED
REPRODUCTION OR DISTRIBUTION WILL BE
PROSECUTED.

Legal Address		
PLAN 781 0545; BLOCK 5; LOT 24		
Municipal Address		
131 HUNTWELL ROAD N.E.		
Project		
C61419-G		
Page Number	Sheet Name	
08 OF 08	A2	JULY 2026
Scale		
AS INDICATED		