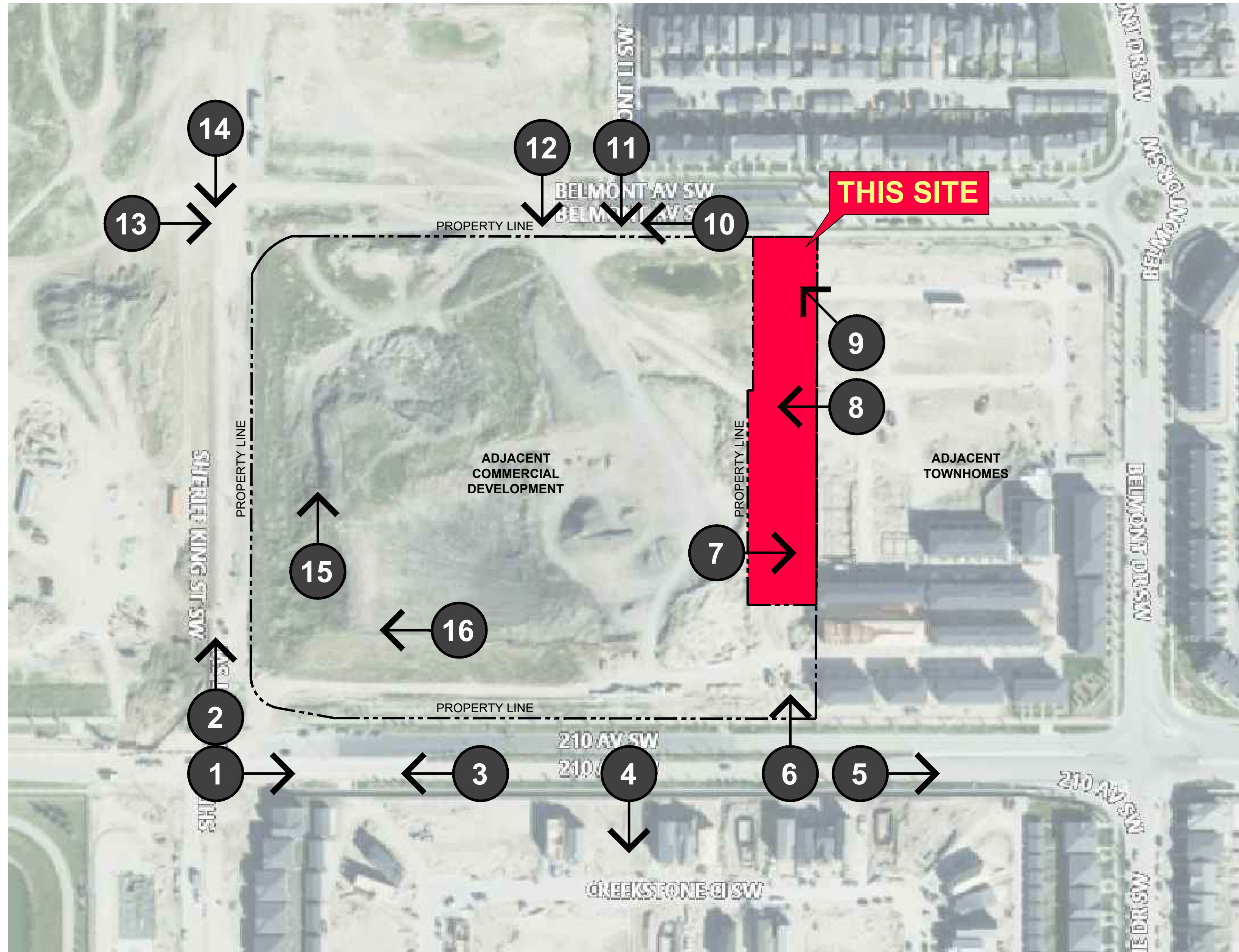
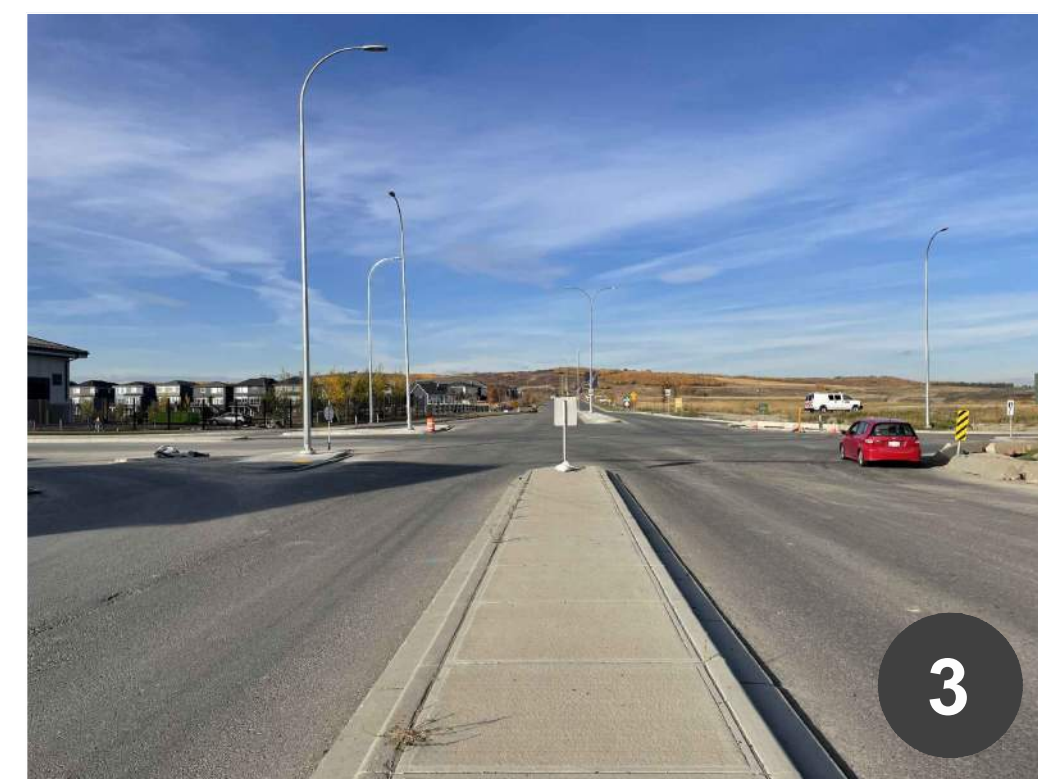
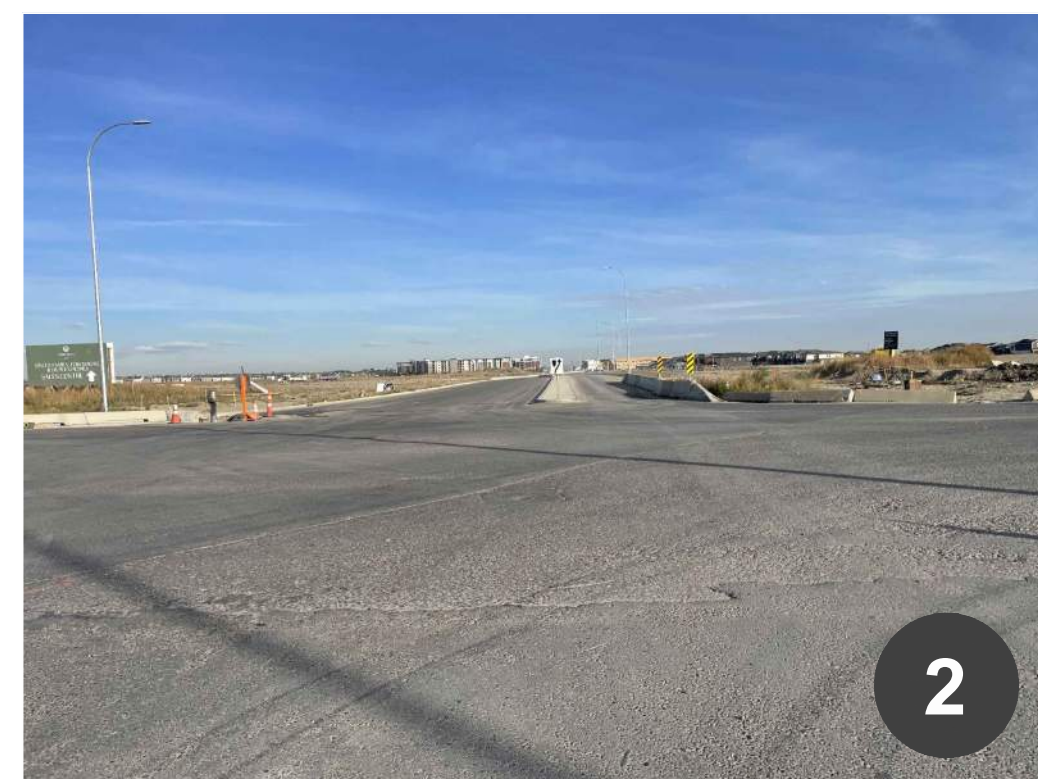
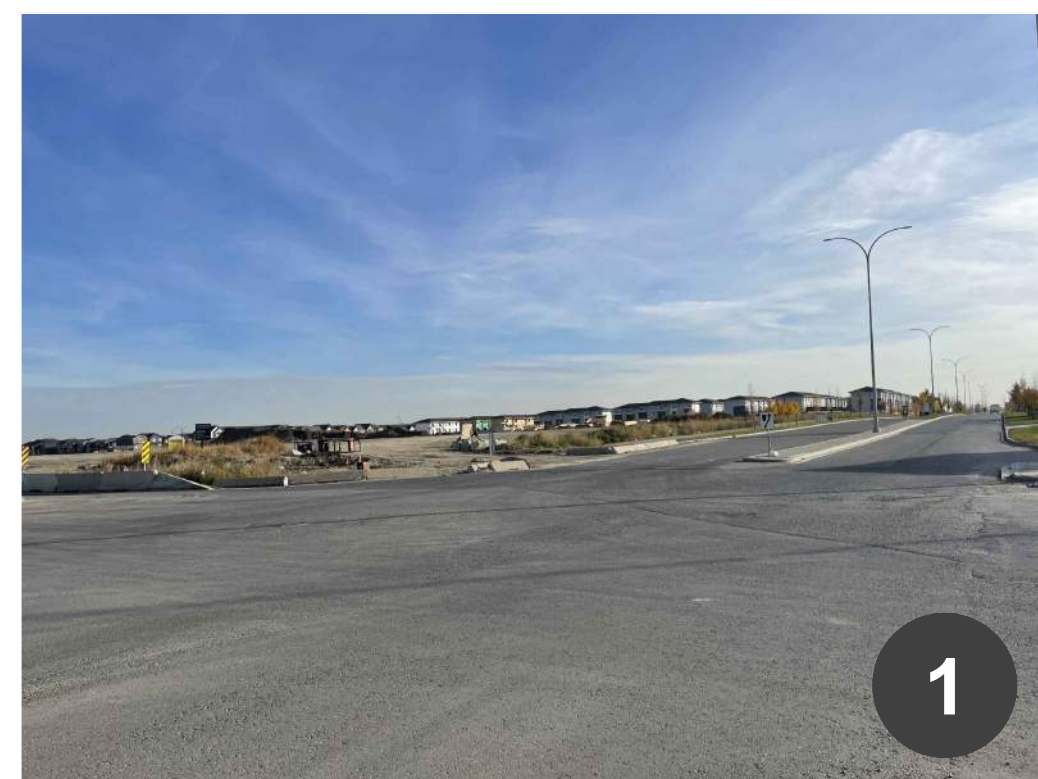
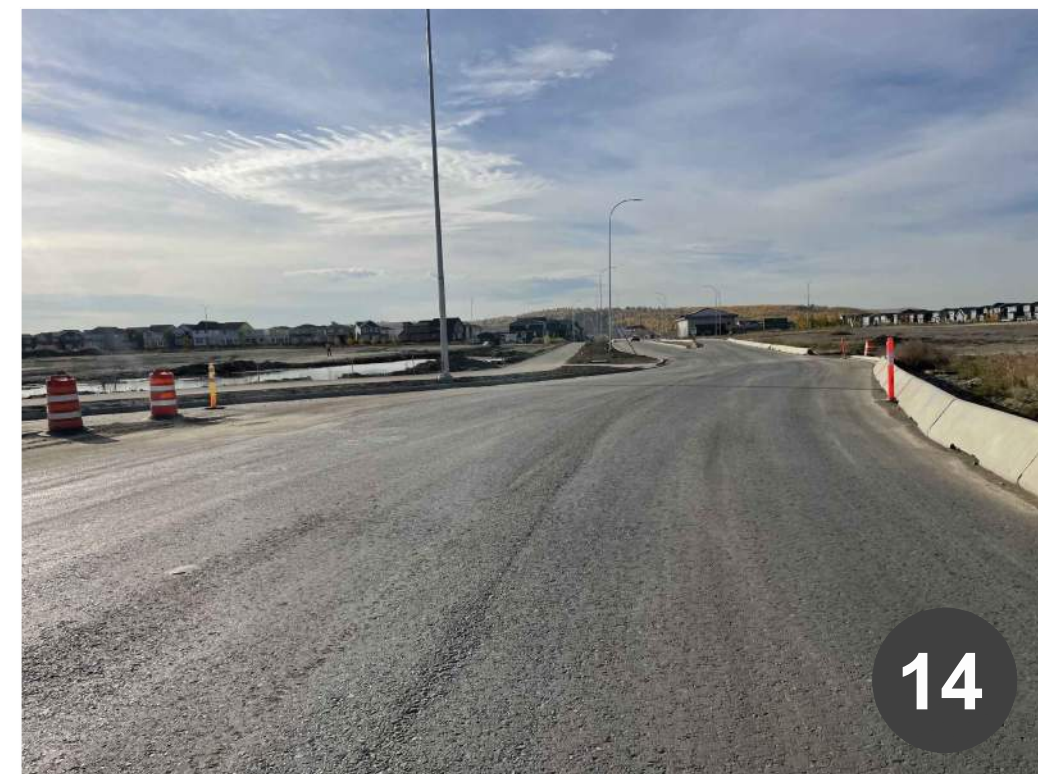
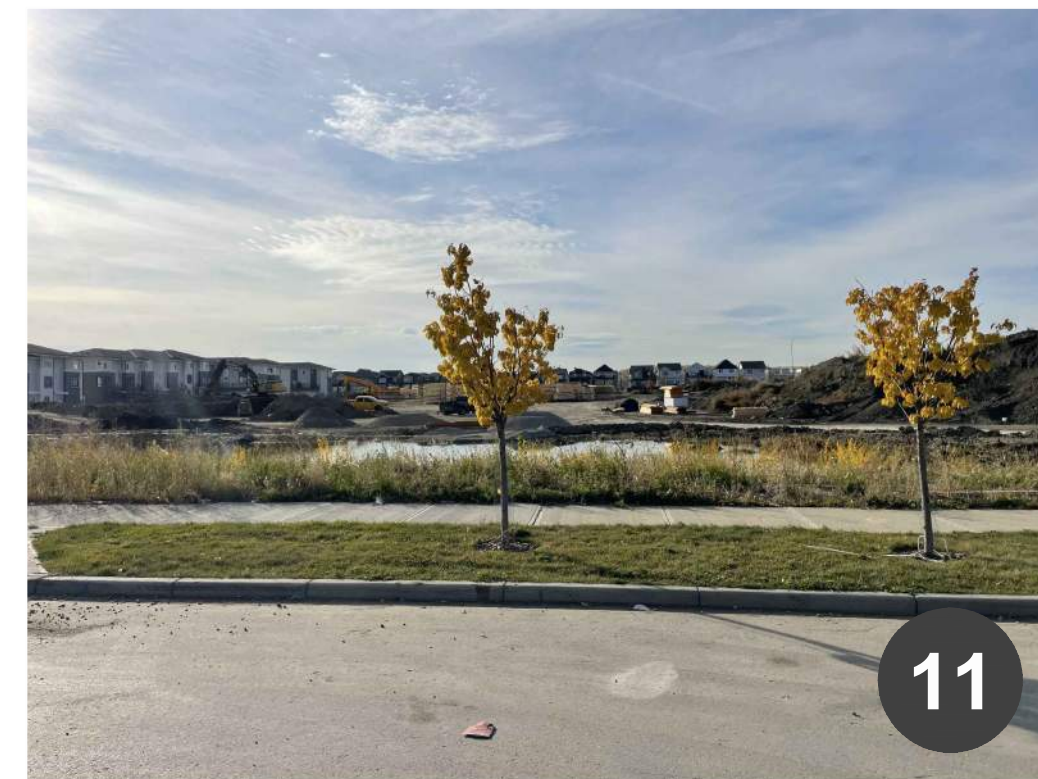
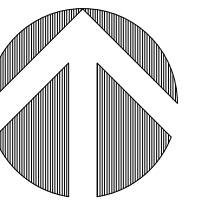


DWG NO: **A000**



COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE EXCLUSIVE PROPERTY OF WA ARCHITECTS LTD. AND SHALL NOT BE USED WITHOUT THE ARCHITECT'S PERMISSION. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK.

NORTH ARROW:



OWNER/CLIENT:

**WESTCREST
BELMONT LTD.**

P.O. 75065, CALGARY, AB

GENERAL NOTES:

[illegible]

4	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	26/07/24
3	ISSUED FOR COORDINATION	26/06/23
2	ISSUED FOR CLIENT REVIEW	26/06/17
1	ISSUED FOR CLIENT REVIEW	26/06/05
NO.	ISSUE	Y/M/D

SEAL:



CONSULTANT:

WA
ARCHITECTS

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

WC BELMONT

PROJECT ADDRESS:

#2000 465 BELMONT AV SW, CALGARY AB

DRAWING TITLE:

CONTEXT PHOTOS

PROJECT NO: 26030

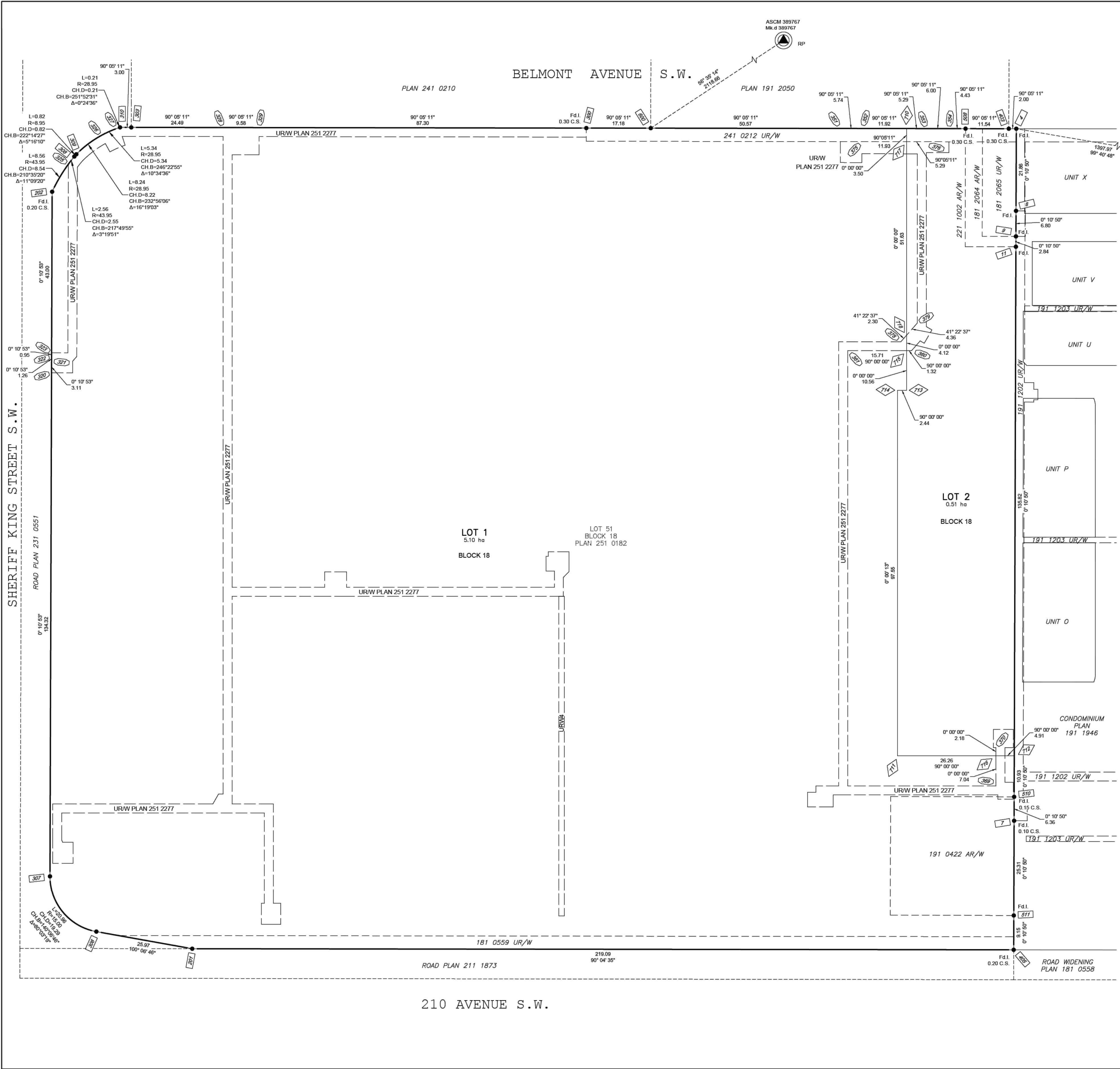
DRAWN BY: LO, BB

SCALE: AS NOTED

REVIEW BY: JS

DWG NO:

A002



CERTIFICATE: SECTION 47, THE SURVEYS ACT

REGISTERED ON _____
AS NUMBER _____
ALL STATUTORY MONUMENTS WERE PLACED IN THE GROUND BETWEEN THE DATES
OF _____ AND _____ AND THE POSITIONED IN ACCORDANCE
WITH COORDINATES SHOWN ATTACHED TO THE INSTRUMENT EXCEPT FOR THE
FOLLOWING:

REGISTERED BY _____

REGISTRAR
LAND TITLES OFFICE
PLAN NO. _____
ENTERED AND REGISTERED
ON _____
INSTRUMENT NO. _____
A.D. REGISTRAR

CITY OF CALGARY, ALBERTA

PLAN SHOWING SURVEY OF
SUBDIVISION

AFFECTING
LOT 51, BLOCK 18, PLAN 251 0182
WITHIN
S.W. 1/4 Sec. 15, Twp. 22, Rge. 1, W. 5 M.

SCALE: 1:500

BY: NATHAN PRINS, A.L.S. 2026

LEGEND

Distances shown are in metres and decimals thereof.
Distances shown on curved boundaries are Arc distances.
Alberta Survey Control Markers are shown thus:
Drill holes are shown thus:
Statutory Iron Posts are shown thus:
Concrete Nails are shown thus:
Re-established position and left no marks shown thus:
Area referred to by this plan contains:
5.61 ha and is outlined thus:

found placed marked 'P078'
found placed

Geo-Referenced Point shown thus:
Bearings are Grid and derived from GPS Observations
The Coordinate System used for this plan is:
Datum - North American Datum 1983
Projection - 3° Transverse Mercator
Reference Meridian - 114° West Longitude
Combined Scale Factor - 0.999733
Geo-Referenced point is an Alberta Survey Control Marker
Grid Coordinate:
N 5,637,697.712m
E -3,044.463m

Statutory Monuments found or placed are shown thus:

The position where statutory iron posts are to be
placed pursuant to Section 47 are shown thus:

The position where statutory iron posts are to be placed in
accordance with Plan 251 2277 (URW2) are shown thus:

URW4 = REGISTERED PLAN 261 _____

ABBREVIATIONS

ASCM Alberta Survey Control Marker
S. South
W. West
Sec. Section
Twp. Township
Rge. Range
M. Meridian
Fd. Found
I. Iron Post
Mk.d. Marked
C.S. Countersunk
AR/W Access Right-of-Way
UR/W Utility Right-of-Way
R. Radius
L. Arc Length
ha Hectare
m Metres
RP Geo-Referenced Point
Δ Central Angle of Curve
Ch.D. Chord Distance
Ch.B. Chord Bearing

SURVEYOR

NAME: NATHAN PRINS, A.L.S.
SURVEYED BETWEEN THE DATES OF MARCH 23, 2018 AND APRIL 10, 2025
IN ACCORDANCE WITH THE PROVISIONS OF THE SURVEYS ACT.

REGISTERED OWNERS

ANTHEM BELMONT COMMERCIAL HOLDINGS GP LTD.

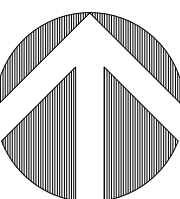
SUBDIVISION AUTHORITY

NAME: CITY OF CALGARY
FILE NO. SB2025-0221
DATE APPROVED: APRIL 14, 2026

TRONNES GEOMATICS INC. 6135 - 10th Street S.E., Calgary, Alberta T2H 2Z9; 403-207-0303; File: 24-1085-S1

COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE
EXCLUSIVE PROPERTY OF WA ARCHITECTS LTD. AND SHALL
NOT BE USED WITHOUT THE ARCHITECTS' PERMISSION. ALL
DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR
BEFORE COMMENCING WORK.

NORTH ARROW:



OWNER/CLIENT:

WESTCREST
BELMONT LTD.
P.O. 75065, CALGARY, AB

GENERAL NOTES:

NO.	ISSUE	Y/M/D
4	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	26/07/24
3	ISSUED FOR COORDINATION	26/06/23
2	ISSUED FOR CLIENT REVIEW	26/06/17
1	ISSUED FOR CLIENT REVIEW	26/06/05

SEAL:



CONSULTANT:

IWA
ARCHITECTS

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

WC BELMONT

PROJECT ADDRESS:

#2000 465 BELMONT AV SW, CALGARY AB

DRAWING TITLE:

SURVEY PLAN

PROJECT NO: 26030

DRAWN BY: LO, BB

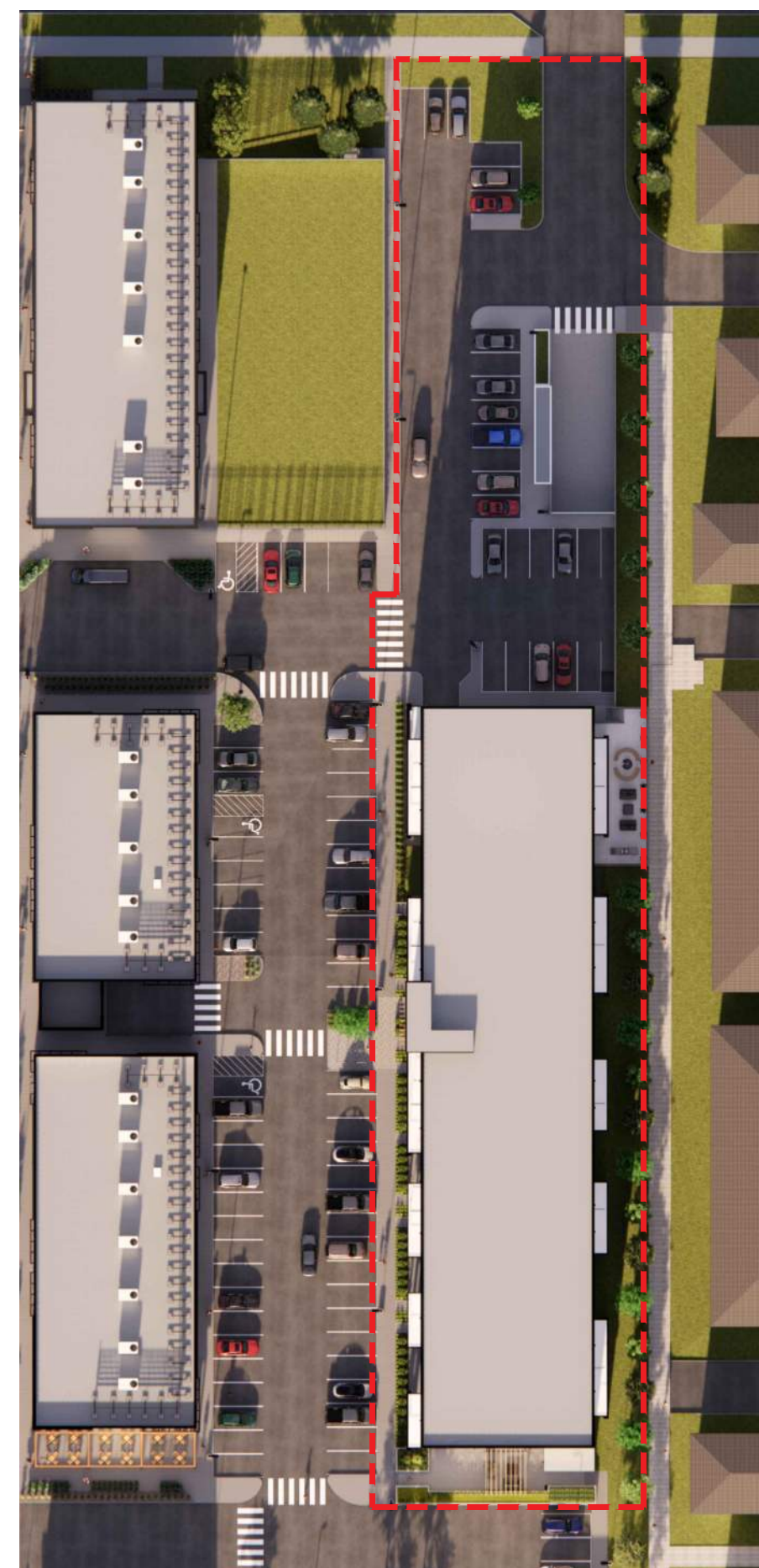
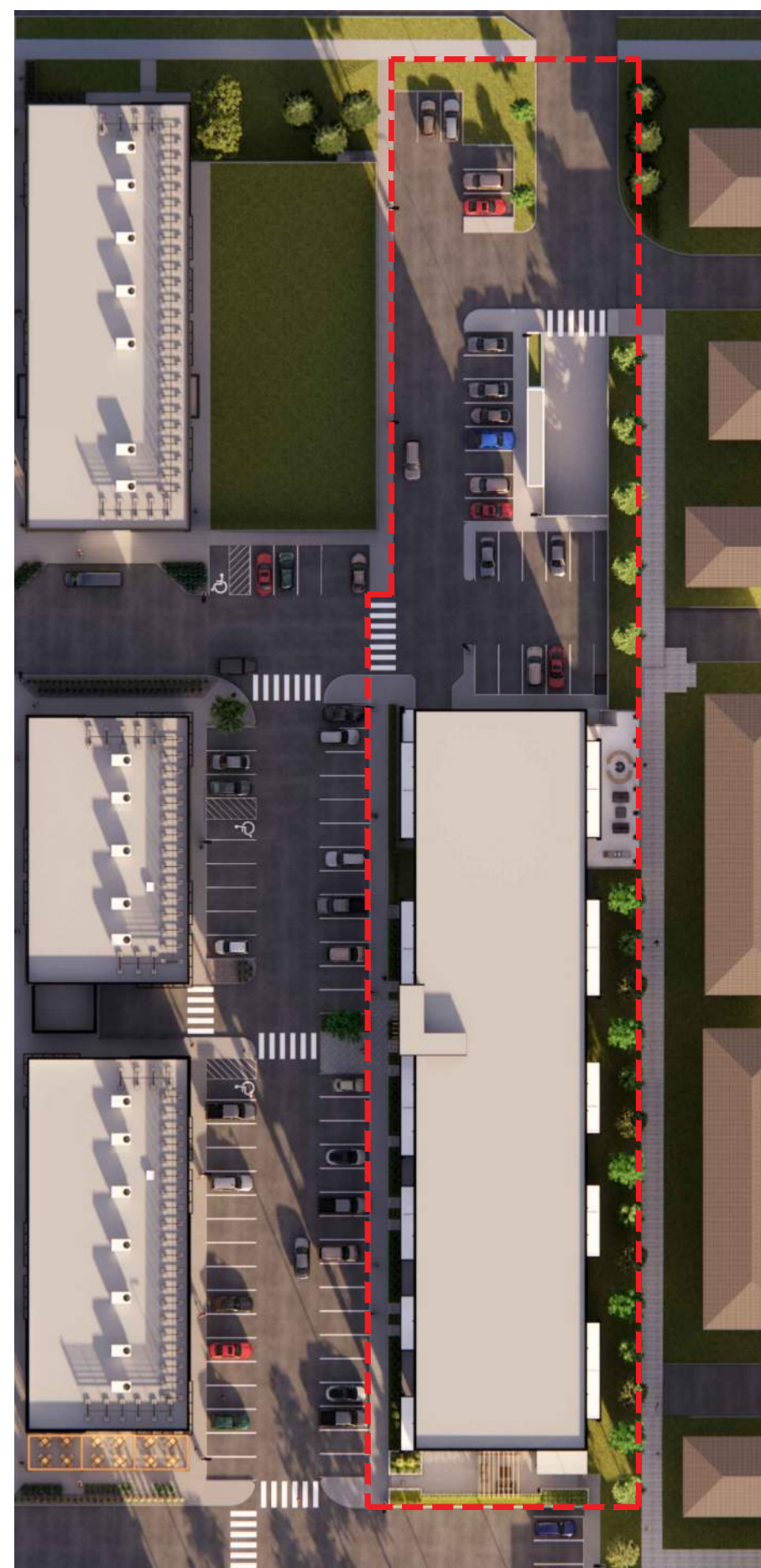
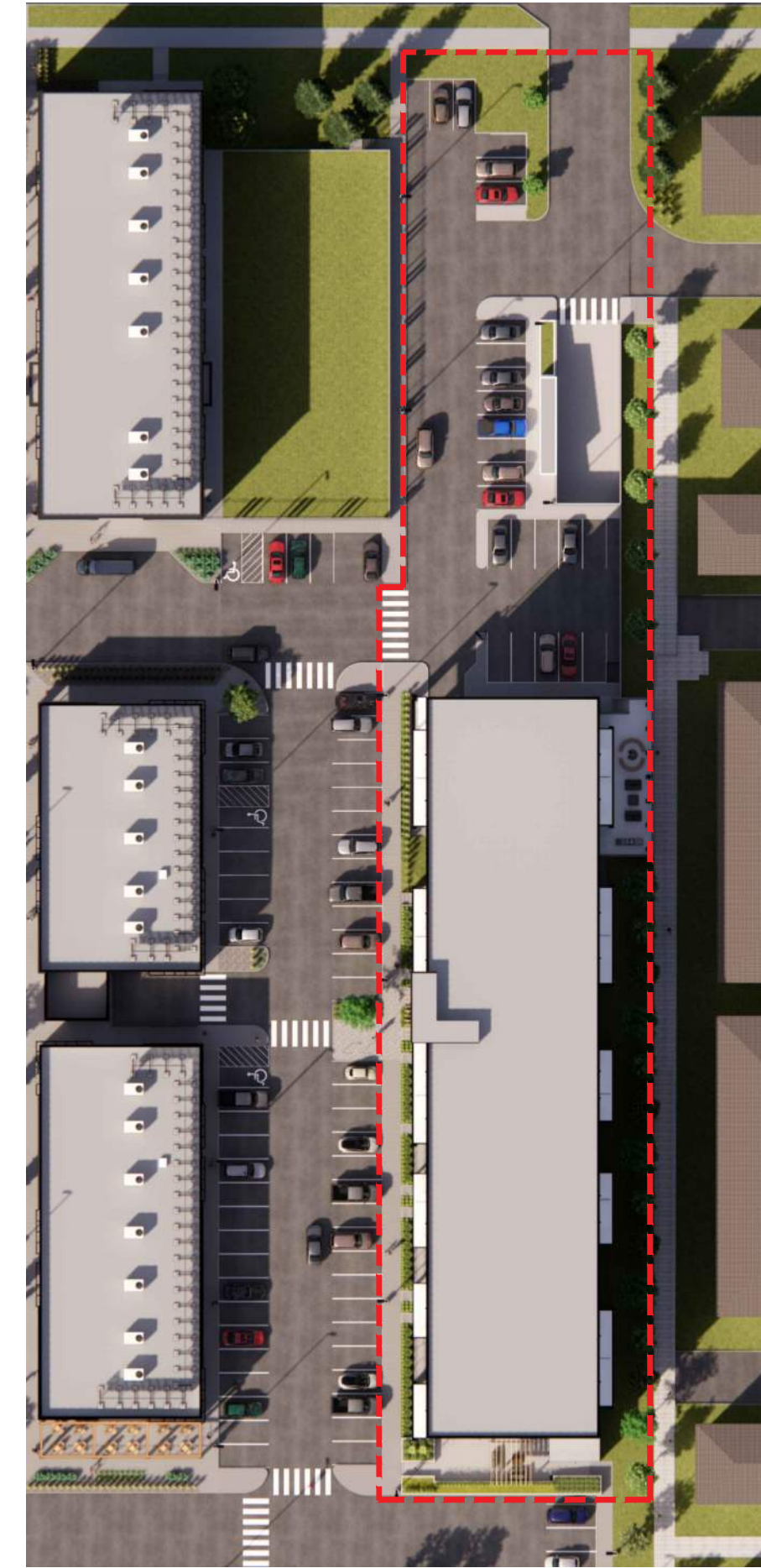
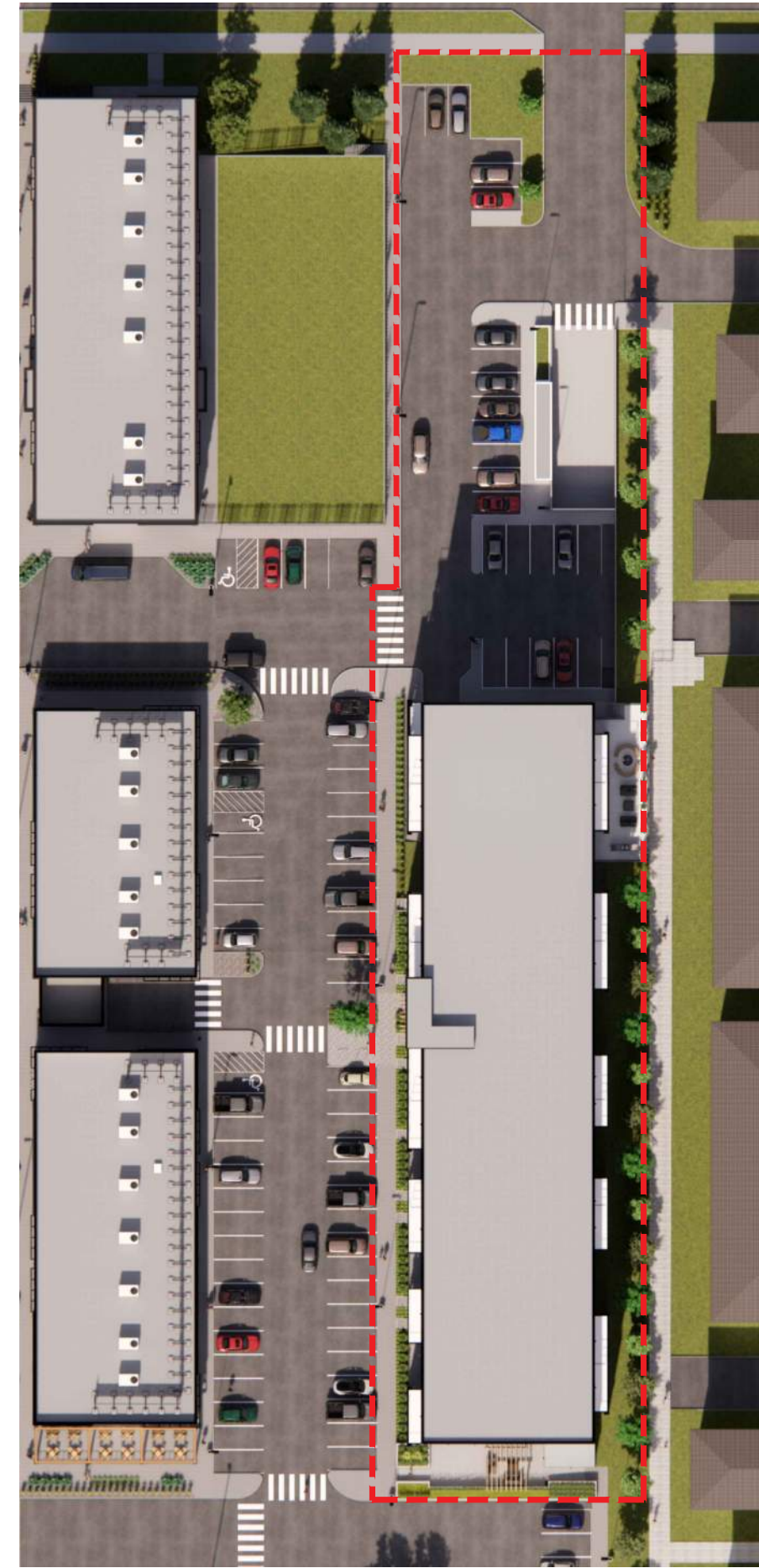
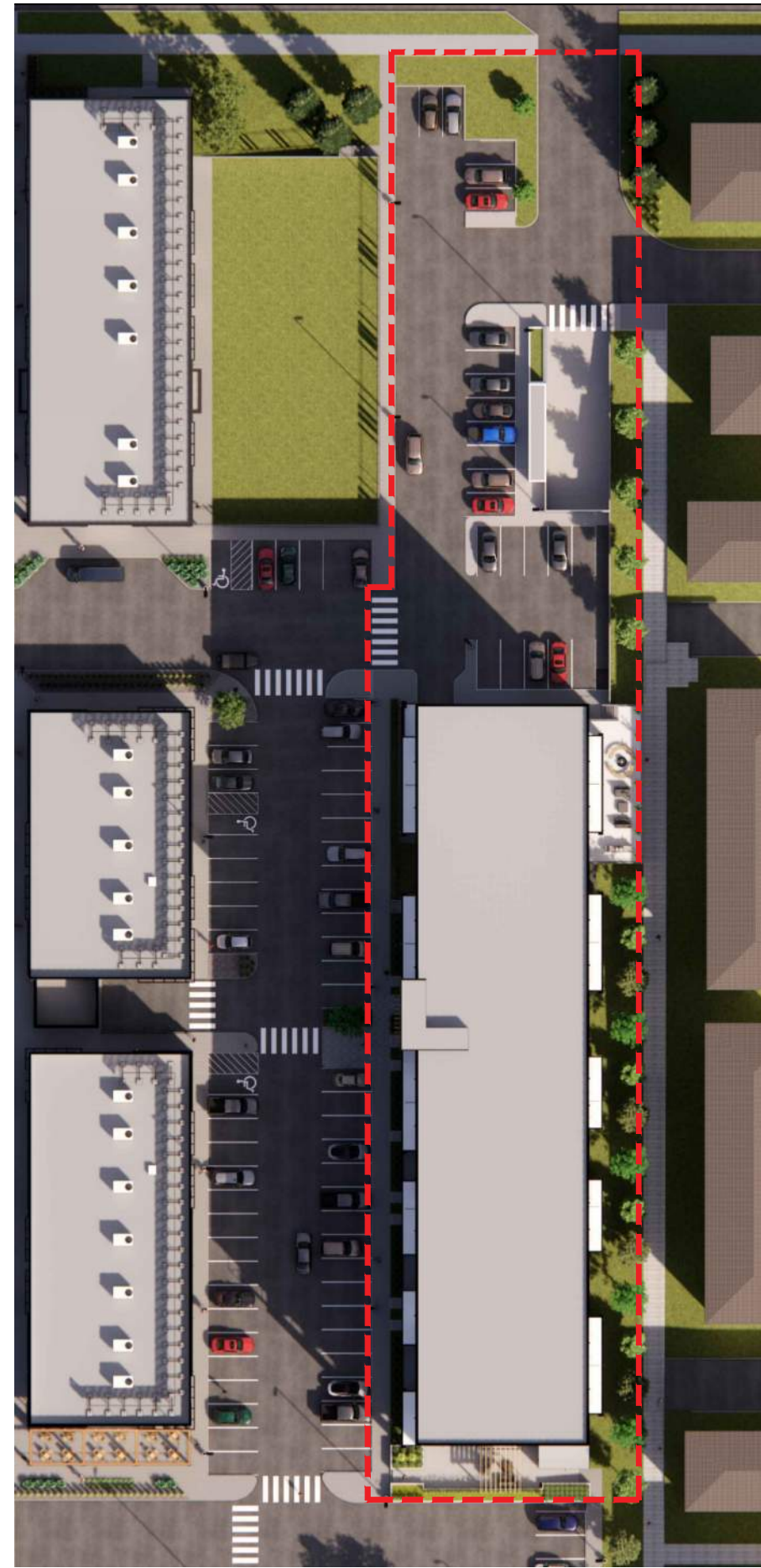
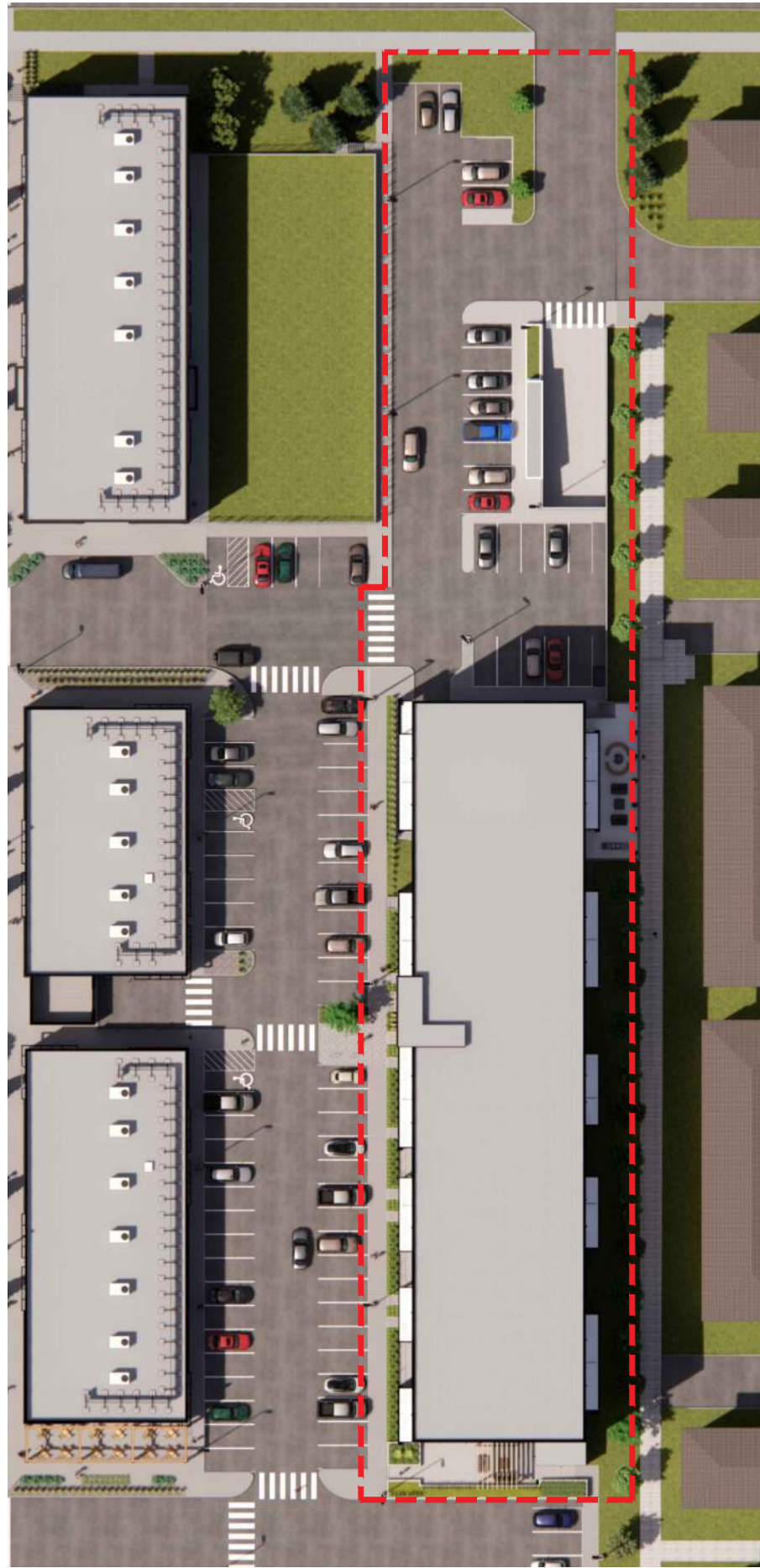
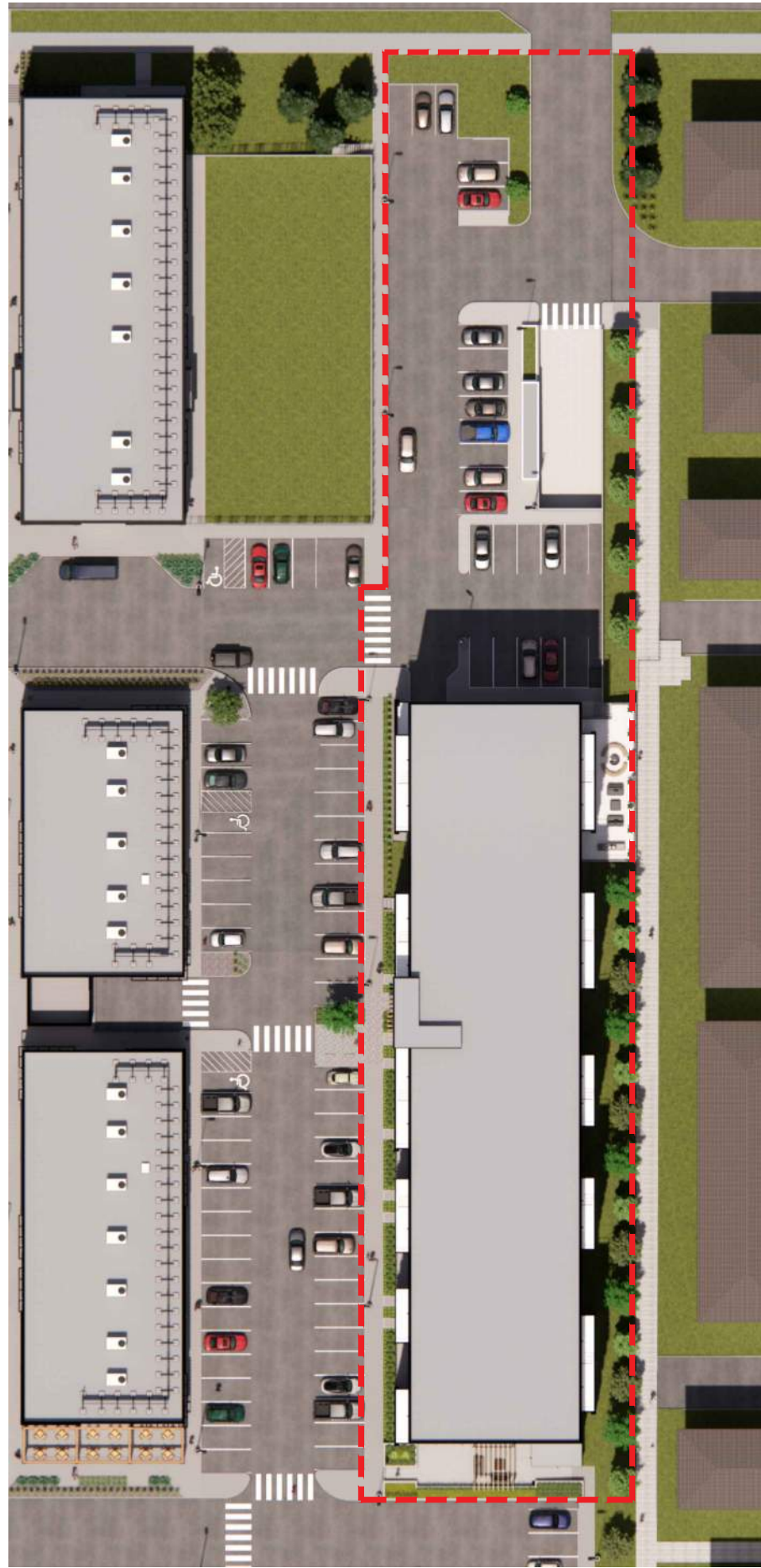
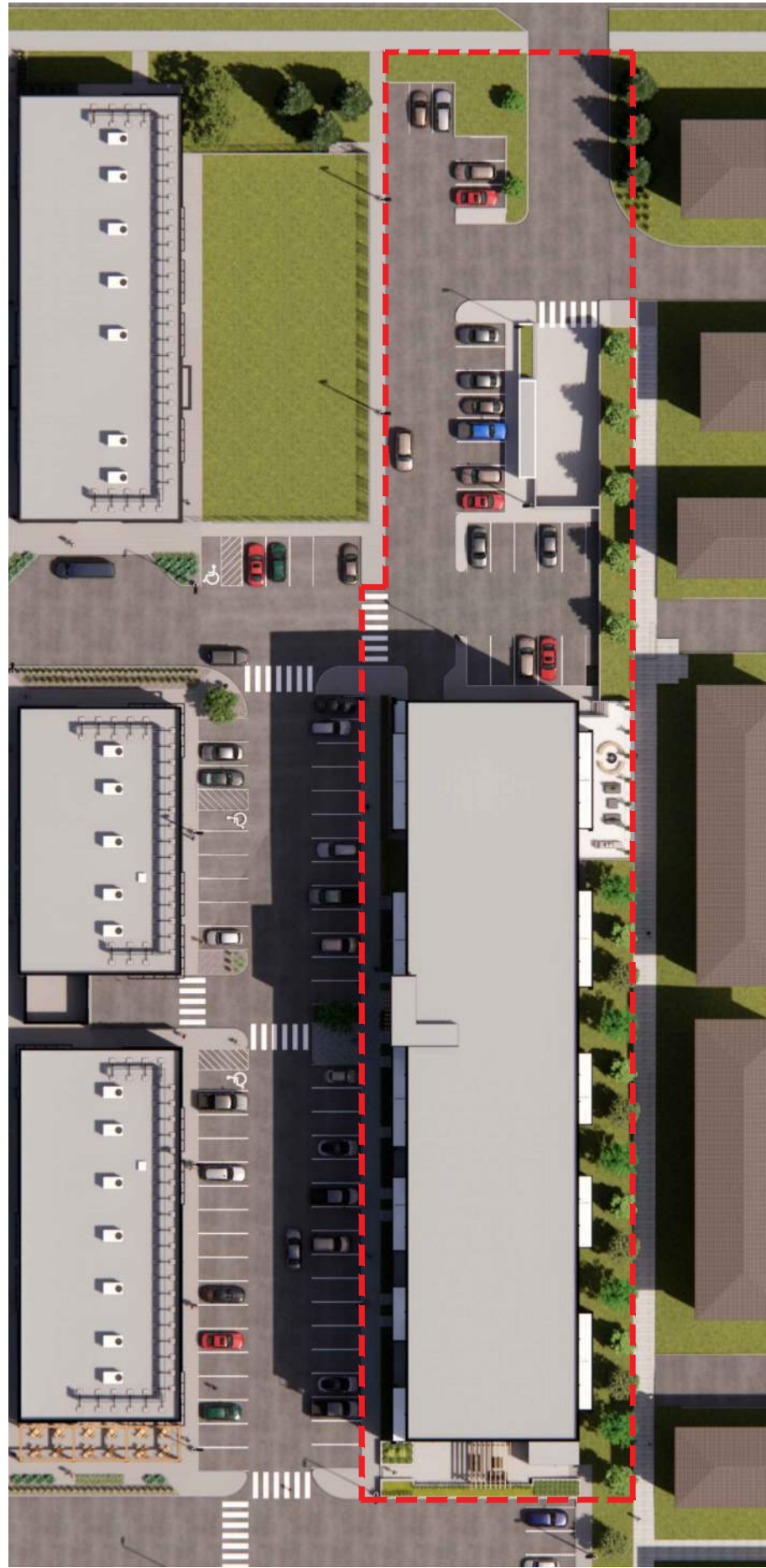
SCALE: AS NOTED

REVIEW BY: JS

DWG NO:

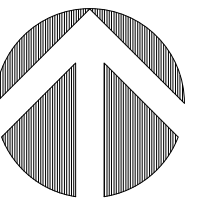
A003

THIS SURVEY IS NOT PREPARED BY WA ARCHITECTS AND
IS INCLUDED IN THIS PACKAGE FOR REFERENCE ONLY.



COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE EXCLUSIVE PROPERTY OF WA ARCHITECTS LTD. AND SHALL NOT BE USED WITHOUT THE ARCHITECT'S PERMISSION. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK.

NORTH ARROW:



OWNER/CLIENT:

**WESTCREST
BELMONT LTD.**

P.O. 75065, CALGARY, AB

GENERAL NOTES:

[illegible]

SEAL:



CONSULTANT:

WAA ARCHITECTS

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
 604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

WC BELMONT

PROJECT ADDRESS:

#2000 465 BELMONT AV SW, CALGARY AB

DRAWING TITLE:

SHADOW ANALYSIS

PROJECT NO: 26030

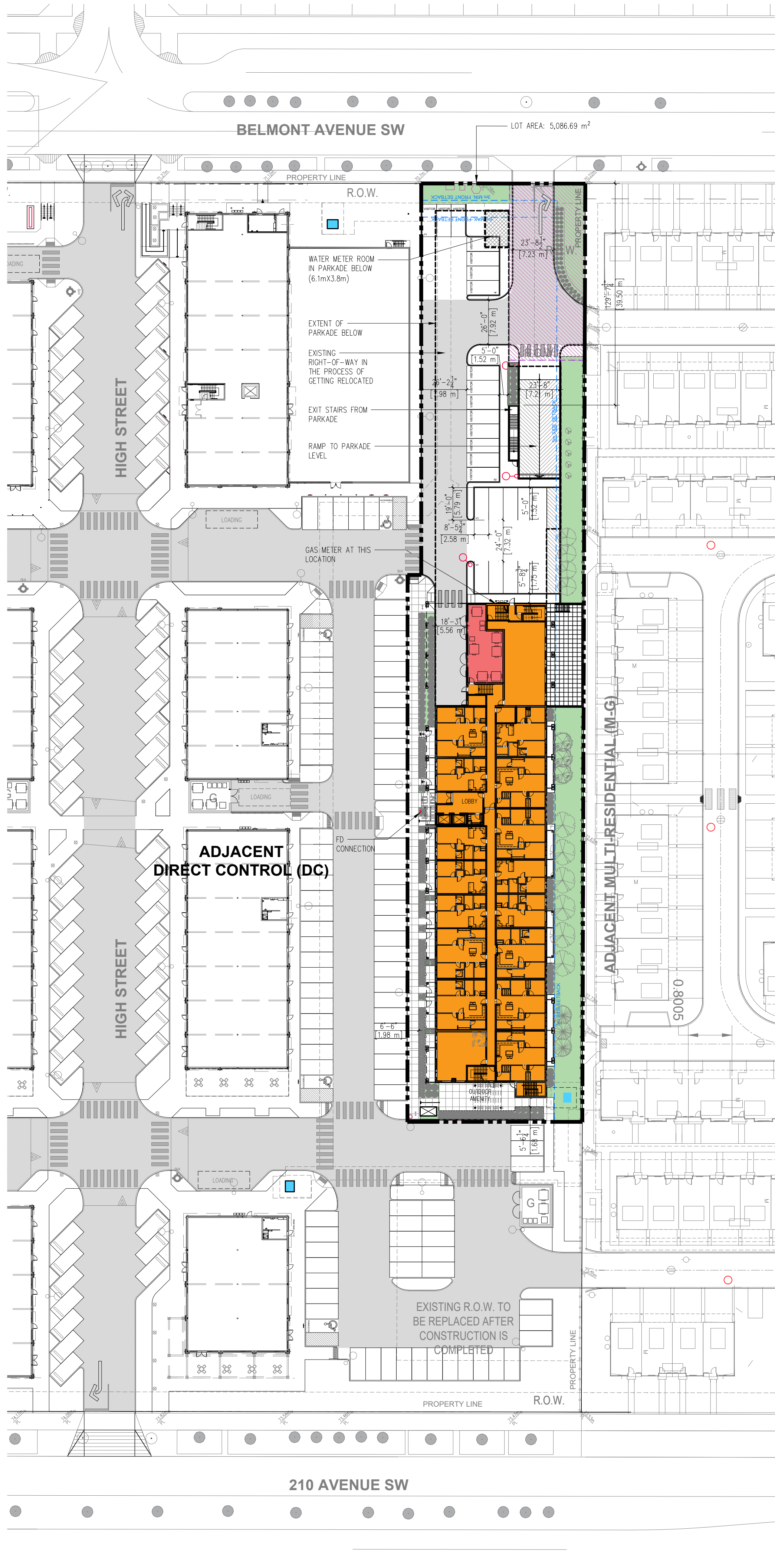
DRAWN BY: LO, BB

SCALE: AS NOTED

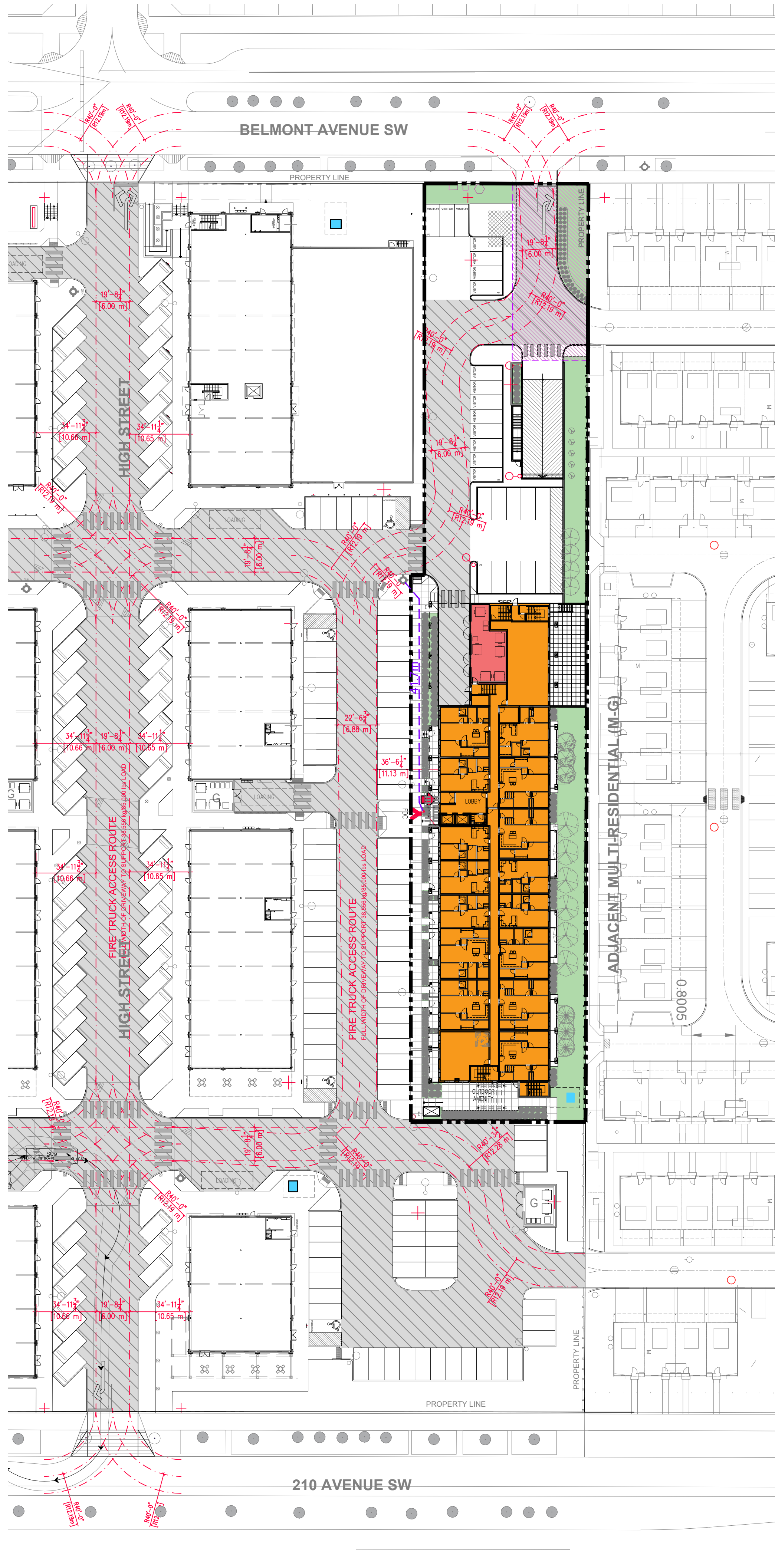
REVIEW BY: JS

DWG NO:

A004

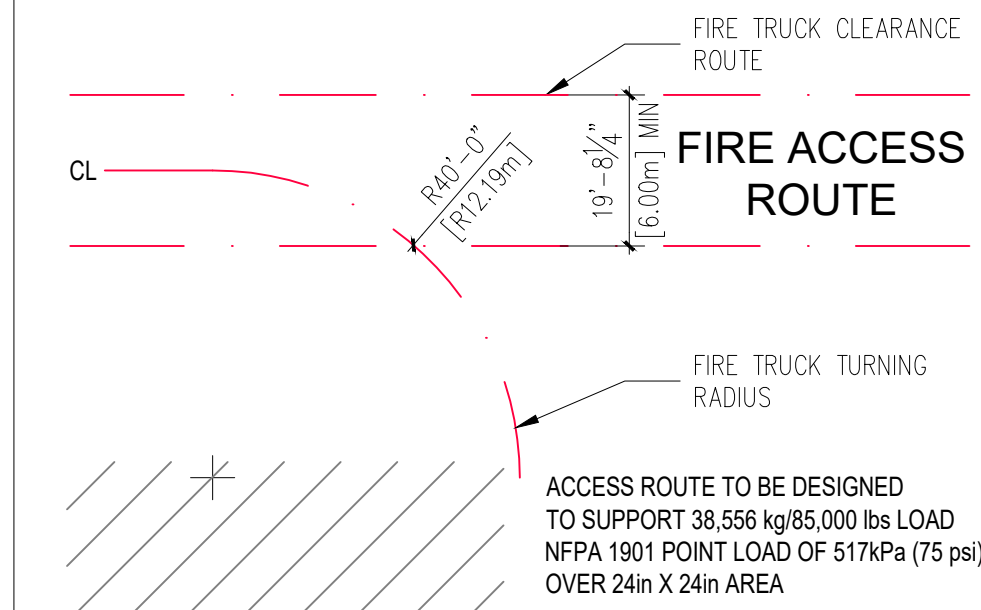


1 PROPOSED SITE PLAN
1:500



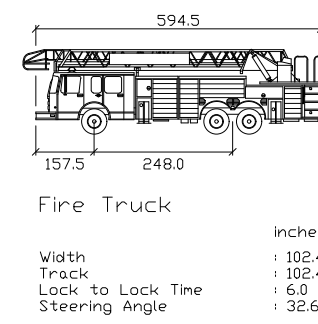
2 PROPOSED FIRE ACCESS PLAN
1:500

FIRE ACCESS ROUTE



VEHICLE PROFILE

FIRE TRUCK



FIRE ACCESS LEGEND

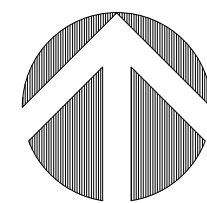
- FAAP FIRE ALARM ANNUNCIATOR PANEL
- FDC FIRE DEPARTMENT CONNECTION
- HYD FIRE HYDRANT-REFER TO CIVIL SITE SERVICE DWG FOR INFORMATION
- DISTANCE FROM FIRE HYDRANT TO BUILDING ENTRANCE OR FD CONNECTION

SITE LEGEND

- FIRE HYDRANT - SEE CIVIL
- LAMP STANDARD SEE ELEC.
- PAD MOUNT TRANSFORMER SEE ELEC.
- LANDSCAPE SEE LANDSCAPE
- CONCRETE PAD SEE STRU.
- CURB LETDOWN
- BIKE RACK SEE LANDSCAPE
- BENCH SEE LANDSCAPE
- GARBAGE RECEPTACLE SEE LANDSCAPE
- EXISTING GRADE
- PROPOSED FINISH GRADE
- PROPERTY LINE
- RIGHT OF WAY
- SETBACK LINE
- RETAINING WALL
- SCORED AND PAINTED CROSSWALK, SEE CIVIL
- PAINTED BARRIER FREE PARKING STALL, SIGN C/W FLEXIBLE ACCESSIBLE SIGN POST.

COPYRIGHT RESERVED. ALL PARTS OF THIS DRAWING ARE THE EXCLUSIVE PROPERTY OF WA ARCHITECTS LTD. AND SHALL NOT BE USED WITHOUT THE ARCHITECT'S PERMISSION. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR BEFORE COMMENCING WORK.

NORTH ARROW:



OWNER/CLIENT:

**WESTCREST
BELMONT LTD.**

P.O. 75065, CALGARY, AB

GENERAL NOTES:

4	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	26/07/24
3	ISSUED FOR COORDINATION	26/06/23
2	ISSUED FOR CLIENT REVIEW	26/06/17
1	ISSUED FOR CLIENT REVIEW	26/06/04
NO.	ISSUE	Y/M/D

SEAL:



CONSULTANT:

**IWA
ARCHITECTS**

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V8B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

WC BELMONT

PROJECT ADDRESS:

#2000 465 BELMONT AV SW, CALGARY AB

DRAWING TITLE:

**PROPOSED SITE PLAN &
FIRE ACCESS PLAN**

PROJECT NO: 28030

DRAWN BY: LO, BB

SCALE: AS NOTED

REVIEW BY: JS

DWG NO:

A100

NORTH ARROW:

OWNER/CLIENT:

**WESTCREST
BELMONT LTD.**

P.O. 75065, CALGARY, AB

GENERAL NOTES:

5	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	26/07/24
4	ISSUED FOR CLIENT'S REVIEW	26/07/09
3	ISSUED FOR CLIENT COORDINATION	26/06/23
2	ISSUED FOR CLIENT REVIEW	26/06/17
1	ISSUED FOR CLIENT REVIEW	26/06/05
NO.	ISSUE	Y/M/D

SEAL:



CONSULTANT:

PROJECT NAME:

WC BELMONT

PROJECT ADDRESS:

#2000 465 BELMONT AV SW, CALGARY AB

DRAWING TITLE:

ELEVATIONS

PROJECT NO: 26030

DRAWN BY: LO, BB

SCALE: AS NOTED

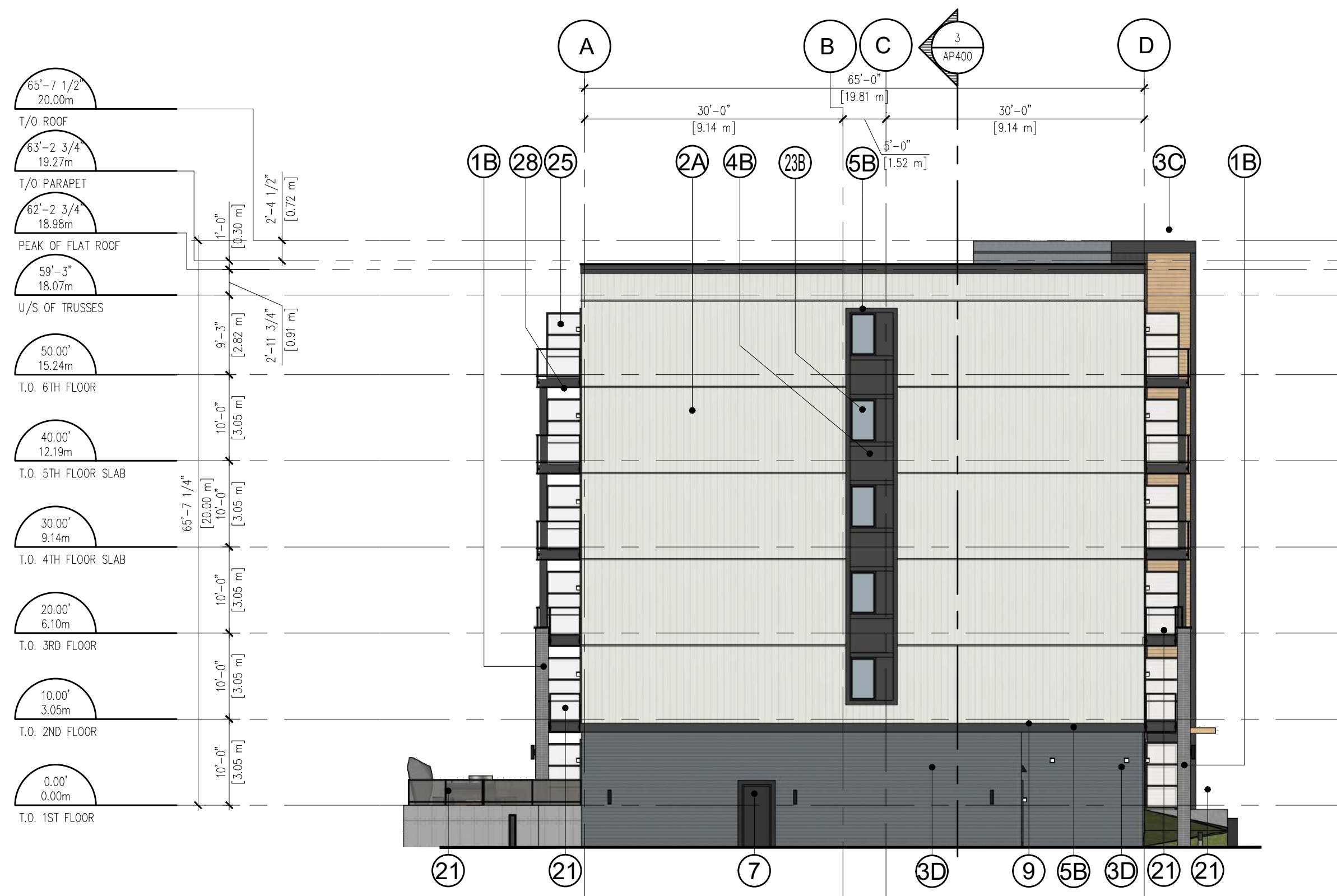
REVIEW BY: JS

DWG NO:

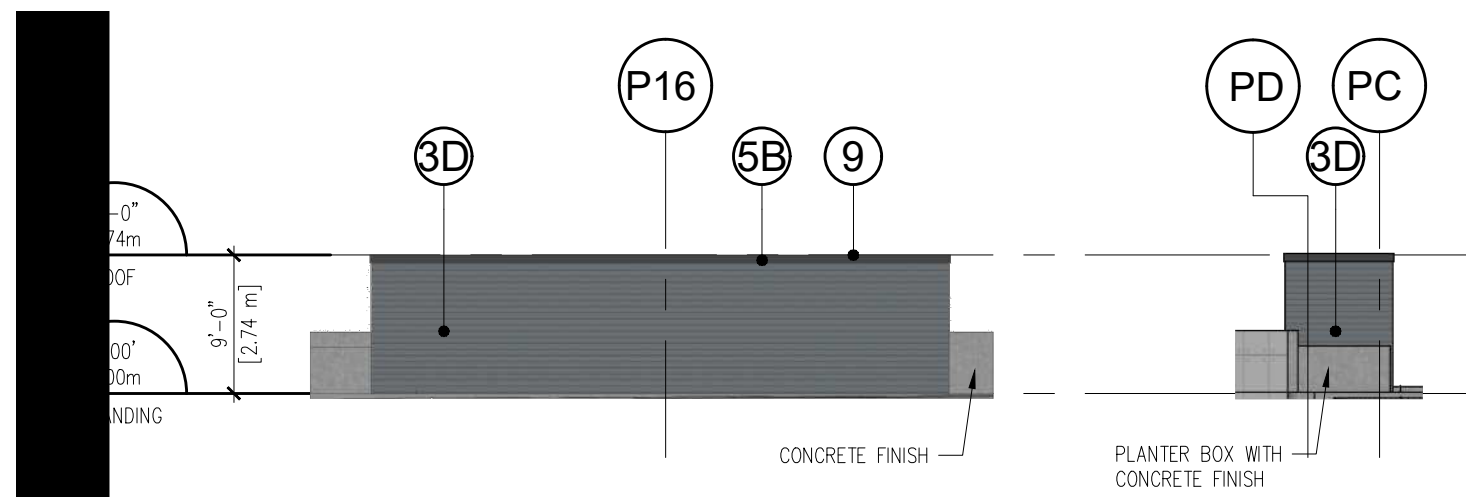
A300

LEGEND OF FINISHES (RESIDENTIAL)

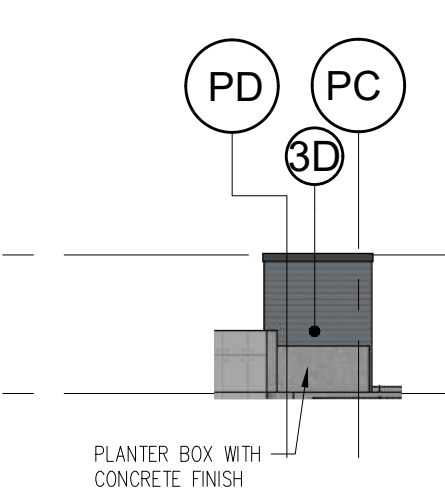
- | | |
|-----|--|
| 1B | THIN BRICK VENEER
GREY |
| 1C | THIN BRICK VENEER
CHARCOAL |
| 2A | CEMENTITIOUS BOARD & BATTEN
WHITE |
| 3C | CEMENTITIOUS PLANK – LAP SIDING
LIGHT BROWN |
| 3D | CEMENTITIOUS PLANK – LAP SIDING
DARK GRAY |
| 4B | CEMENTITIOUS BOARD W REVEAL SYSTEM,
PAINTED – BLACK |
| 4C | CEMENTITIOUS BOARD W REVEAL SYSTEM,
LIGHT GRAY |
| 5B | CEMENTITIOUS TRIM BOARD
BLACK |
| 7 | PAINTED STL DOOR
COLOUR TO MATCH ADJACENT WALL SURFACE |
| 9 | PREF. MTL FLASHING
BLACK |
| 11A | AL. STOREFRONT WINDOW (BLACK ANODIZED)
W/ CLEAR GLAZING |
| 11C | AL. WINDOW (BLACK ANODIZED)
W/ CLEAR GLAZING |
| 14 | LIGHTING – SEE ELECTRICAL |
| 21 | AL. GUARDRAIL (BLACK ANODIZED)
W/ FROSTED GLAZING |
| 23A | VINYL SLIDING DOOR W/ CLEAR GLAZING
BLACK |
| 23B | VINYL WINDOW W/ CLEAR GLAZING
BLACK |
| 24 | WOODEN TRELLIS |
| 25 | AL. PRIVACY SCREEN (BLACK ANODIZED)
W/ FROSTED GLAZING |
| 28 | METAL PERFORATED SOFFIT
SEE DRAWING |



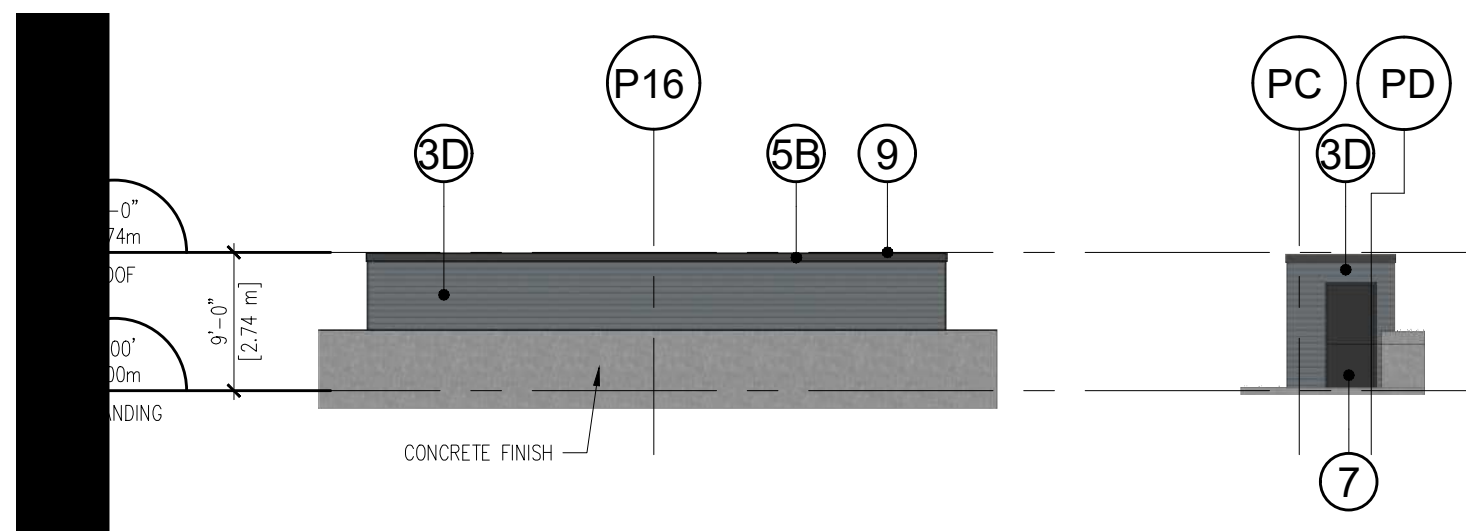
1 NORTH ELEVATION
1:150



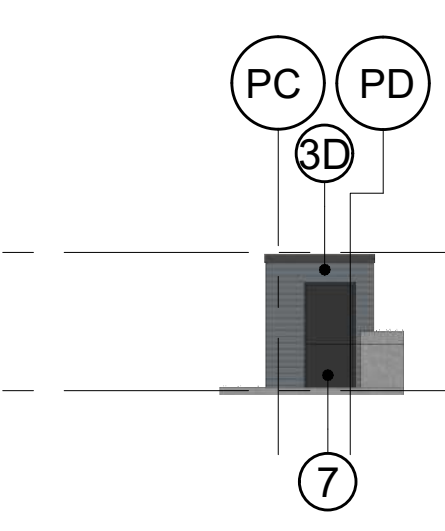
3 WEST ELEVATION
A201 PARKADE EXIT STAIR
1:150m



4 NORTH ELEVATION
A201 PARKADE EXIT STAIR
1:150m



5 EAST ELEVATION
A201 PARKADE EXIT STAIR
1:150m



6 SOUTH ELEVATION
PARKADE EXIT STAIR
1:150m



2 EAST ELEVATION
1:150

**WESTCREST
BELMONT LTD.**

P.O. 75065, CALGARY, AB

GENERAL NOTES:

5	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	26/07/24
4	ISSUED FOR CLIENT'S REVIEW	26/07/09
3	ISSUED FOR CLIENT COORDINATION	26/06/23
2	ISSUED FOR CLIENT REVIEW	26/06/17
1	ISSUED FOR CLIENT REVIEW	26/06/05
NO.	ISSUE	Y/M/D

SEAL:



CONSULTANT:

WC BELMONT

#2000 465 BELMONT AV SW, CALGARY AB

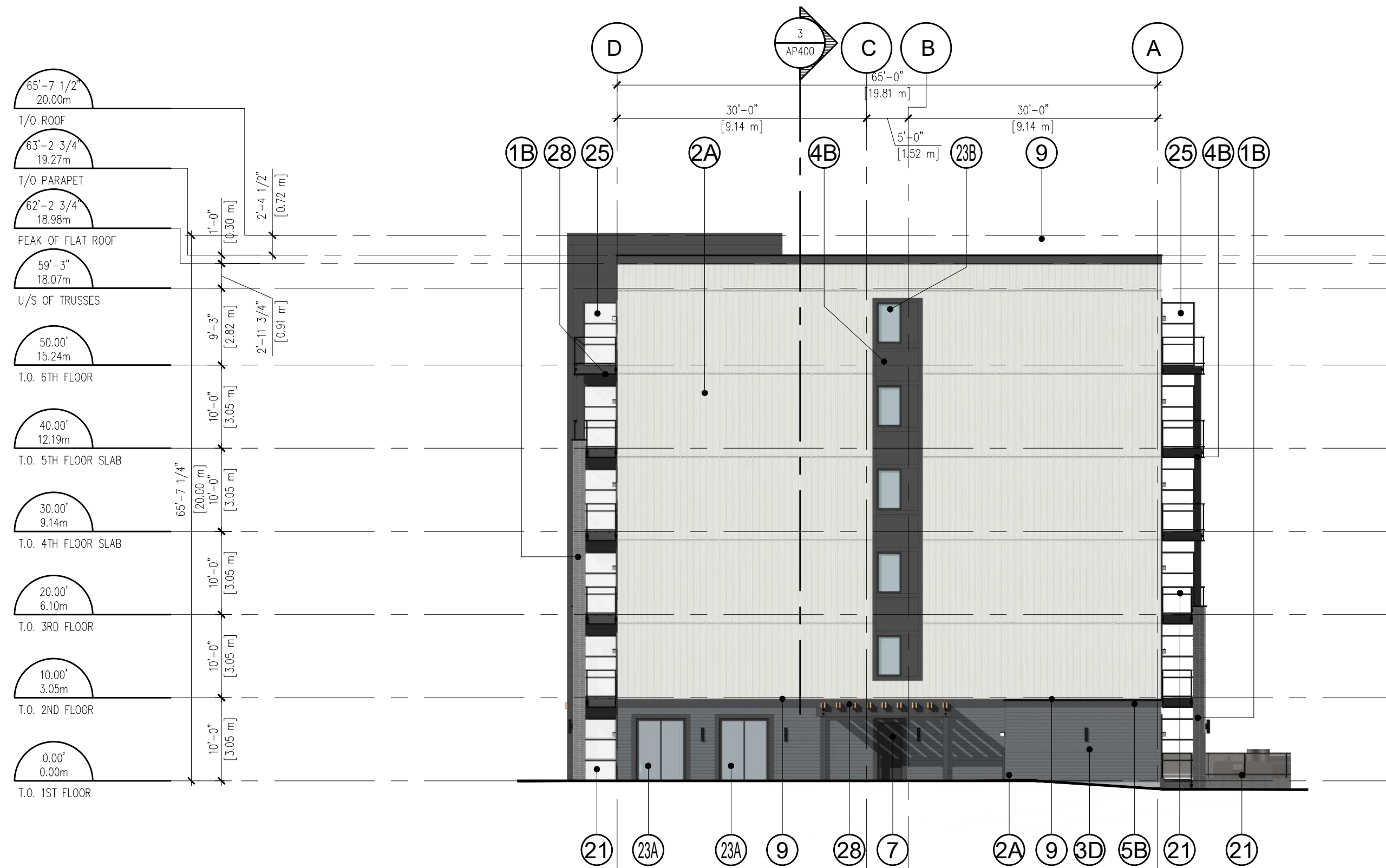
ELEVATIONS

DRAWN BY: LO. BB

REVIEW BY: JS

A301

1B	THIN BRICK VENEER GREY
1C	THIN BRICK VENEER CHARCOAL
2A	CEMENTITIOUS BOARD & BATTEN WHITE
3C	CEMENTITIOUS PLANK – LAP SIDING LIGHT BROWN
3D	CEMENTITIOUS PLANK – LAP SIDING DARK GRAY
4B	CEMENTITIOUS BOARD W REVEAL SYSTEM, PAINTED – BLACK
4C	CEMENTITIOUS BOARD W REVEAL SYSTEM, LIGHT GRAY
5B	CEMENTITIOUS TRIM BOARD BLACK
7	PAINTED STL DOOR COLOUR TO MATCH ADJACENT WALL SURFACE
9	PREF. MTL FLASHING BLACK
11A	AL. STOREFRONT WINDOW (BLACK ANODIZED) W/ CLEAR GLAZING
11C	AL. WINDOW (BLACK ANODIZED) W/ CLEAR GLAZING
14	LIGHTING – SEE ELECTRICAL
21	AL. QUARDROIL (BLACK ANODIZED) W/ FROSTED GLAZING
23A	VINYL SLIDING DOOR W/ CLEAR GLAZING BLACK
23B	VINYL WINDOW W/ CLEAR GLAZING BLACK
24	WOODEN TRELLIS
25	AL. PRIVACY SCREEN (BLACK ANODIZED) W/ FROSTED GLAZING
28	METAL PERFORATED SOFFIT WOOD APPEARANCE



1 SOUTH ELEVATION

1:150



2 WEST ELEVATION

1.150

NORTH ARROW:

P.O. 75065, CALGARY, AB

GENERAL NOTES:

SEAL

VAN 950 - 1500 W. Georgia Street Vancouver, V6G 2Z6
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

A310



②⑧ METAL PERFORATED
SOFFIT - BLACK

Utility and Linetype Legend

symbol	description
	property line
	setback
	utility right of way - refer to civil
	parkade boundary - refer to architecture
	water line - refer to civil
	storm line - refer to civil
	sanitary line - refer to civil
	screen fence - by others

Landscape Legend

symbol	description
	concrete surfacing c/w saw cuts and broom finish
	sod
	rock mulch

Plant List for Trees

number	symbol	description
21		deciduous trees showy mountain ash - 75mm cal. <i>sorbus decora</i>
4		amur maple - as noted <i>acer ginnala</i>
5		columnar swedish aspen - 50mm cal. <i>populus tremula 'erecta'</i>
3		coniferous trees - 3.0m ht. scotch pine <i>pinus sylvestris</i>
3		coniferous trees - 2.0m ht. ponderosa pine <i>pinus ponderosa</i>

Plant List for Shrubs

number	symbol	description
51		blue fox willow <i>salix brachycarpa</i>
21		dwarf mugo pine <i>pinus mugo var. pumilio</i>
5		goldflame spirea <i>spirea x bumalda 'goldflame'</i>

shrub notes:
600 sp / ht
± 900-2000 mature
min. #2 container size

Plant List for Perennials

number	symbol	description
37		flame grass <i>miscanthus sinensis 'purpurascens'</i>
136		karl foerster reed grass <i>calamagrostis x acutiflora 'karl foerster'</i>
130		blonde ambition blue gamma grass <i>bouteloua gracilis 'blonde ambition'</i>



K17

Landscape Forms Ring Bike Rack

DP-L2

Scale n.t.s

General Notes

- site plan prepared using information provided by WA Architects on June 23rd, 2026.
- contractor is responsible for locating utilities and protecting same from damage during construction, contact Utility Safety Partners at 1-800-242-3447, commencement of work indicates completion of utility locates.
- all drawings are property of landscape architect. site clean-up is incidental to the work, the contractor shall report any discrepancies between the site conditions shown and to those existing at the time of construction to the owner's representative.
- if discrepancies exist between drawings, the largest scale shall be taken as correct. final interpretation belongs to the landscape architect. contractor to coordinate and attend all inspections and approvals required by the owner.
- all drawings are metric unless otherwise noted.
- all layouts shall be approved on site by landscape architect prior to construction, contractor to notify owner's representative minimum 72 hours prior.
- contractor shall refer to related disciplines as indicated on plan's where applicable.
- all soft landscape areas are to be sloped to ensure positive drainage away from structures, u.n.o.
- disturbance outside limit of construction line to be repaired to the satisfaction of the owner's representative.
- refer to civil engineering drawings for grading information.

Irrigation Note

- All soft surfaced landscaped areas to be irrigated by a low water irrigation system.

Parkade Planting Notes

- all tree planting above the parkade requires a minimum of 1200mm depth topsoil
- all shrub planting beds above the parkade requires a minimum of 600mm depth topsoil
- all other landscaped areas above the parkade requires a minimum of 300mm depth topsoil



issue	date	no.
issued for development permit	26/07/20	1

revision	date	no.

project

WC Belmont

drawn

JK

checked

JJ

approved

JJ

project #

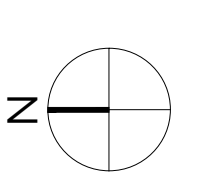
26.0215

date

2026/07/20

drawing

Landscape Plan



sheet

DP-L2

