

This is a **contextual** application

What's the difference?

The information below came from the Land Use Bylaw, please visit

for more information.



VS.



Contextual Semi-detached dwellings

These types of homes are classified as a **permitted use** and can only exist in developed areas. A permitted use means the building meets specific **Use Rules** and building design requirements that follow all the Land Use Bylaw rules. Because no relaxations can be requested and the property meets all the criteria, The City and the public **CANNOT** provide comments.

Who can comment on the application:

-  The City
-  The public

Semi-detached dwellings

These types of homes are classified as a **discretionary use** in developed areas. Relaxations on Land Use Bylaw Rules can be requested by applicants. A discretionary use means The City and the public **CAN** comment on the use of the building and how the design may impact or align with policies and the community context, i.e. setbacks, height, size, etc.

Who can comment on the application:

-  The City
-  The public

Tip: Anytime you see the word 'contextual,' it will be a permitted use = no comments, no relaxations.

Contextual Semi-detached dwellings applications follow a strict set of rules, are restricted in size and placement based on the neighbouring properties and cannot propose any relaxations of the Land Use Bylaw. As part of the application process, The City completes a review on all applications to determine if all the contextual rules are being met.

What if the application does not meet the rules?

If the application does not meet the contextual rules, The City informs the applicant that they can change their application to meet the rules or the application will become a discretionary use **Semi-detached** dwellings which would allow The City and the public to comment.



The City has reviewed this application and determined that it meets the contextual rules.

These plans and renderings are presented on the Development Map for information only without the ability to provide commentary.

Learn more at:
Calgary.ca/development



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Section

FLOOR AREA - UNIT #1		FLOOR AREA - UNIT #2	
BASEMENT	= 956.17 SQ. FT.	BASEMENT	= 956.17 SQ. FT.

FLOOR AREA - UNIT #1		FLOOR AREA - UNIT #2	
MAIN	= 942.17 SQ. FT.	MAIN	= 942.17 SQ. FT.
UPPER	= 1040.00 SQ. FT.	UPPER	= 1040.00 SQ. FT.
TOTAL	= 1982.17 SQ. FT.	TOTAL	= 1982.17 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
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ALL FRAMING, ELECTRICAL ROUGH-IN
AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	21/07/2026	DP PLANS	D.J.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PURPOSE WITHOUT THE WRITTEN
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ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT: SEMI DETACHED	
STATUS: DP	
SIGNATURES: X _____	
PRINTED: 2026-07-21 3:06:32 PM	
PROJECT NAME: 3208 COCHRANE ROAD NW. CALGARY, ALBERTA	
DESIGNER: JT	JOB #: 333-26
SCALE: AS SHOWN	SHEET: A-0.0

1	ASPHALT SHINGLES
2	8" ALUMNIMUM FASCIA
3	HARDIE SIDING - GREY (HORIZONTAL)
4	HARDIE SIDING - GREY (VERICAL)

- | | |
|---|--------------------------------------|
| 5 | BOARD AND BATTEN - DARK GREY / BLACK |
| 6 | CONC. PARGING |
| 7 | CAST IN PLACE CONCRETE |
| 8 | WOOD SLATS - DARK GREY / BLACK |

-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED TO ACCOMMODATE CUSTOM WINDOWS

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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PROJECT: SEMI DETACHED

STATUS: DP

SIGNATURES:

X _____

PRINTED: 2026-07-21 3:06:36 PM

PROJECT NAME:
3208 COCHRANE ROAD NW.
CALGARY, ALBERTA

DESIGNER:	JOB #:
JT	333-26

SCALE:	SHEET:
AS SHOWN	A-2.0

SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	BOARD AND BATTEN - DARK GREY / BLACK
2	8" ALUMNIMUM FASCIA	6	CONC. PARGING
3	HARDIE SIDING - GREY (HORIZONTAL)	7	CAST IN PLACE CONCRETE
4	HARDIE SIDING - GREY (VERICAL)	8	WOOD SLATS - DARK GREY / BLACK

VENTED SOFFIT NOTES:

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PROJECT:
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STATUS: DP

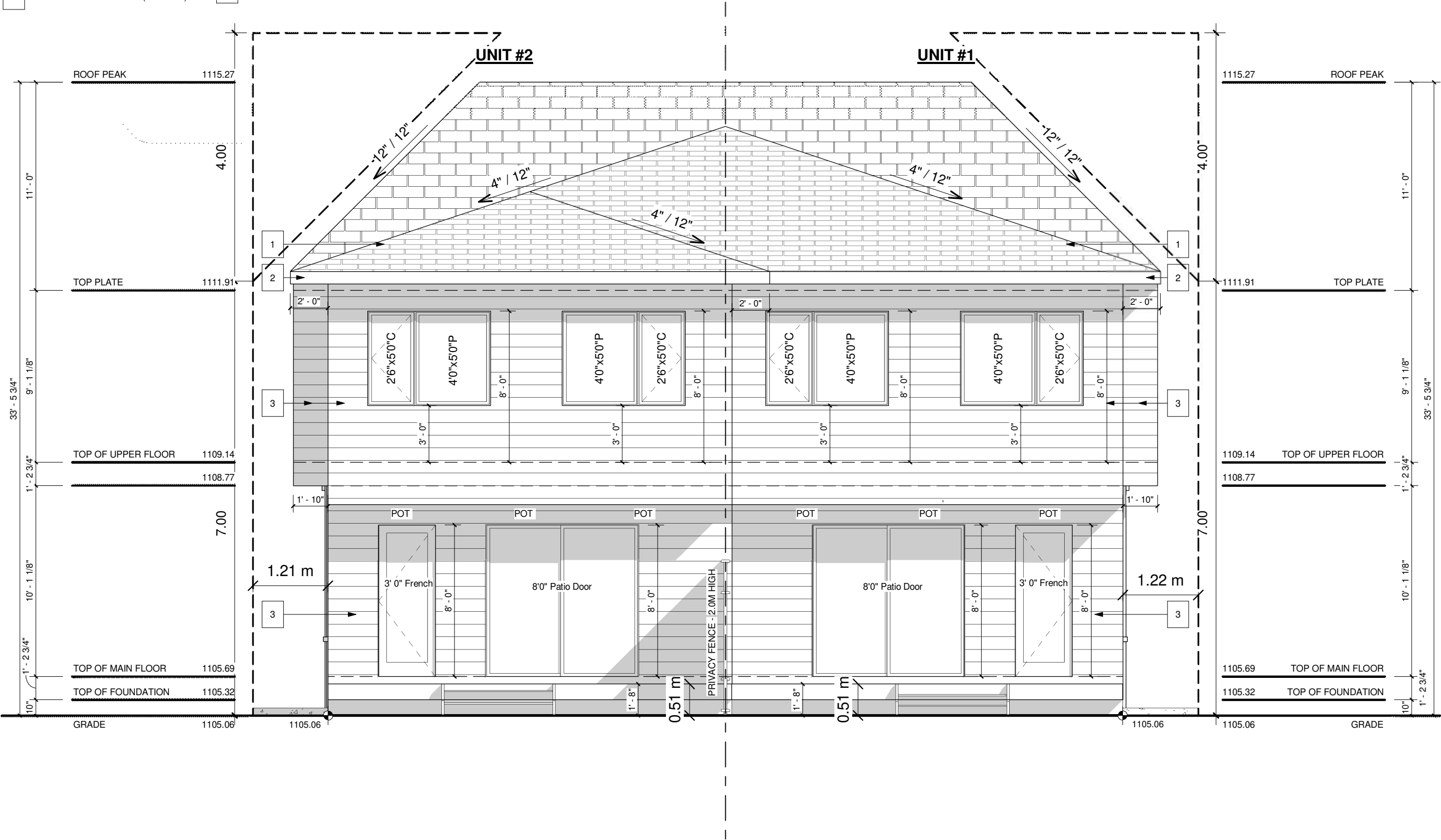
SIGNATURES:
X _____

PRINTED: 2026-07-21 3:06:37 PM

PROJECT NAME:
3208 COCHRANE ROAD NW.
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 333-26

SCALE: AS SHOWN
SHEET: A-2.1



REAR ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

HARDIE SIDING - GREY (HORIZONTAL)
- 4

HARDIE SIDING - GREY (VERICAL)
- 5

BOARD AND BATTEN - DARK GREY / BLACK
- 6

CONC. PARGING
- 7

CAST IN PLACE CONCRETE
- 8

WOOD SLATS - DARK GREY / BLACK

WINDOW CALCULATION
WALL AREA = 1113.64 SQ. FT.
WINDOW AREA = 46.88 SQ. FT.
TOTAL: 46.88 / 1113.64= 4.21%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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PROJECT: SEMI DETACHED

STATUS: DP

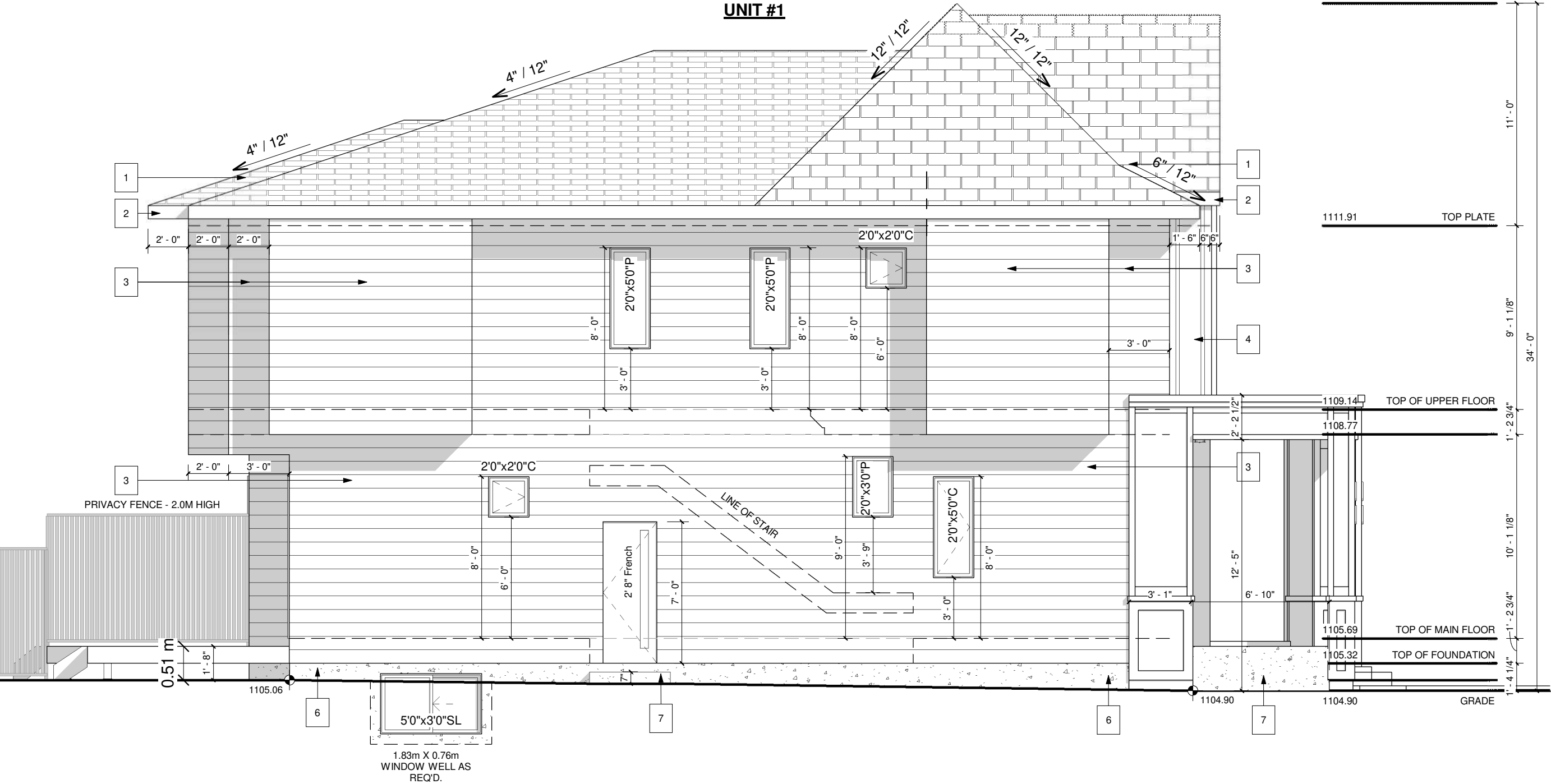
SIGNATURES:
X _____

PRINTED: 2026-07-21 3:06:38 PM

PROJECT NAME:
3208 COCHRANE ROAD NW.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 333-26

SCALE: AS SHOWN SHEET: A-2.2



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

HARDIE SIDING - GREY (HORIZONTAL)
- 4

HARDIE SIDING - GREY (VERICAL)
- 5

BOARD AND BATTEN - DARK GREY / BLACK
- 6

CONC. PARGING
- 7

CAST IN PLACE CONCRETE
- 8

WOOD SLATS - DARK GREY / BLACK

WINDOW CALCULATION
WALL AREA = 1113.64 SQ. FT.
WINDOW AREA = 46.88 SQ. FT.
TOTAL: 46.88 / 1113.64= 4.21%

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STATUS:

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SIGNATURES:

X _____

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CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

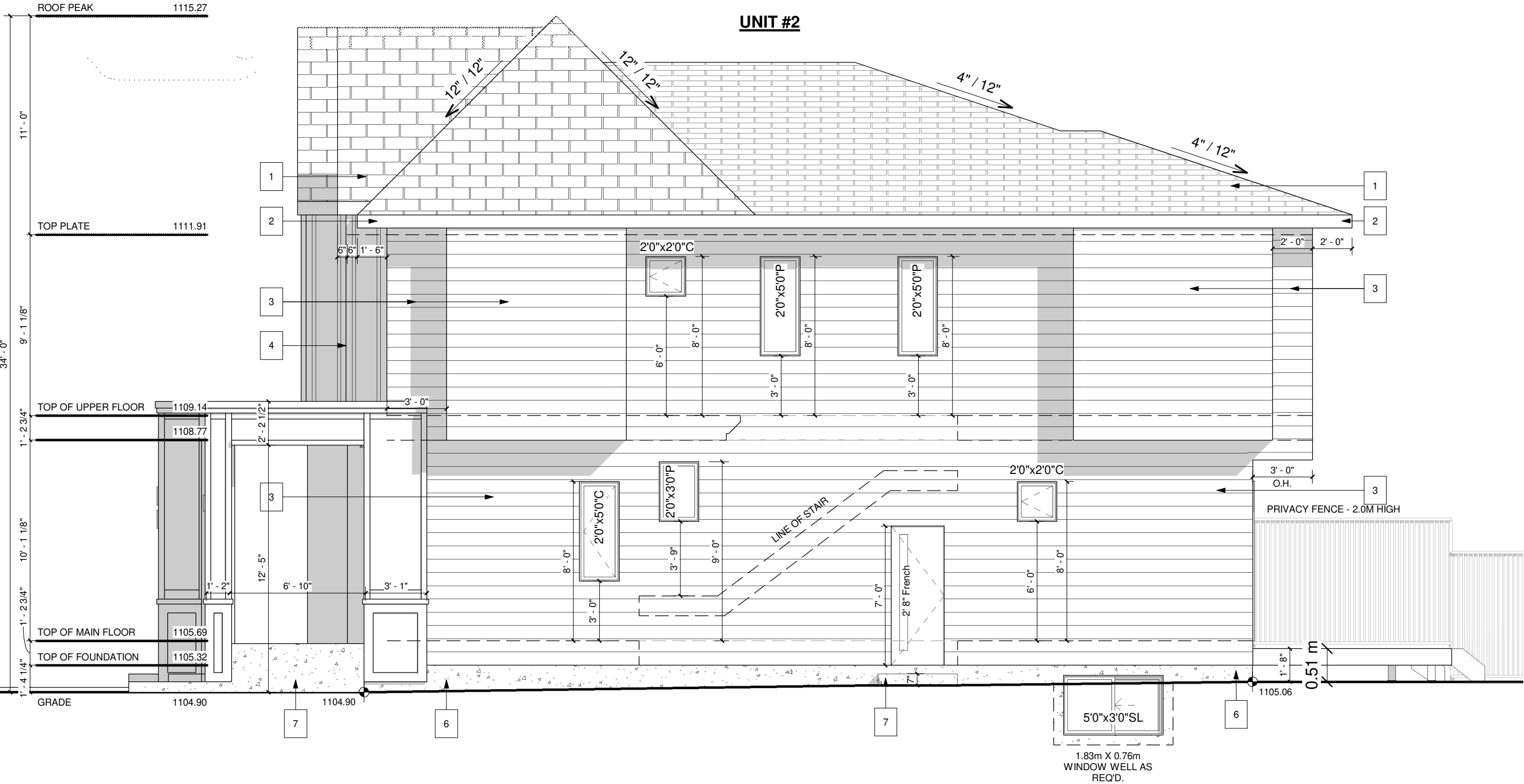
333-26

SCALE:

AS SHOWN

SHEET:

A-2.3



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

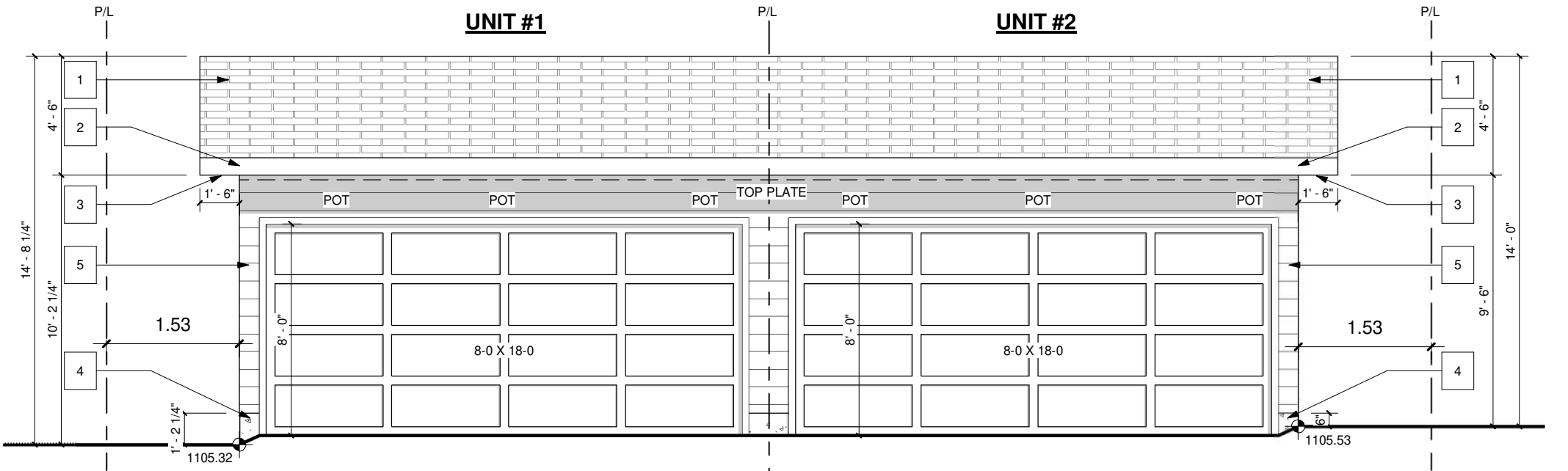
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

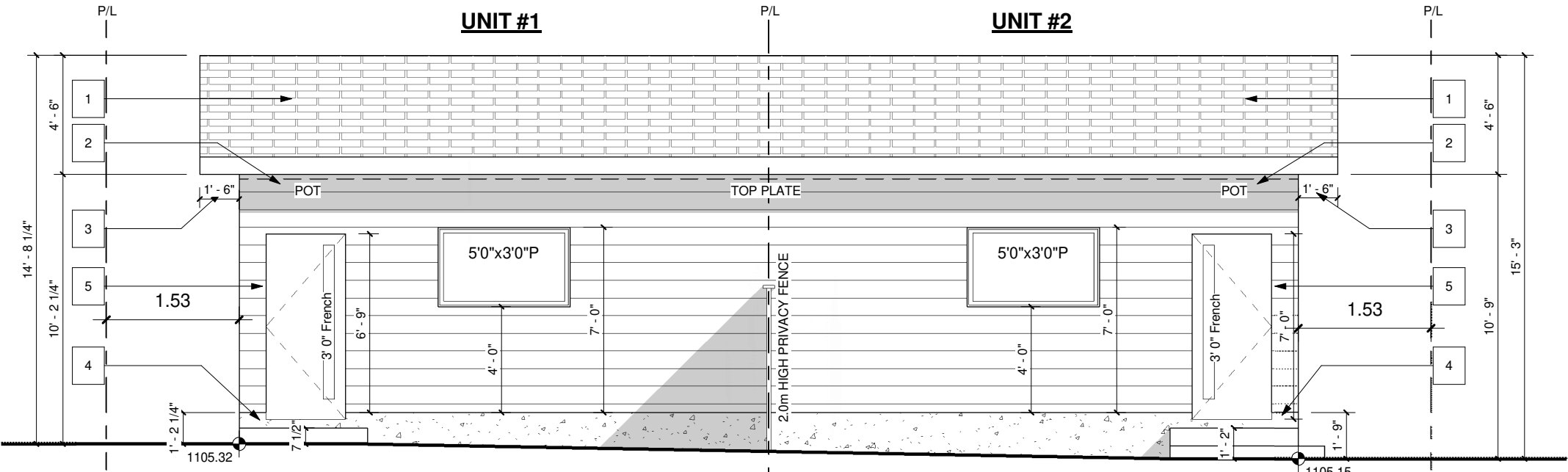
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

HARDIE SIDING FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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PROJECT:

SEMI DETACHED

STATUS:

DP

SIGNATURES:

X _____

PRINTED: 2026-07-21 3:06:40 PM

PROJECT NAME:

3208 COCHRANE ROAD NW.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

333-26

SCALE:

AS SHOWN

SHEET:

A-3.1

EXTERIOR FINISHES:

- 1

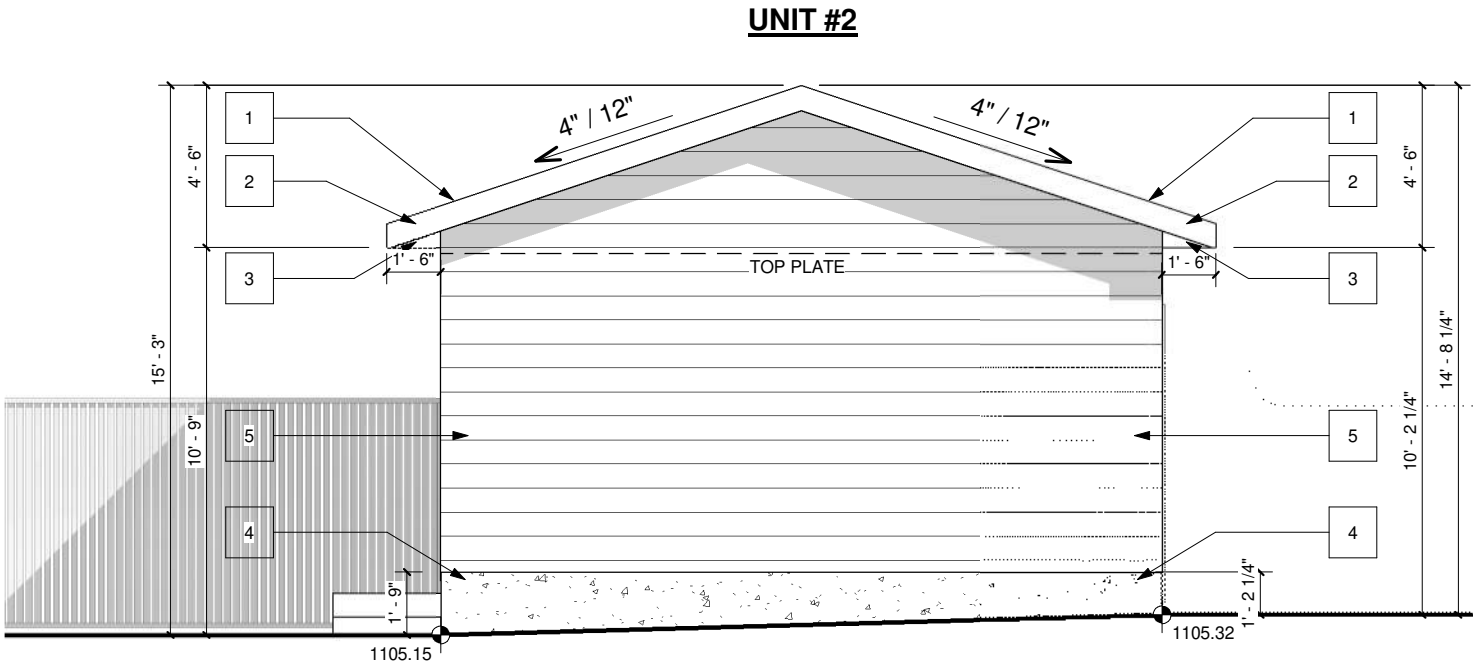
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

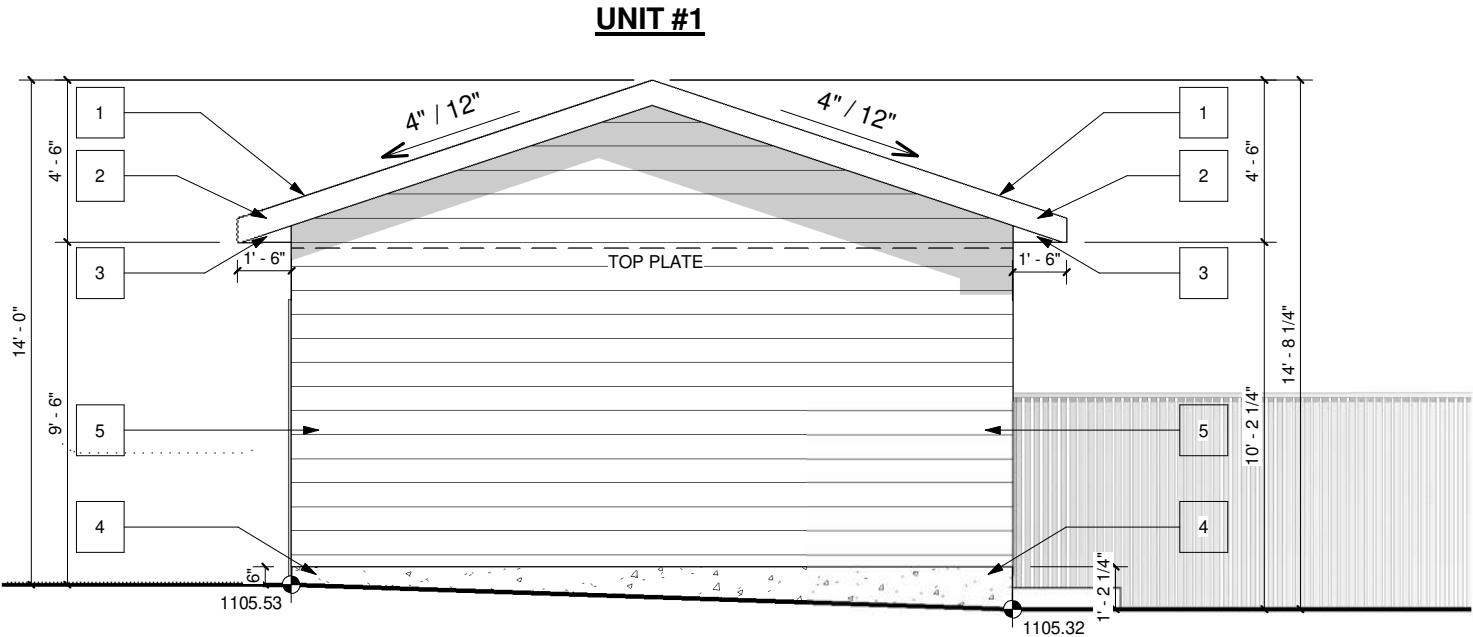
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

HARDIE SIDING FINISH



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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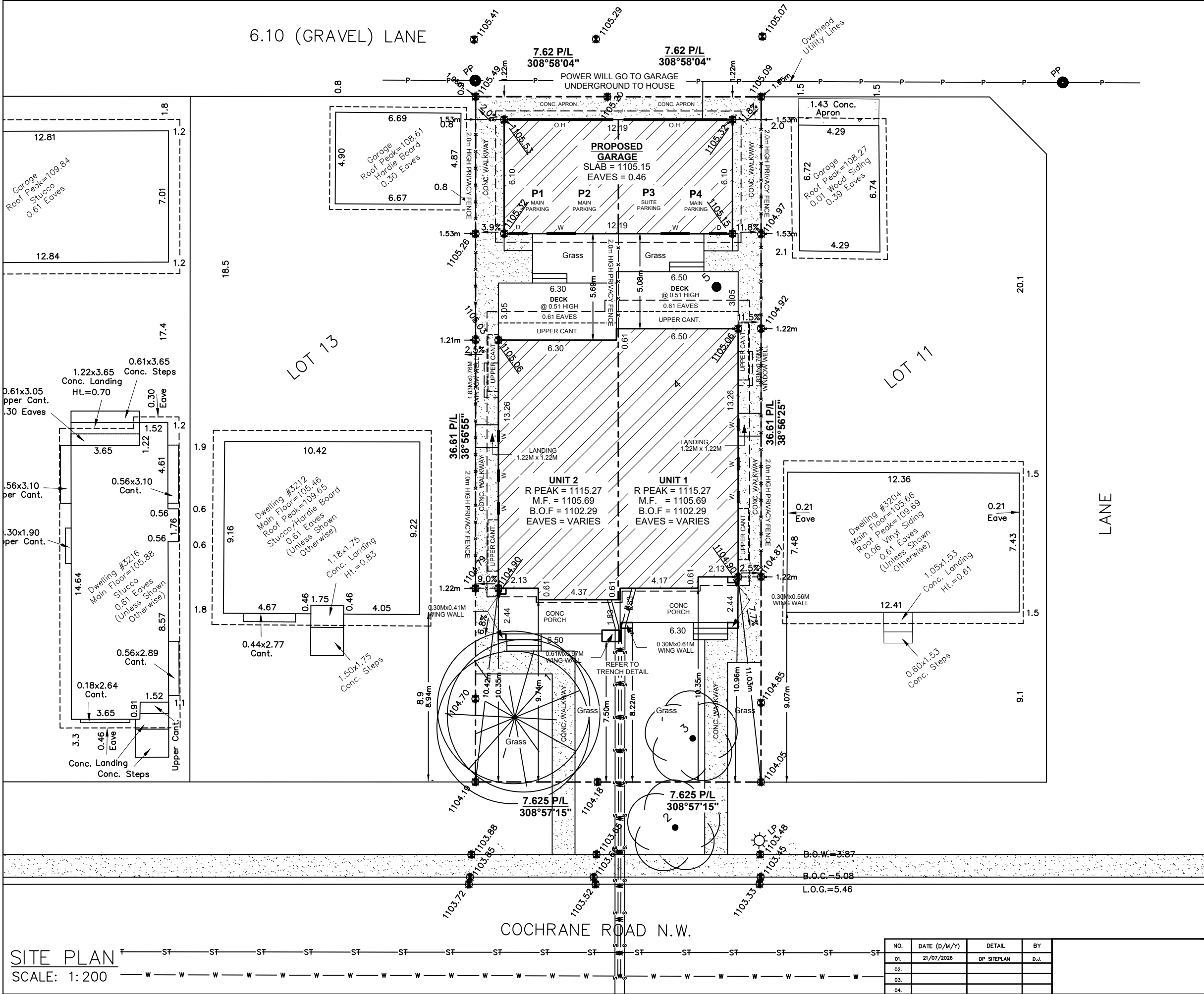
333-26

SCALE:

AS SHOWN

SHEET:

A-3.2



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\bullet$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

$\bullet$	denotes Calculation points
$\boxtimes$	denotes Water Valve
$\blacklozenge$	denotes Gas Valve
$\bullet$	denotes Manhole
$\odot$	denotes Tree
$\bullet$	denotes Power Pole
$\triangle$	denotes Sign
$\odot$	denotes Light Standard
-X-X-	denotes Fence
-S-	denotes Sanitary Line
-ST-	denotes Storm Line
-W-	denotes Water Line
-G-	denotes Gas Line
-E-	denotes Electrical Line
-A.G.T-	denotes A.G.T Line
-	denotes Utility Right of Way Line
-	denotes Property Line
-	denotes Door
-	denotes Main Floor Windows
-	denotes Second Floor Windows
-	denotes Basement Floor Windows

	denotes Shed Hatch
	denotes Detached Garage Hatch
	denotes Main Building Hatch
	denotes Concrete and Asphalt Hatch
	denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade Oriented Infill

SCALE 1: 200

LEGAL DESCRIPTION:
Lot 12
Block 10
Plan 907 GS

MUNICIPAL ADDRESS:
3208 COCHRANE ROAD N.W.
Calgary, Alberta

LOT COVERAGE DETAIL: UNIT #1 (SINGLE LOT AND HOUSE) LOT SIZE: 279.079 SQ M HOUSE SIZE: 87.53 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M GARAGE: 37.161 SQ M WING WALL: 0.8955 SQ M = 125.5865/279.079 = 45.00%	LOT COVERAGE DETAIL: UNIT #2 (SINGLE LOT AND HOUSE) LOT SIZE: 279.079 SQ M HOUSE SIZE: 87.53 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M GARAGE: 37.161 SQ M WING WALL: 0.8955 SQ M = 125.5865/279.079 = 45.00%
--	--

NO.	DATE (D/M/Y)	DETAIL	BY
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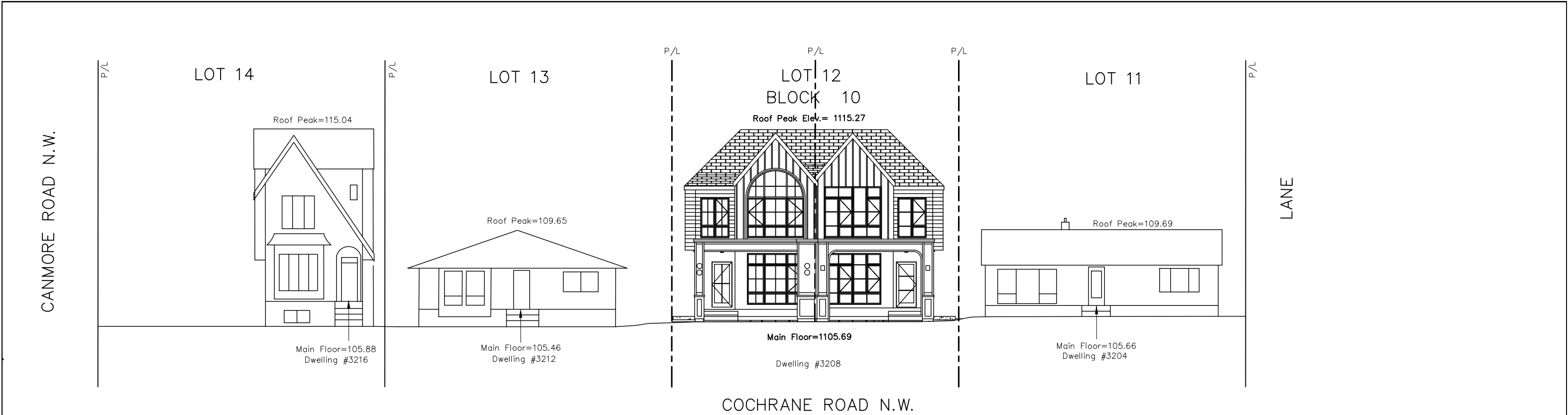
PROJECT NAME AND ADDRESS:
3208 COCHRANE ROAD N.W.
Calgary, Alberta
Lot 12
Block 10
Plan 907 GS

SCALE: 1: 200

DATE: JUL 21, 2026

DIVISION: S

NUMBER: 01



STREETSCAPE
SCALE: 1:200

NEW HOME SQFT.

	UNIT #1 & 1B	UNIT #2
GARAGES	400.00 SQ FT	400.00 SQ FT
BASEMENT	956.17 SQ FT	956.17 SQ FT
MAIN FLOOR	942.17 SQ FT	942.17 SQ FT
UPPER FLOOR	1040.00 SQ FT	1040.00 SQ FT
TOTAL	1982.17 SQ FT	1982.17 SQ FT

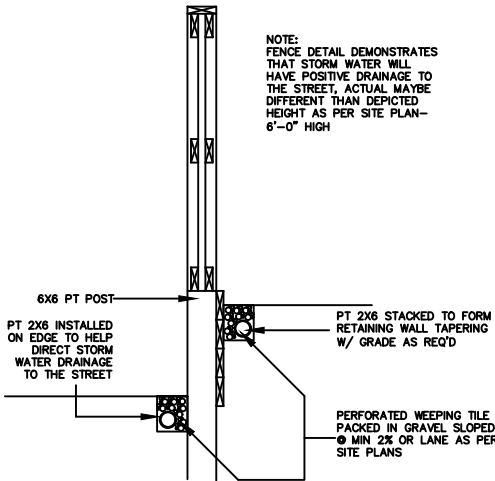
NOTES-

1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.

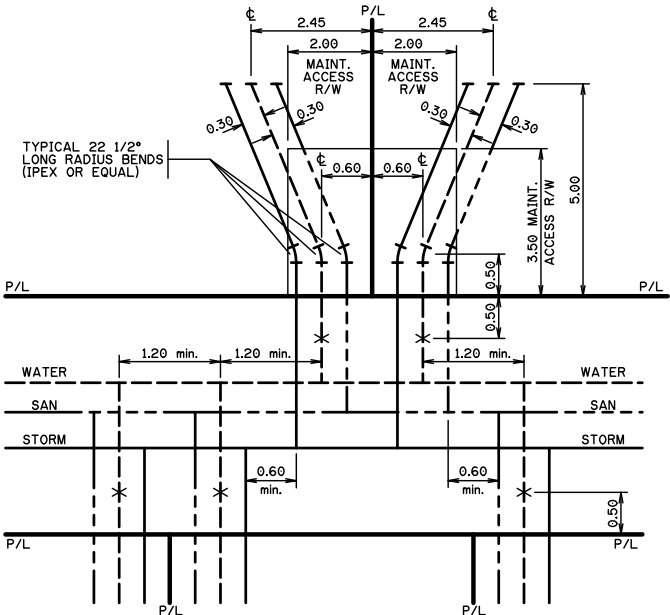
Tree Schedule

Tree No.	Tree Type	Canopy Dia	Height	Diameter	Disposition
1	Coniferous	6	9	0.45	To Stay
2	Deciduous	5	5	0.10	To Stay
3	Deciduous	5	6	0.15	To Stay
4	Coniferous	4	6	0.20	To Be Removed
5	Deciduous	8	6	0.30	To Be Removed

NOTE:
"AN URBAN FORESTRY TECHNICIAN MUST BE ON-SITE, WITH CONFIRMED MEETING, TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT PUBLIC TREES DURING DEEP SERVICE AND WALKWAY INSTALLATION. PRIOR TO CONSTRUCTION, CONTACT URBAN FORESTRY AT 311 AND ASK TO SPEAK TO AN URBAN FORESTRY TECHNICIAN. URBAN FORESTRY REQUIRES MINIMUM TWO BUSINESS DAYS' NOTICE PRIOR TO MEETING ONSITE."



FENCE SECTION DETAIL
SCALE: NTS



TRENCH DETAIL
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	21/07/2026	DP SITEPLAN	D.J.	3208 COCHRANE ROAD N.W. Calgary, Alberta	SEMI-DETACHED	AS SHOWN
02.				Lot 12 Block 10 Plan 907 GS	DATE:	DIVISION NUMBER
03.					JUL 21, 2026	S 03
04.						