

SUNROOM ADDITION

2 4 0 4 1 4 6 A V E S E

PROJECT SPECIFIC NOTES AND CONDITIONS

ADDITIONS:

General Conditions -Other -Division B, 9.10.19.3. Location of Smoke Alarms -Smoke Alarms are required to be located in each sleeping room, and in a location between the sleeping rooms and the remainder of the storey, and if the sleeping rooms are served by a hallway, the smoke alarm shall be located in the hallway.

General Conditions -Other -Division B, 9.10.19.5. Interconnection of Smoke Alarms -Where more than one smoke alarm is required in a dwelling unit, the smoke alarms shall be wired so that the activation of one alarm will cause all alarms within the dwelling unit to sound. 3) A smoke alarm required to be installed in an existing dwelling unit as a result of developing space for sleeping use need not be interconnected with existing smoke alarms in the dwelling unit, but if more than one new smoke alarm is required, all new smoke alarms shall be interconnected.

General Conditions -Other -Division B, 9.10.19.4. Power Supply of Smoke Alarms -Smoke alarms shall be installed with permanent connections to an electrical circuit, in case the regular power supply to the smoke alarm is interrupted, be provided with a backup battery.

General Conditions -Other -Division B 9.32.3.9 -Location of carbon monoxide alarm -Provide a mechanically fixed (at a height recommended by the manufacturer) carbon monoxide alarm within 5 m (16'-5") of bedroom doors measured along corridors.

General Conditions -Other -Division B 9.9.10.1. -Bedroom windows shall provide a minimum unobstructed opening of 0.35m² (3.77ft²) with no dimension less than 380mm (15"). Where a window required for egress in a bedroom opens into a window well, a clearance of not less than 760 mm shall be provided in front of the window.

General Conditions -Other -For New Window and doors, labeling on Manufactured and pre-assembled

indicating performance must be affixed to all installed windows, doors, and skylights, and visible at the time of an inspection.

Fire Protection -Division B 9.10.15.5 Soffit -Eaves projecting within 1.2m (4'-0") from the property line shall have non-vented soffits, soffit other than aluminum or galvanized steel shall be installed on a minimum 1/2" wood or gypsum sheath backing. Roof soffits are not permitted within 0.45m (1'-6") of the property line

Fire Protection -Division B 9.10.13.15 Door Between Garages and Dwelling Units -A door between an attached or built-in garage and a dwelling unit shall be tight fitting and weather-stripped to provide an effective barrier against the passage of gas and exhaust fumes and shall be fitted with a self-closing device.

Fire Protection -Division B 9.10.9.16 Separation of Storage Garages -Provide an effective barrier to gas and exhaust fumes within wall assembly between garage and dwelling

General Conditions -Other -Division B 9.18.3.1. Ventilation of Unheated Crawl Spaces -1) Unheated crawl spaces shall be ventilated by natural or mechanical means.

General Conditions -Other -Division B 9.18.6.1. Ground Cover in Unheated Crawl Spaces -1) Where a crawl space is unheated, a ground cover shall be provided consisting of not less than a) 50 mm of asphalt, b) 100 mm of 15 MPa Portland cement concrete, c) Type S roll roofing, or d) 0.10 mm polyethylene. 2) Joints in sheet-type ground cover required in Sentence (1) shall be lapped not less than 100 mm and weighted down.

Building Envelope -Division B 9.36.2.5 Continuity of Insulation -Insulation to be maintained at junctions/joints between assemblies.

Cladding / Building Envelope -Division B 9.27.3.8 Flashing Installation -Provide flashing over exterior wall openings and at every horizontal junction between finishes and substrates, flashing shall extend upwards not less than 50mm (2") behind sheathing paper and have a minimum 25mm (1") end dam at terminations

Cladding / Building Envelope -Division B 9.27.3.8 Flashing Installation -Provide a minimum 25mm (1") end dam at flashing terminations

GENERAL NOTES:

- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS ARE TO FACE OF DRYWALL, CENTRE LINE OF WALL OR FACE OF CONCRETE UNLESS OTHERWISE STATED.
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST ALBERTA BUILDING CODE AND ALL LOCAL BUILDING ORDINANCES.
- BUILDER SHALL BE RESPONSIBLE TO CONFIRM ALL DIMENSIONS AND INFORMATION ON DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- STANDARD EAVE OVERHANG AS PER ELEVATIONS.

SPRAY FOAM: 2 lb –CLOSED CELL POLYURETHANE SPRAY FOAM –CCMC NO. 14025-L OR APPROVED EQUAL).

CONSTRUCTION NOTES:

- HANDRAILS AND RAILINGS SHALL BE PROVIDED ON ALL STAIRS AS PER ABC 9.7.8
- HANDRAILS AND GUARDS SHALL CONFORM TO ABC 9.8.7 & ABC 9.8.8
- FLASHING, INTERIOR DAMPPROOFING & VAPOR JUNCTIONS AS PER ABC 9.20.13
- PROVIDE INTERIOR DAMPPROOFING & VAPOR BARRIER AS PER ABC 9.13.3.3 & ABC 9.13.1.3
- ALL EXTERIOR FLASHING SHALL CONFORM TO ABC 9.3.3.2 & ABC 9.27.3
- ALL EXTERIOR CAULKING SHALL CONFORM TO ABC 9.27.4.1 & ABC 9.27.4.2
- EAVE PROTECTION SHALL CONFORM TO ABC 9.26.5.2
- JOINTS IN SHEATHING SHALL CONFORM TO ABC9.23.16.5
- EXTERIOR WALL SHEATHING MEMBRANE & APPLICATION SHALL CONFORM TO ABC 9.23.17.3
- STUCCO LATH AND FASTENERS SHALL CONFORM TO ABC 9.28.3 & ABC 9.28.4
- ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE1-3/8" THK
- ALL BUTT CONNECTIONS SHALL BE WITH HANGERS
- ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL OR GRAVEL BASE
- ENGINEERED ROOF TRUSSES AND FLOOR SYSTEMS TO BE INSTALLED AS PER DRAWINGS PROVIDED BY MANUF.
- WHERE STEP FOOTING OCCUR THE VERTICAL DIMENSION OF EACH STEP SHALL NOT EXCEED 24" AND THE MIN. HORIZONTAL DIMENSION OF EACH STEP SHALL NOT EXCEED 24".

RENOVATIONS:

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Cladding / Building Envelope -Division B 9.27.3.8 Flashing Installation -Provide a minimum 25mm (1") end dam at flashing terminations

AMENDED DRAWINGS

DP No Date Received
DP2026-04463 2026-08-12
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

NOTES:

THIS DRAWING IS COPYRIGHT PROTECTED.
DRAWING IS ONLY TO BE USED FOR AUTHORIZED PROJECTS.
ALL DIMENSIONS AND INFORMATION ON DRAWINGS MUST BE CHECKED PRIOR TO CONSTRUCTION AND OTHER DETAILS RESPONSIBLE TO CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
DO NOT SCALE DRAWINGS.

NO.	DESCRIPTION	BY	DATE

SCALE AT A4	DATE	DRAWN BY	CHECKED BY

NORTH

DRAWING: GENERAL CLIENT & ADDRESS: 2404 146 AVE SE

DRAWING: SUNROOM ADDITION

DATE: 2026-07-30
SCALE:
SHEET: A-0.0

MUNICIPAL ADDRESS: 2404 146 AVE SE
LEGAL ADDRESS: PLAN - 781 0750, BLOCK - 21, LOT - 57



PARCEL COVERAGE

ZONING = R-CG RESIDENTIAL - GRADE-ORIENTED INFILL
LOT AREA = 514.6 sm
ALLOWABLE PARCEL COVERAGE = 45% = 231.57

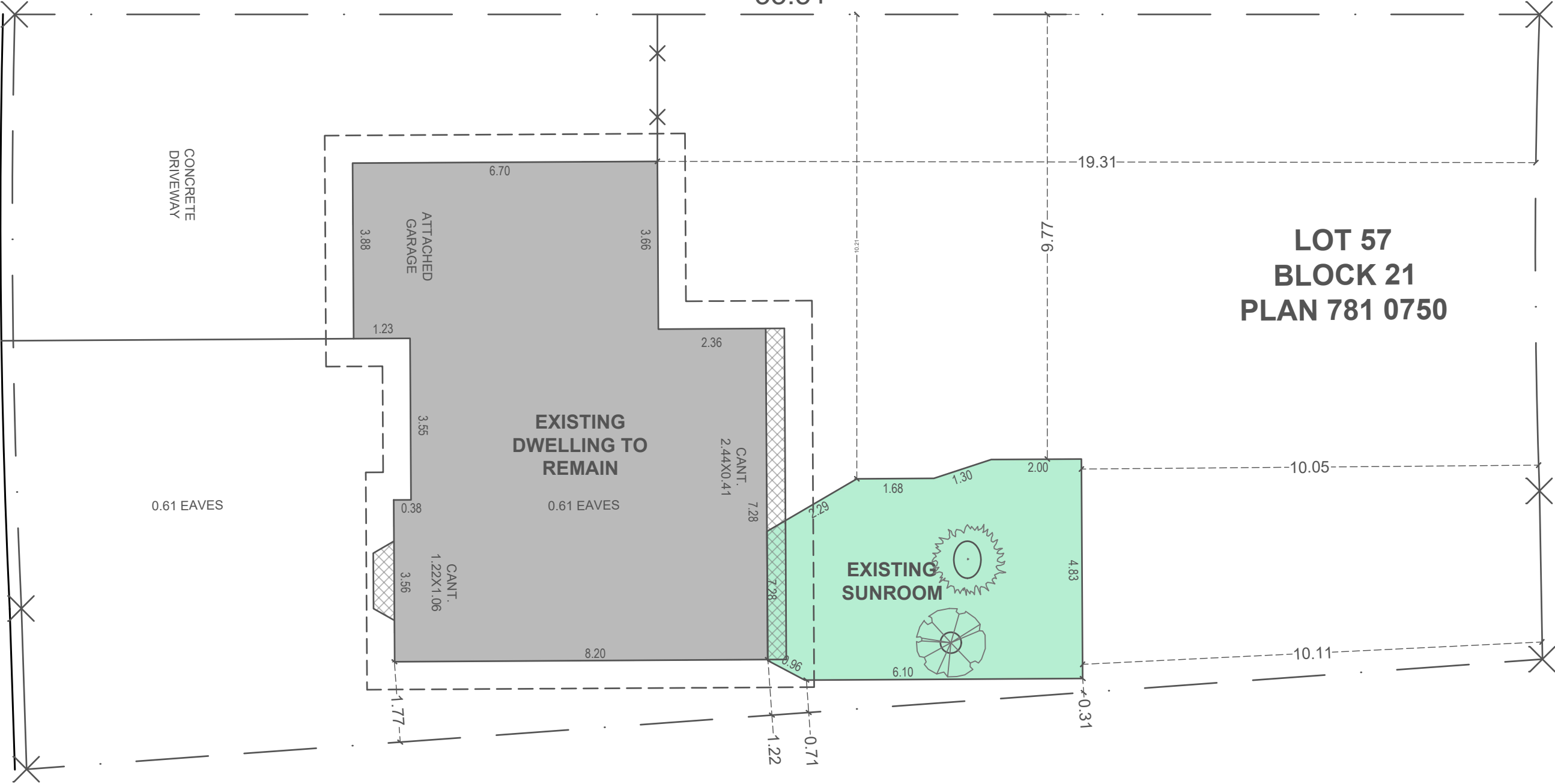
EXISTING HOUSE = 83.18 sm
PROPOSED ADDITION = 30.33 sm
TOTAL AREA = 113.51 sm

TOTAL PARCEL COVERAGE = 22.06%

AMENDED DRAWINGS
DP No Date Received
DP2026-04463 2026-08-12
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- PROPOSED DEMO
- TO REMAIN
- PROPOSED ADDITION

2404 146 AVE SE



1
A1
SITE PLAN
SCALE - 1:100

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NO.	DESCRIPTION	BY	DATE	

NORTH	
SCALE AT A4	CHECKED BY
DATE	DRAWN BY

DRAWING:	SITE PLAN
CLIENT & ADDRESS:	2404 146 AVE SE

DRAWING:	SUNROOM ADDITION
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DATE:

2026-07-30

SCALE:

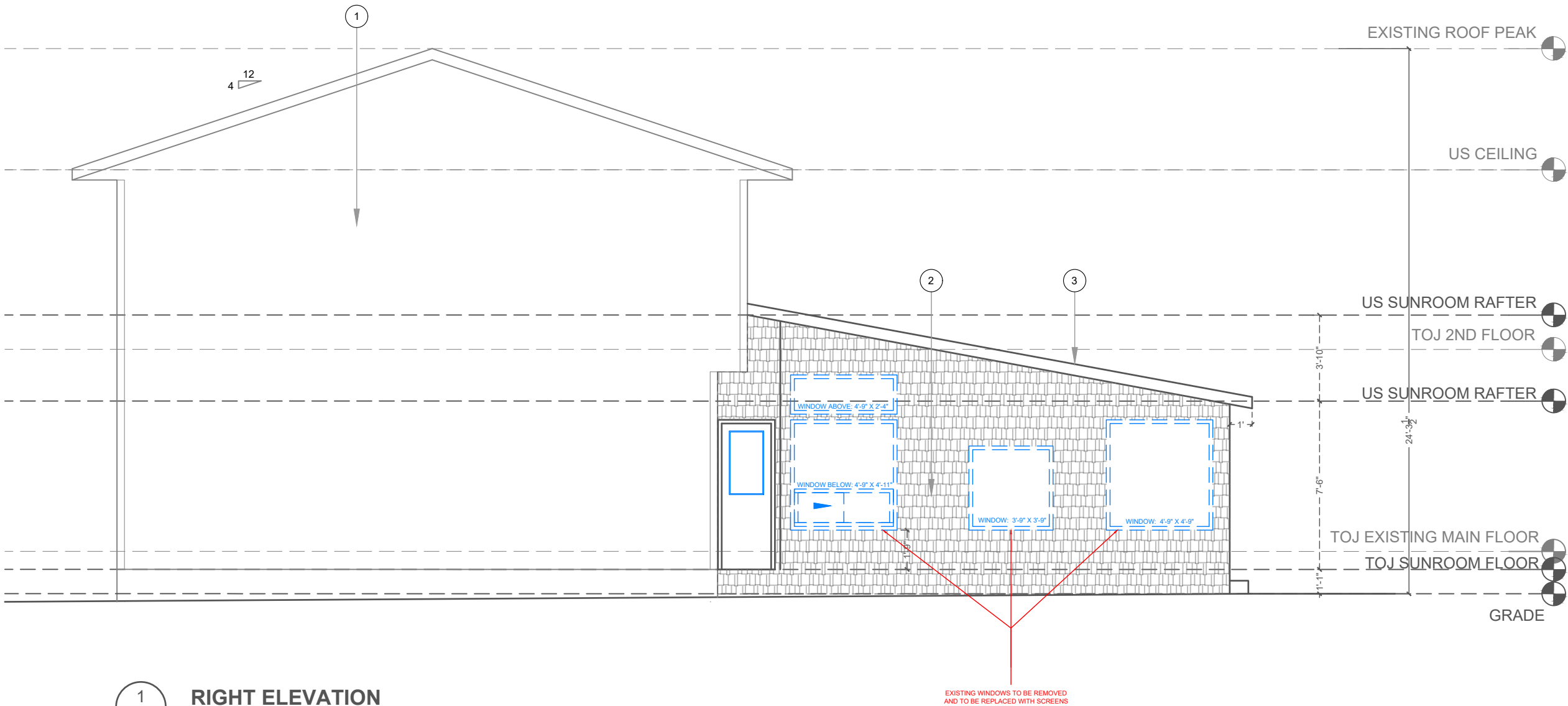
1:100

SHEET:

A-1

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LEGEND:	
①	EXISTING VINYL SIDING
②	CEDAR SHAKES
③	ASPHALT SHINGLES



1
A4.1
RIGHT ELEVATION
SCALE - 3/16" = 1'-0"

*NOTE -
THE SUNROOM IS AN UNCONDITIONED SPACE OPEN TO THE EXTERIOR, FEATURING
LIVING TREES THAT PENETRATE THE BUILDING ENVELOPE AND SCREEN OPENINGS
IN LIEU OF CERTAIN WINDOWS. GLAZING CALCULATIONS UNDER DIVISION B,
SUBSECTION 9.10.15 ARE NOT REQUIRED.

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NO.	DESCRIPTION	BY	DATE

NORTH	
SCALE AT A4	
DATE	
DRAWN BY	
CHECKED BY	

DRAWING:	RIGHT SIDE ELEVATION
CLIENT & ADDRESS:	2404 146 AVE SE

DRAWING:	SUNROOM ADDITION
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DATE:

2026-07-30

SCALE:

3/16"=1'-0"

SHEET:

A-4.1

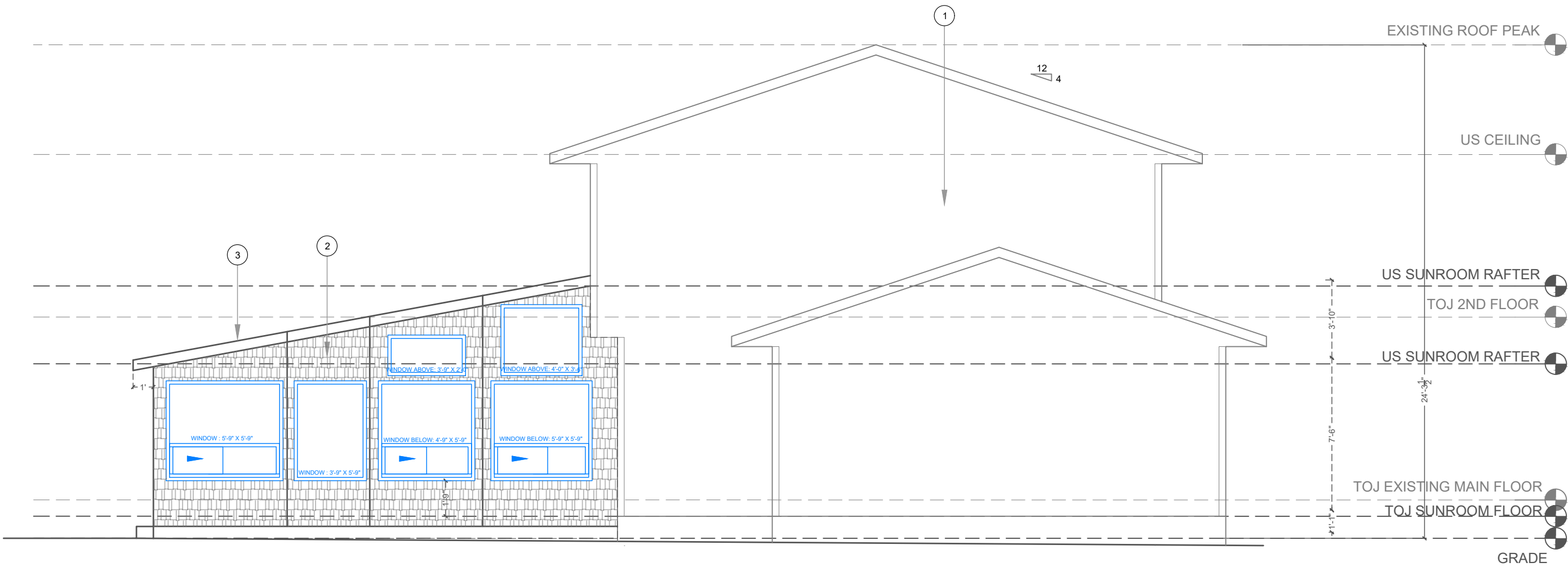
AMENDED DRAWINGS

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DP2026-04463 2026-08-12

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LEGEND:

- ① EXISTING VINYL SIDING
② CEDAR SHAKES
③ ASPHALT SHINGLES



1
A4.2
LEFT ELEVATION
SCALE - 3/16" = 1'-0"

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NO.	DESCRIPTION	BY	DATE

NORTH



SCALE AT A4

DATE
DRAWN BY
CHECKED BY

DRAWING:
LEFT SIDE ELEVATION

CLIENT & ADDRESS:
2404 146 AVE SE

DRAWING:
SUNROOM ADDITION

DATE:

2026-07-30

SCALE:

3/16"=1'-0"

SHEET:

A-4.2

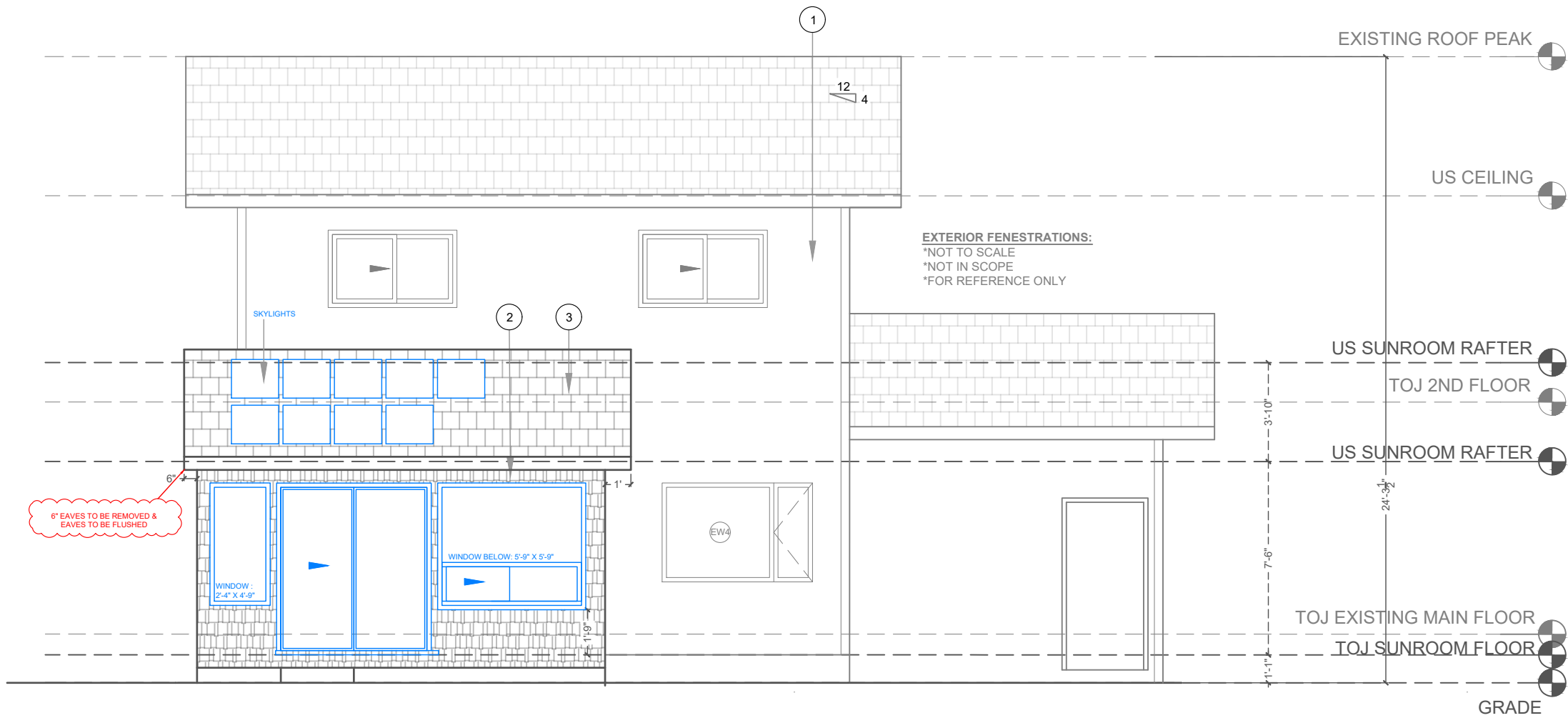
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LEGEND:

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③ ASPHALT SHINGLES



1
A4.3

REAR ELEVATION

SCALE - 3/16" = 1'-0"

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NO.	DESCRIPTION	BY	DATE

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SCALE AT A4	DATE	DRAWN BY	CHECKED BY

DRAWING: REAR ELEVATION
CLIENT & ADDRESS: 2404 146 AVE SE

DRAWING: SUNROOM ADDITION

DATE:

2026-07-30

SCALE:

3/16"=1'-0"

SHEET:

A-4.3