

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



Horizon Land Surveys Inc.

#103, 6919 32 Ave N.W. P. 403-719-0272
Calgary, Alberta, T3B0K6 F. 403-775-4171

LEGAL DESCRIPTION:

Lot 24
Block 10
Plan 4948 JK

SCALE: 1:250

LEGEND:

Property Line	-----	Main Building Hatch	□
Right of Way Line	-----	Detached Garage Hatch	□
Eave Line	-----	Shed Hatch	□
Fence Line	-X-X-	Concrete and Asphalt Hatch	▨
Statutory Iron Post	●	Wood Hatch	▩
Drill Hole	×		
Iron Bar	+		
Calculation point	X		
'A'--Length of Arc		'C'--Certificate	
'A/C'--Air Conditioner		'Calc'--Calculated	
'AGL'--Above Ground Level		'Cant'--Cantilever	
'BC'--Back of Curb		'Conc'--Concrete	
'BW'--Back of Walkway		'C.S.'--Countersunk	
		'D.H.'--Drill Hole	
		'Enc'--Encroachment	
		'Fd'--Found	
		'I'--Statutory Iron Post	
		'Mk'--Mark	
		'R'--Radius of Arc	
		'Ret'--Retaining	
		'R/W'--Right of Way	
		'T'--Title	

CERTIFICATION:

I, Xianglei Wang, Alberta Land Surveyor do hereby certify that this Report and related survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly, within those standards as of the date of this Report, I am of the opinion that:

- The Plan illustrates the boundaries to the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title of the property;
- The improvements are entirely within the boundaries of the property;

3. No visible encroachments exist on the Property from any improvement situated on an adjacent property;

4. No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property;

5. This information is based on a title search dated March 21st, 2021, C. of T. No. J31-208-418, and is subject to the following instruments:

Zoning Regulations No. 771 147 064
Mortgage No. 201 155 799

6. Unless otherwise specified, the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.

7. Distances are in metres and decimals thereof;
Line works and dimensions outside of the Property are not to scale;
Main exterior finishing material extends 0.02 metres beyond foundation unless otherwise noted;

All eaves are measured from foundation to fascia unless otherwise noted;
All fences are within 0.20 metres of the property lines unless otherwise shown.

8. Purpose: This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

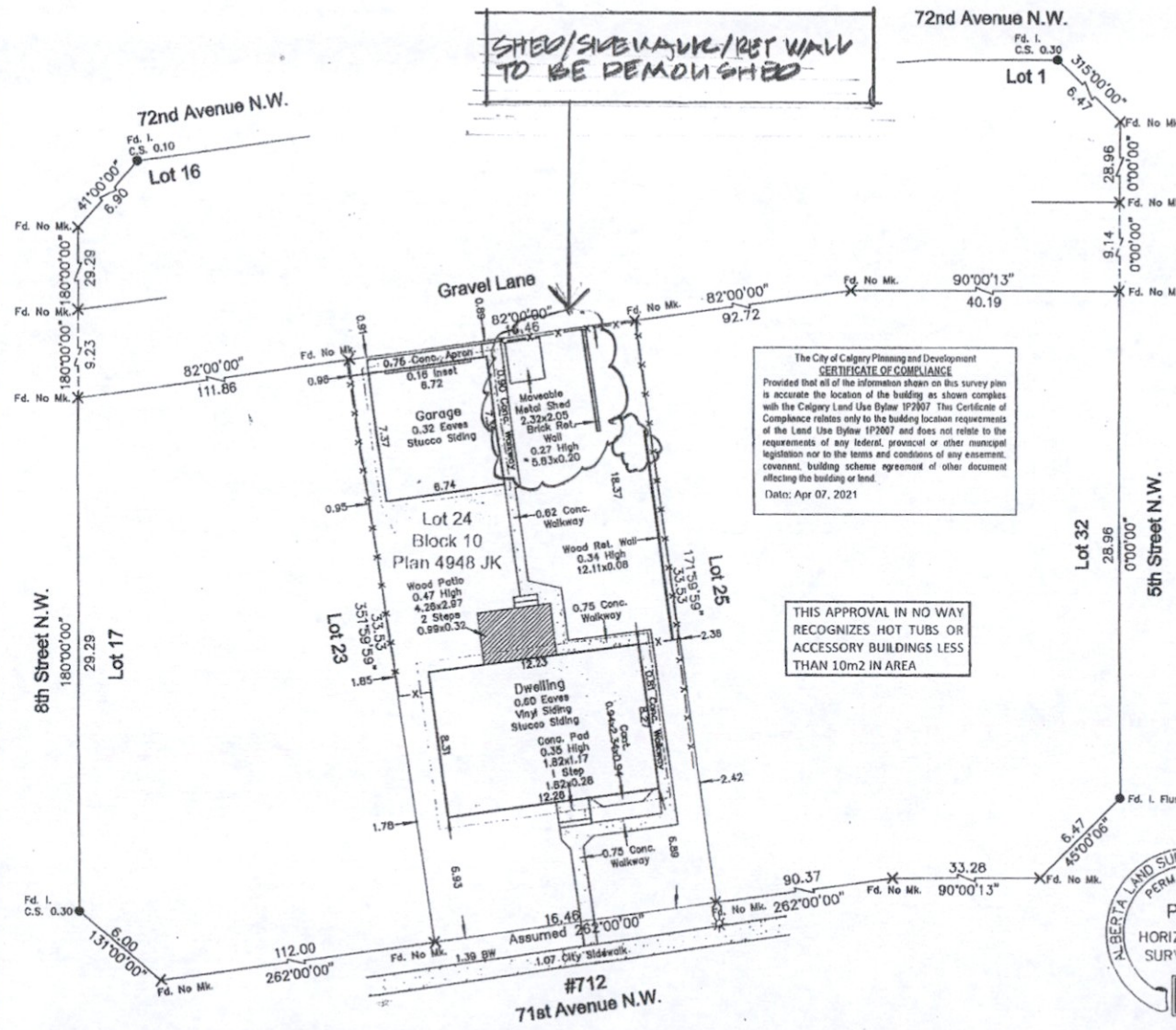
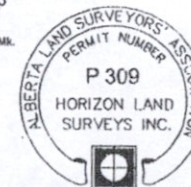
9. This document is not valid unless it bears an original signature (in blue ink) and a Horizon Land Surveys Inc. permit stamp (in red ink).

Dated this 6th day of April, 2021.

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Prepared for:	
File No.: 210366	Date: 06/Apr/2021
Surveyed: NG	Drawn: XW/SN

Xianglei (Lei) Wang, A.L.S.

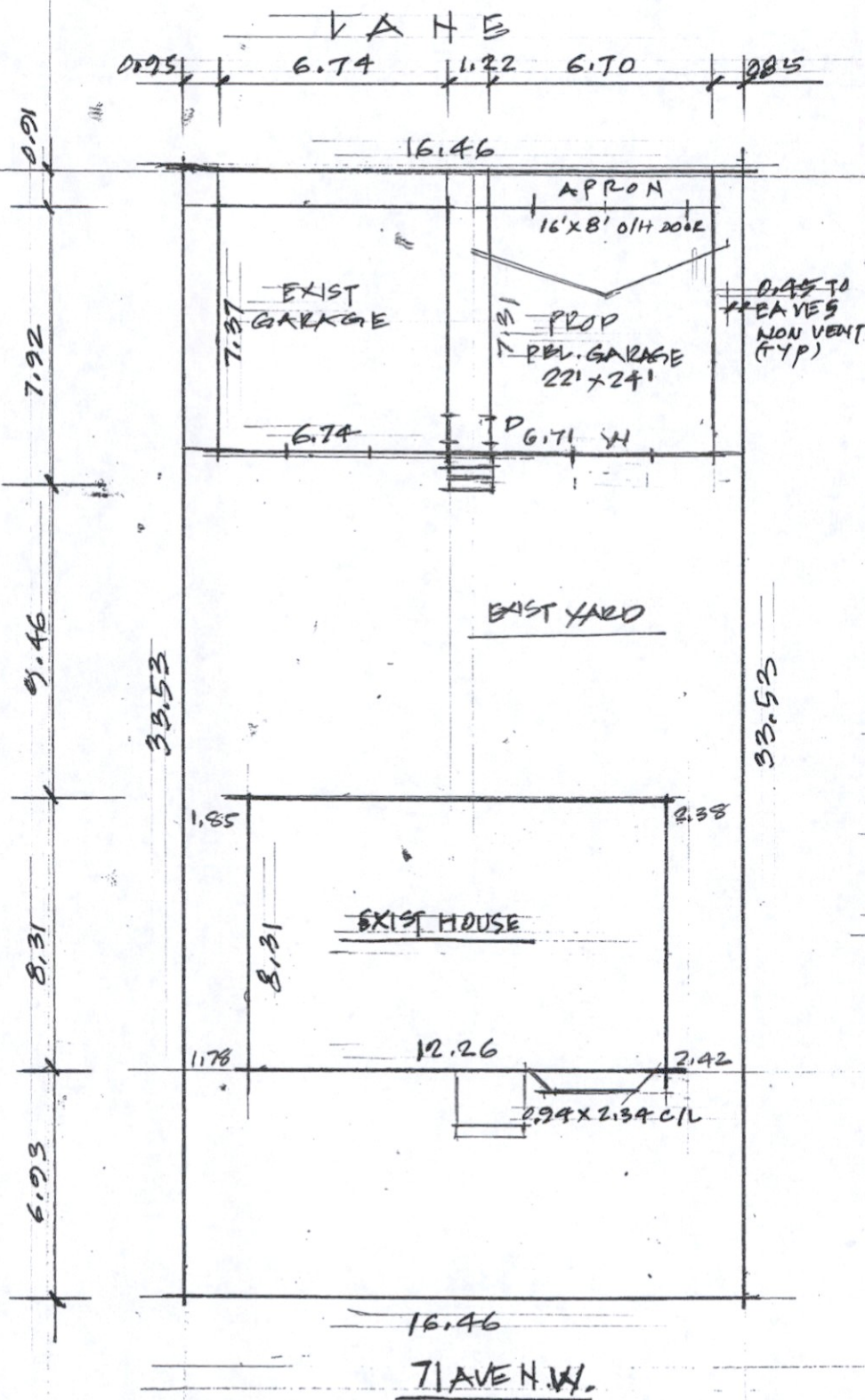


REAL PROPERTY REPORT

712-71AVE HW
EXIST. REAL PROP REPORT

DATE: JULY 2026

1



SITE DATA

MUNICIPAL ADDRESS

712-71 AVE N.W.

LEGAL DESCRIP

LOT 24

BLOCK 10

PLAN 4948JK

	M ²
EXIST HOUSE	104.86
EXIST GARAGE	49.67
PROPOSED GARAGE	48.97
TOTAL AREA	203.50
LOT AREA	551.90
LOT COVERAGE	36.87%

TOTAL ACC BLDG
AREA 198.64 M²
IS LESS THAN HOUSE
AREA 104.86 M²

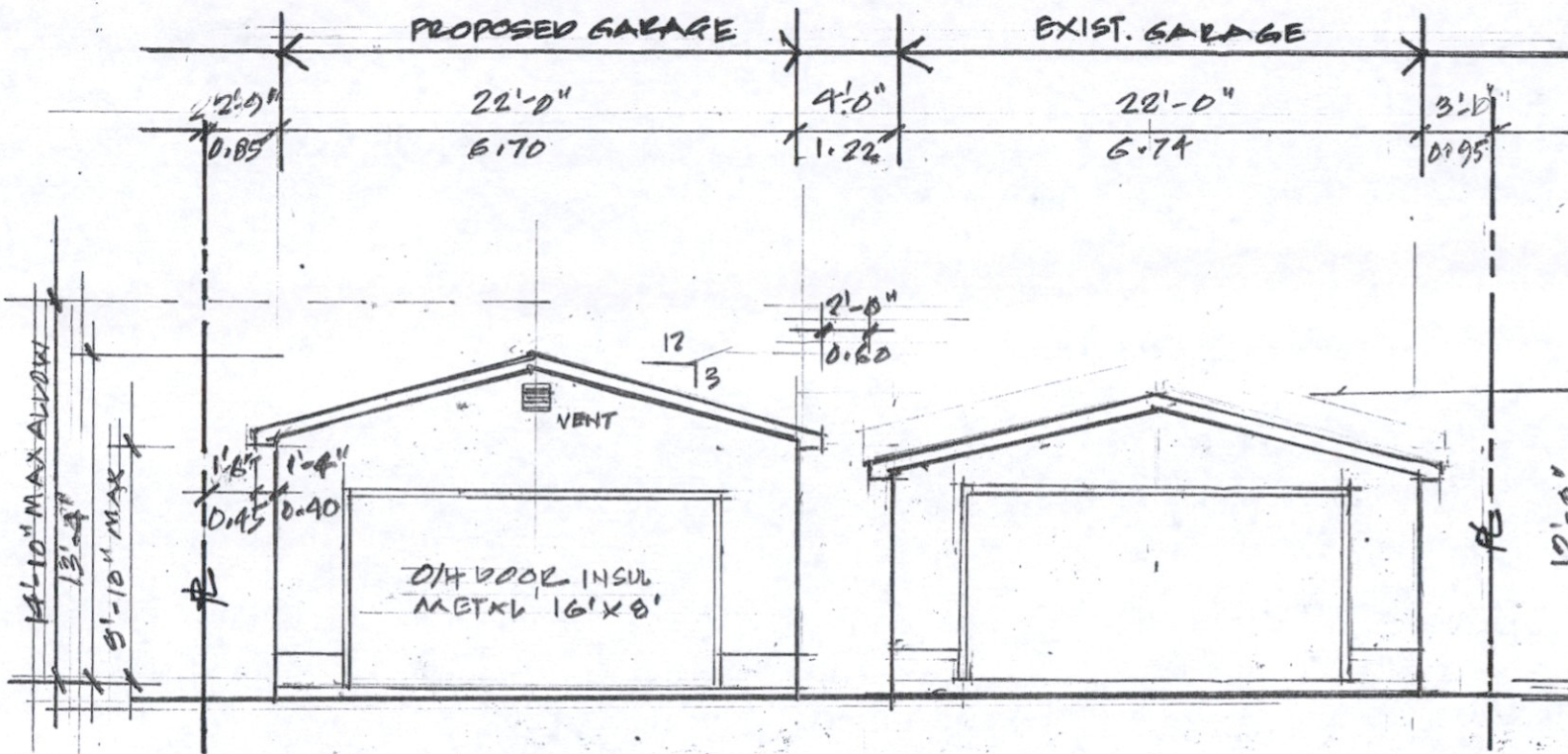
SITE PLAN

1:200

REFER TO R.P.R. ATTACHED

712-71 AVE N.W.
PROP. REAR DETACHED GARAGE

DATE: JULY 2026

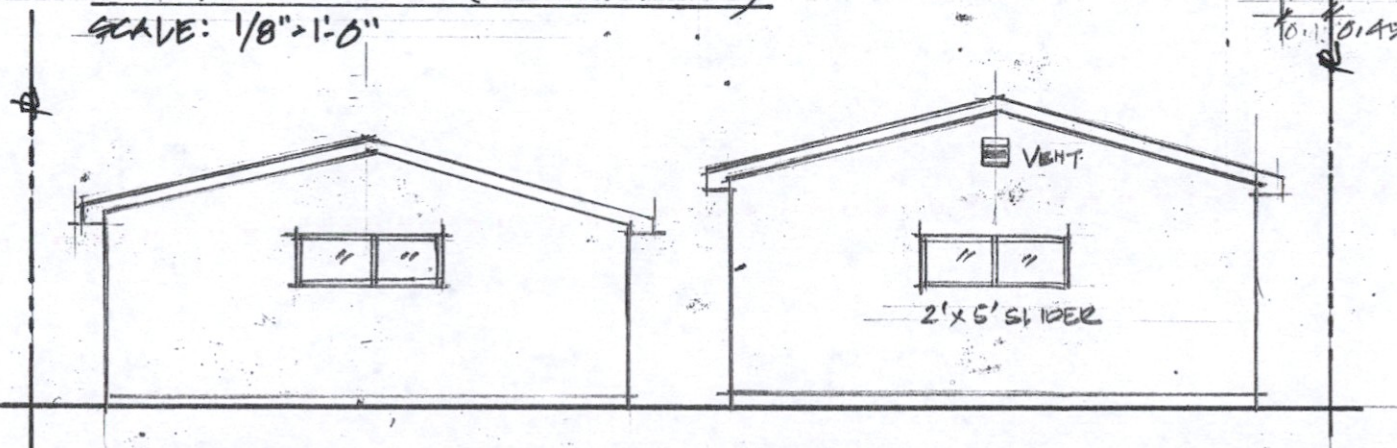


EXIST GARAGE EXT.

- ASPHALT SHINGLES
- PREFIN ALUM FASCIA GUTTER, SOFFIT, TRIM & D/SPOUTS
- CEMENT STUCCO

FRONT ELEVATION (FACING LAKE)

SCALE: 1/8" = 1'-0"



PROP. GARAGE EXT

- 25 YEAR ASPHALT SHINGLES
- NON VENTED SOFFITS
- PREFIN, ALUM FASCIA, GUTTER, SOFFIT, TRIM & D/SPOUTS
- CEMENT STUCCO FINISH

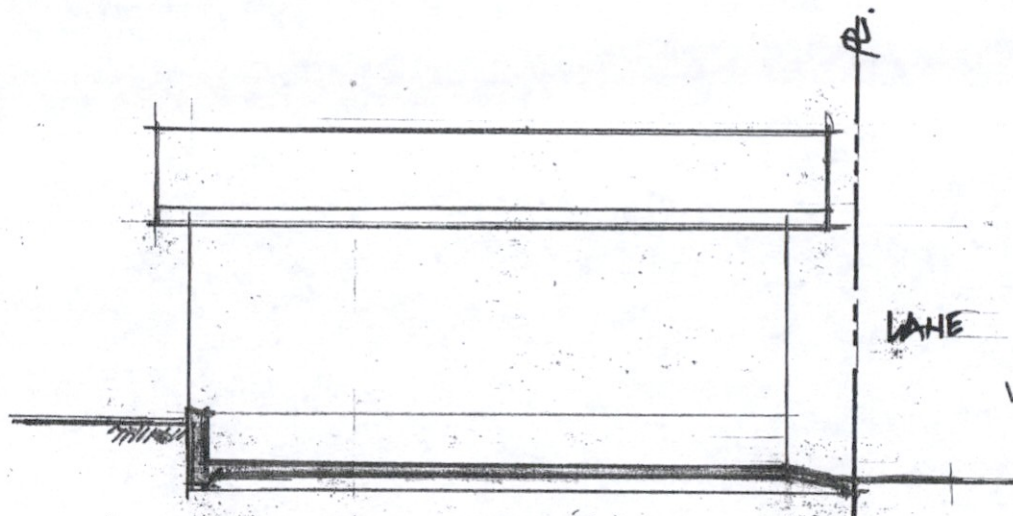
REAR ELEVATION (FACING HOUSE)

SCALE: 1/8" = 1'-0"

ELEVATIONS
FRONT & REAR

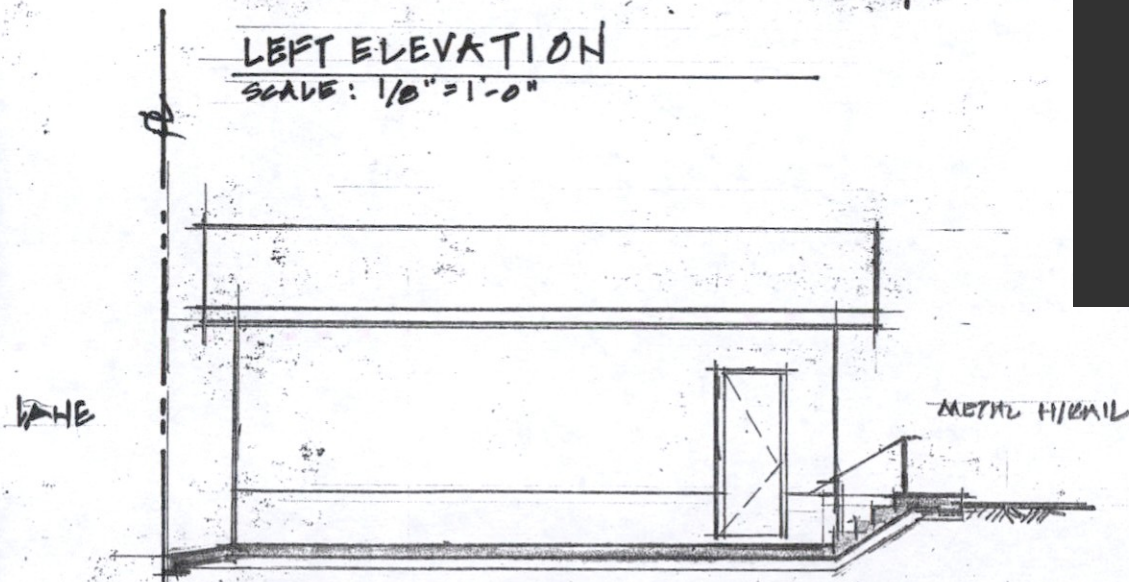
712-71AVE N.W.
PROPOSED 2ND REAR DET. GARAGE

DATE: JULY 2026



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION SCALE: 1/8" = 1'-0"

ELEVATIONS (SIDE)
LONG SECTION

712 - 71 AVE NW
PROPOSED 2ND REAR DET. GARAGE

DATE: JULY 2026