

COLLECTIVE DESIGN

Ramsay – Townhouses
6 UNIT & 6 SUITE
DC-HGO DEVELOPMENT

1123 & 1126 8 St SE
LOT 15 & 16, BLOCK 17,
PLAN SA2

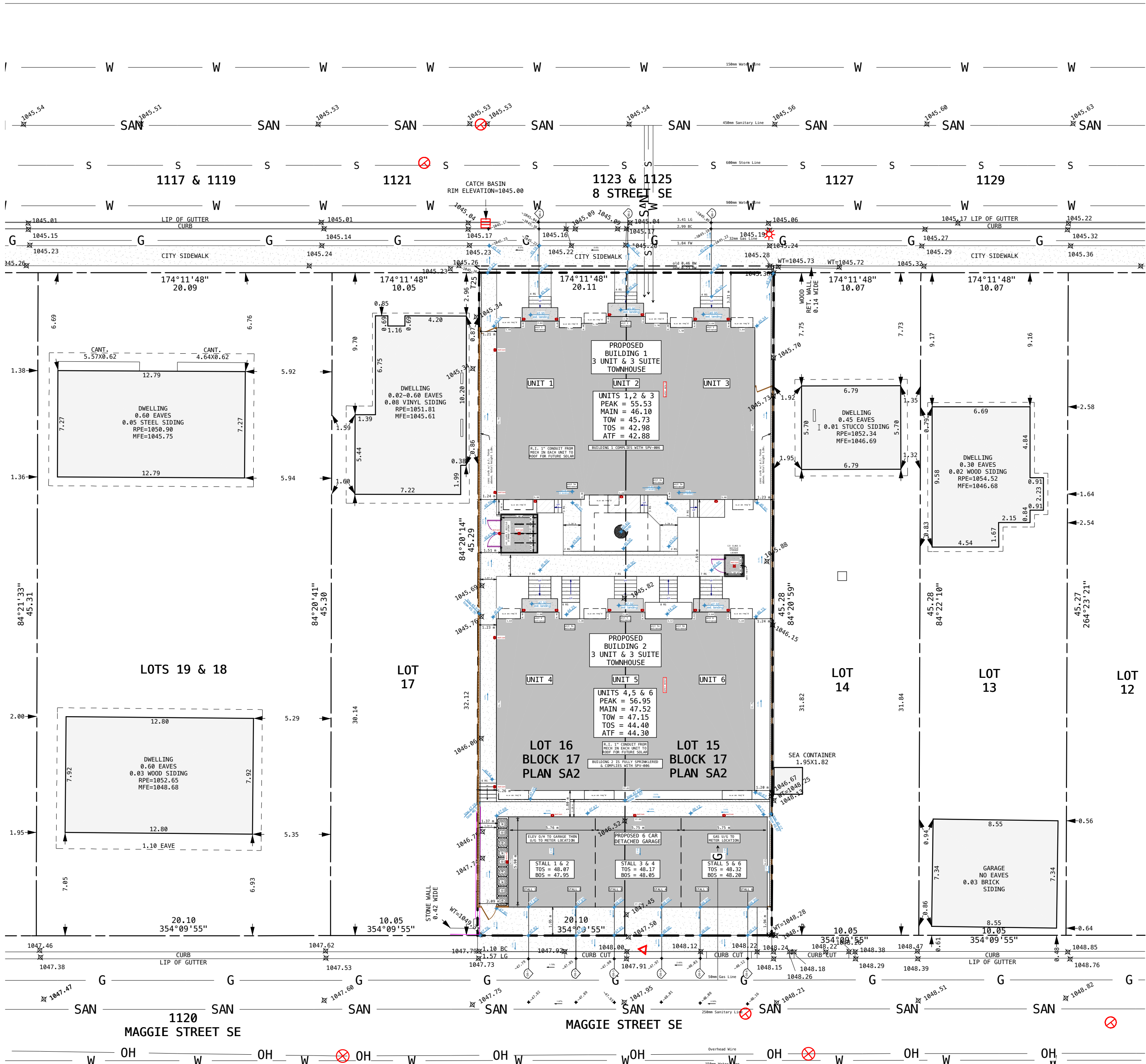
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EXTERIOR IMAGES
SCALE: NTS

BLOCK PLAN
SCALE: 1=200



COLLECTIVE DESIGN

CONTACT INFO
PHONE: 403-671-2856
EMAIL: clay@collectivedesign.ca

RESPONSIBILITIES

COLLECTIVE DESIGN
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Ramsay – Townhouses
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DC-HGO DEVELOPMENT
ADDRESS:
1123 & 1125 8 St SE
LEGAL ADDRESS:
LOT 15 & 16, BLOCK 17,
PLAN SA2

DISTRICT ZONING: H-GO
PROPOSED UNITS: 6
PROPOSED SUITES: 6

UNIT	FLOOR	AREA
1	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (1a)	703
2	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (2a)	703
3	MAIN	756
	SECOND	713
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	SUITE (3a)	703
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PROJECT STAGE	DATE ISSUED
-DP SET	-07.16.26
-	-
-	-
-	-

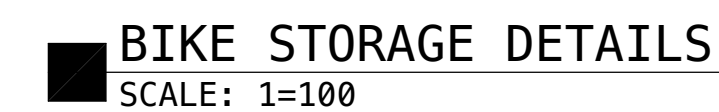
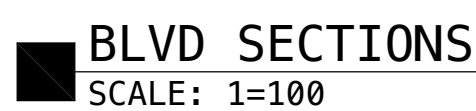
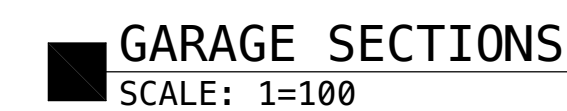
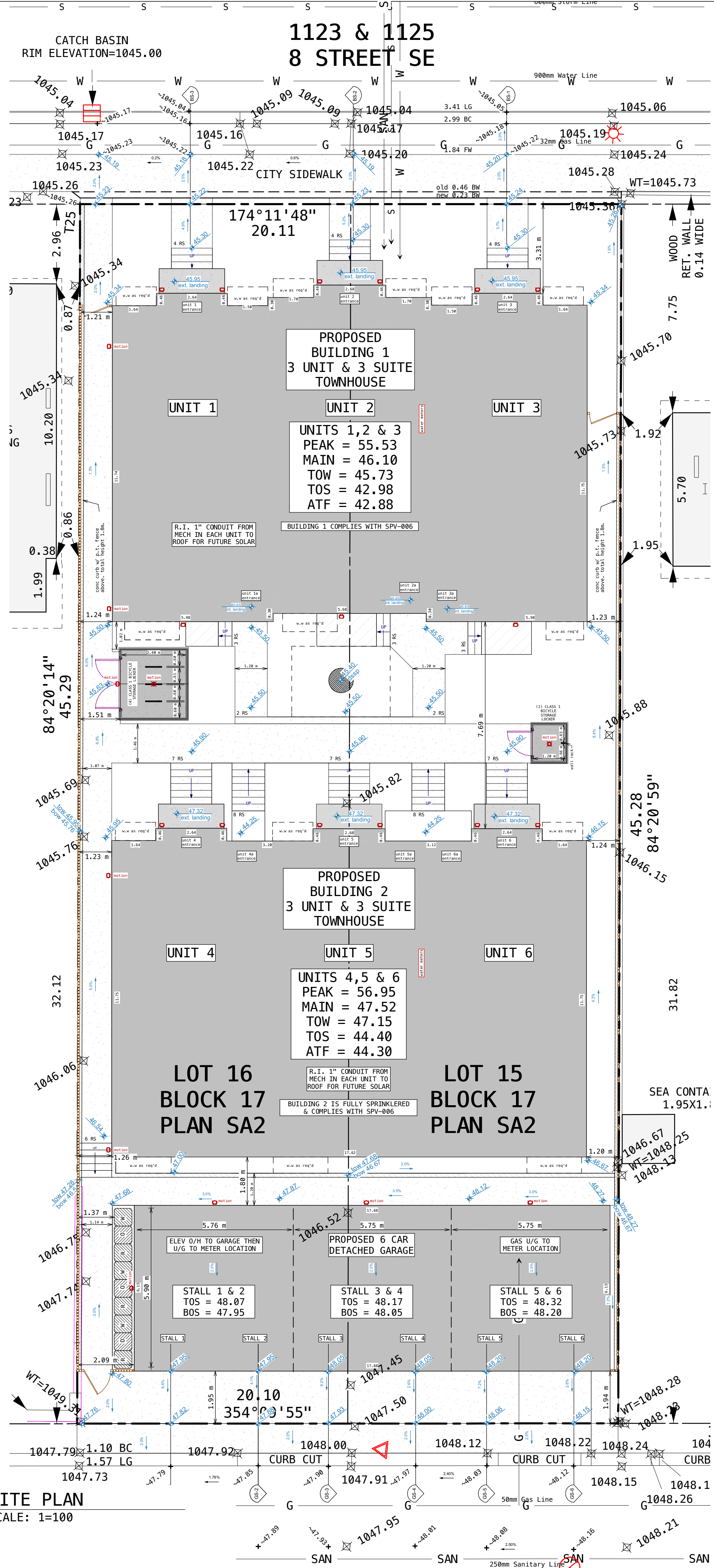
DESIGN: CI

DRAWN: CI & RG

CHECKED: CI

A1 | 10

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LEGEND			
	PROPOSED STRUCTURE	 —	= SITE SECTION
	PROPOSED GARAGE		= PROPOSED GRADE
	PROPOSED DECK / VERANDA		= EXISTING GRADE
	NEIGHBOURING STRUCTURE		= EXTRAPOLATED GRADE
	PROPOSED AMENITY SPACE		= PROPOSED SLOPE
	PROPOSED RETAINING WALL		COMPOST, WASTE & RECYCLING BINS
	CONCRETE	— · · · · ELEC · · · —	OVERHEAD ELECTRICAL LINE
	RUNDLE ROCK	— SANI — —	CITY SANITATION LINE
	DROUGHT RESISTANT SOD	— — W · — —	CITY WATER LINE
	MULCH	— · · · · ST · · · —	CITY STORM LINE
	SHRUB - TYPE 1	· · · · · G · · · · ·	CITY GAS LINE
	SHRUB - TYPE 2	— · · · · — · · · —	PROPERTY LINE
	SHRUB - TYPE 3		
	SHRUB - TYPE 4		
	TREE - TYPE 43		TREE TO REMAIN
	TREE - TYPE 44		TREE TO BE REMOVED

SITE STATISTICS

BUILDING HEIGHT

Maximum building height = 12.00m

Bldg 1 peak geodetic	= 1055.53
Bldg 1 max height	= 106.23m
Bldg 2 peak geodetic	= 1056.95
Bldg 2 max height	= 11.05m

RESIDENTIAL DENSITY
Lot area = ~ 0.091 ha
Units = 6
Density = 65.92 upha

PARCEL COVERAGE

Lot area	= 910.24 m ²
Building 1	= 210.80 m ²
Building 2	= 210.71 m ²
Detached Garage	= 108.81 m ²
Total coverage area	= 530.32 m ²
	= 58.26%

TOTAL GROSS FLOOR AREA

Unit 1	=	1469 sf
Unit 2	=	1469 sf
Unit 3	=	1469 sf
Unit 4	=	1469 sf
Unit 5	=	1469 sf
Unit 6	=	1469 sf
Total	=	8814 sf (818.85 m2)

FLOOR AREA RATIO
Gross Floor Area = 8814 sf
Parcel Area = 9,798 sf
FAR = 0.90

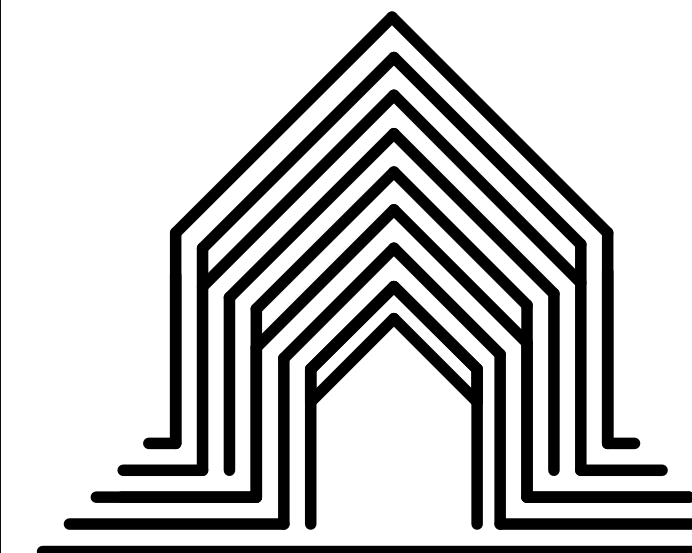
PARKING STALLS PROVIDED ON-SITE

Parking stalls required = 6
Units = 6
Suites = 6
Parking stalls provided = 6

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CLASS 1 BICYCLE STORAGE
Class 1 bicycle storage required = 6
Class 1 bicycle storage provided = 6
Class 1 provided via u rack      = 4
Class 1 provided via wall hook   = 2

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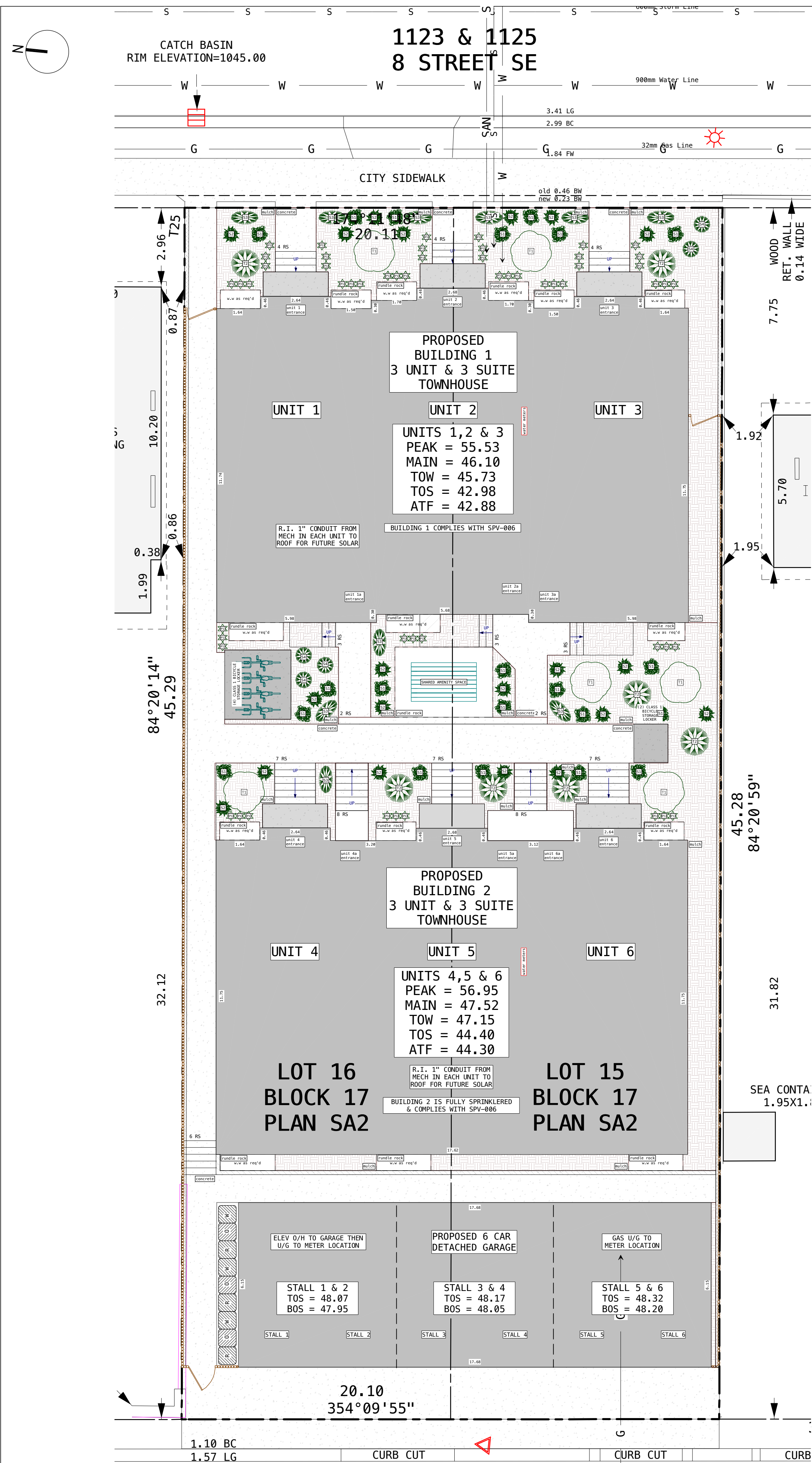
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LANDSCAPE PLAN
SCALE: 1=100

PROPOSED SITE LIGHTING
SCALE: NTS



PROPOSED SITE PLANTINGS
SCALE: NTS



LANDSCAPE STATISTICS

NOTES:
-Underground Low-Water-Irrigation System to be provided only for shrubs and trees.
-All sodded areas to be planted with a drought tolerant grass species.
-Minimum soil depth of 600mm for planting beds with shrubs and 300mm in all other areas.

LOT AREA = 910.24 m2

LANDSCAPING AREA = 339.93 m2

Lot area = 910.24 m2
Building 1 = 210.80 m2
Building 2 = 210.71 m2
Detached Garage = 108.81 m2
Apron = 34.97 m2
Waste & Recycling = 5.02 m2
Total = 570.31 m2

910.24 - 570.31 = 339.93 m2

SOFT SURFACE AREA = 141.88 m2 (41.73%)

Wood Mulch Bed = 141.88 m2

HARD SURFACE AREA = 194.96 (58.27%)

Concrete = 168.66 m2
Rundle Rock = 26.30 m2

PLANTINGS REQUIRED
ENHANCED LANDSCAPING
Trees required = 1 tree per 110m2 of landscaped area
Trees proposed = 13 trees

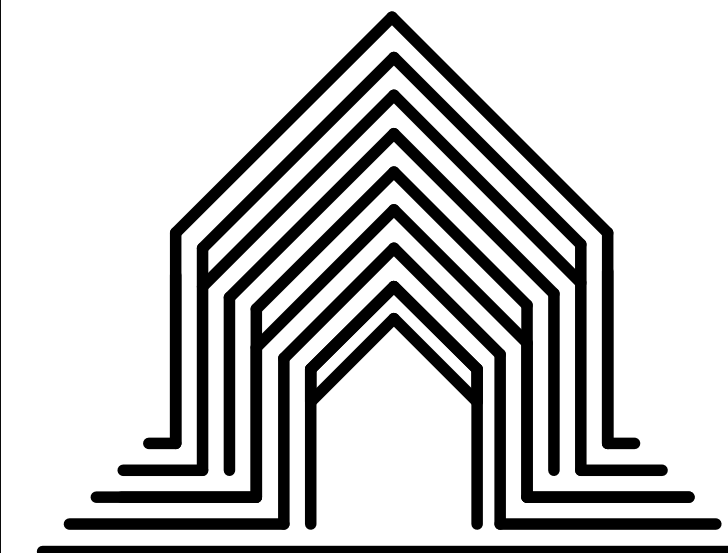
Proposed deciduous tree= Princess Kay Plum (x6)
T43 (Prunus Nigra)
Proposed coniferous tree = Columnar Blue Spruce (x7)
T44 (Picea Pungens Fastigiata)

Shrubs required = 3 shrubs per 110m2 of landscaped area
= 25 shrubs
Shrubs proposed = 57 shrubs
Proposed shrub = Abbotswood Potentilla (x21)
S1
Proposed shrub = Goldfinger Potentilla (x20)
S2
Proposed shrub = Shore Juniper (x10)
S3
Proposed shrub = Dwarf Mugoi Pine (x5)
S4

#	DIA	SPRD	HGT	TYPE	SPECIES	STATUS
T1	1.50	2.00	12.00	BUSH	to remain (adjacent prop.)	to remain (adjacent prop.)
T2	0.40	4.00	9.00	CONIFEROUS	to remain (adjacent prop.)	to remain (adjacent prop.)
T3	0.50	7.00	9.00	DECIDUOUS	to be removed	to be removed
T4	0.50	7.00	9.00	DECIDUOUS	to be removed	to be removed
T5	0.80	6.00	7.00	DECIDUOUS	to be removed (prop. line)	to be removed (prop. line)
T6	0.40	5.00	8.00	DECIDUOUS	to be removed	to be removed
T7	0.40	5.00	8.00	DECIDUOUS	to be removed	to be removed
T8	0.10	1.50	4.00	DECIDUOUS	to be removed	to be removed
T9	0.10	1.50	5.00	DECIDUOUS	to be removed (prop. line)	to be removed (prop. line)
T10	0.10	1.50	4.00	DECIDUOUS	to remain (adjacent prop.)	to remain (adjacent prop.)
T11	—	1.50	2.00	BUSH	to remain (adjacent prop.)	to remain (adjacent prop.)
T12	0.40	8.00	8.00	DECIDUOUS	to be removed	to be removed
T13	0.40	8.00	8.00	DECIDUOUS	to be removed	to be removed
T14	0.50	6.00	7.00	DECIDUOUS	to be removed	to be removed
T15	0.40	5.00	8.00	DECIDUOUS	to be removed	to be removed
T16	—	2.00	2.00	BUSH	to be removed	to be removed
T17	0.50	8.00	8.00	DECIDUOUS	to be removed	to be removed
T18	0.80	7.00	8.00	DECIDUOUS	to be removed	to be removed
T19	0.10	1.00	5.00	DECIDUOUS	to be removed	to be removed
T20	0.30	5.00	8.00	DECIDUOUS	to be removed	to be removed
T21	0.30	4.00	8.00	DECIDUOUS	to be removed	to be removed
T22	0.60	8.00	8.00	DECIDUOUS	to be removed	to be removed
T23	0.60	8.00	7.00	DECIDUOUS	to remain (City Tree)	to remain (City Tree)
T24	0.30	0.30	7.00	DECIDUOUS	to remain (City Tree)	to remain (City Tree)
T25	0.10	2.00	4.00	HEDGE	to be removed (prop. line)	to be removed (prop. line)
T26	0.08	4.00	5.00	DECIDUOUS	to be removed	to be removed
T27	0.20	6.00	5.00	DECIDUOUS	to be removed	to be removed
T28	0.30	4.00	5.00	DECIDUOUS	to be removed	to be removed
T29	0.30	4.00	5.00	DECIDUOUS	to be removed	to be removed
T30	0.10	4.00	5.00	DECIDUOUS	to be removed	to be removed
T31	0.10	1.50	2.00	DECIDUOUS	to be removed	to be removed
T32	0.60	7.00	5.00	DECIDUOUS	to remain (adjacent prop.)	to remain (adjacent prop.)
T33	0.10	4.00	5.00	DECIDUOUS	to be removed	to be removed
T34	0.10	4.00	5.00	DECIDUOUS	to be removed	to be removed
T35	0.10	4.00	5.00	DECIDUOUS	to be removed	to be removed
T36	0.30	5.00	5.00	DECIDUOUS	to be removed	to be removed
T37	—	3.00	4.00	HEDGE	to be removed	to be removed
T38	0.60	7.00	8.00	DECIDUOUS	to be removed	to be removed
T39	0.40	6.00	8.00	DECIDUOUS	to be removed	to be removed
T40	0.40	5.00	5.00	DECIDUOUS	to be removed	to be removed
T41	0.30	4.00	5.00	DECIDUOUS	to be removed	to be removed
T42	0.30	6.00	5.00	DECIDUOUS	to be removed	to be removed
T43	0.08	—	—	DECIDUOUS	PRINCESS KAY PLUM	to be planted x6
T44	0.08	—	—	CONIFEROUS	COLUMNAR BLUE SPRUCE	to be planted x7
S1	—	0.60	0.60	BUSH	ABBOTSFORD POTENTILLA	to be planted x21
S2	—	0.60	0.60	BUSH	GOLDEN POTENTILLA	to be planted x20
S3	—	0.60	0.60	BUSH	SHORE JUNIPER	to be planted x10
S4	—	0.08	0.08	BUSH	DWARF MUGO PINE	to be planted x5

LEGEND

PROPOSED STRUCTURE	A1	= SITE SECTION
PROPOSED GARAGE	44.44	= PROPOSED GRADE
PROPOSED DECK / VERANDA	1044.44	= EXISTING GRADE
NEIGHBOURING STRUCTURE	44.44	= EXTRAPOLATED GRADE
PROPOSED AMENITY SPACE	4.0%	= PROPOSED SLOPE
PROPOSED RETAINING WALL	0	COMPOST, WASTE & RECYCLING BINS
CONCRETE	— ELEC —	OVERHEAD ELECTRICAL LINE
RUNDLE ROCK	— SANI —	CITY SANITATION LINE
DROUGHT RESISTANT SOD	— W —	CITY WATER LINE
MULCH	— ST —	CITY STORM LINE
SHRUB - TYPE 1	— G —	CITY GAS LINE
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SHRUB - TYPE 3	— — — —	TREE TO REMAIN
SHRUB - TYPE 4	— — — —	TREE TO BE REMOVED
TREE - TYPE 43		
TREE - TYPE 44		



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LEGAL ADDRESS:

LOT 15 & 16, BLOCK 17,

PLAN SA2

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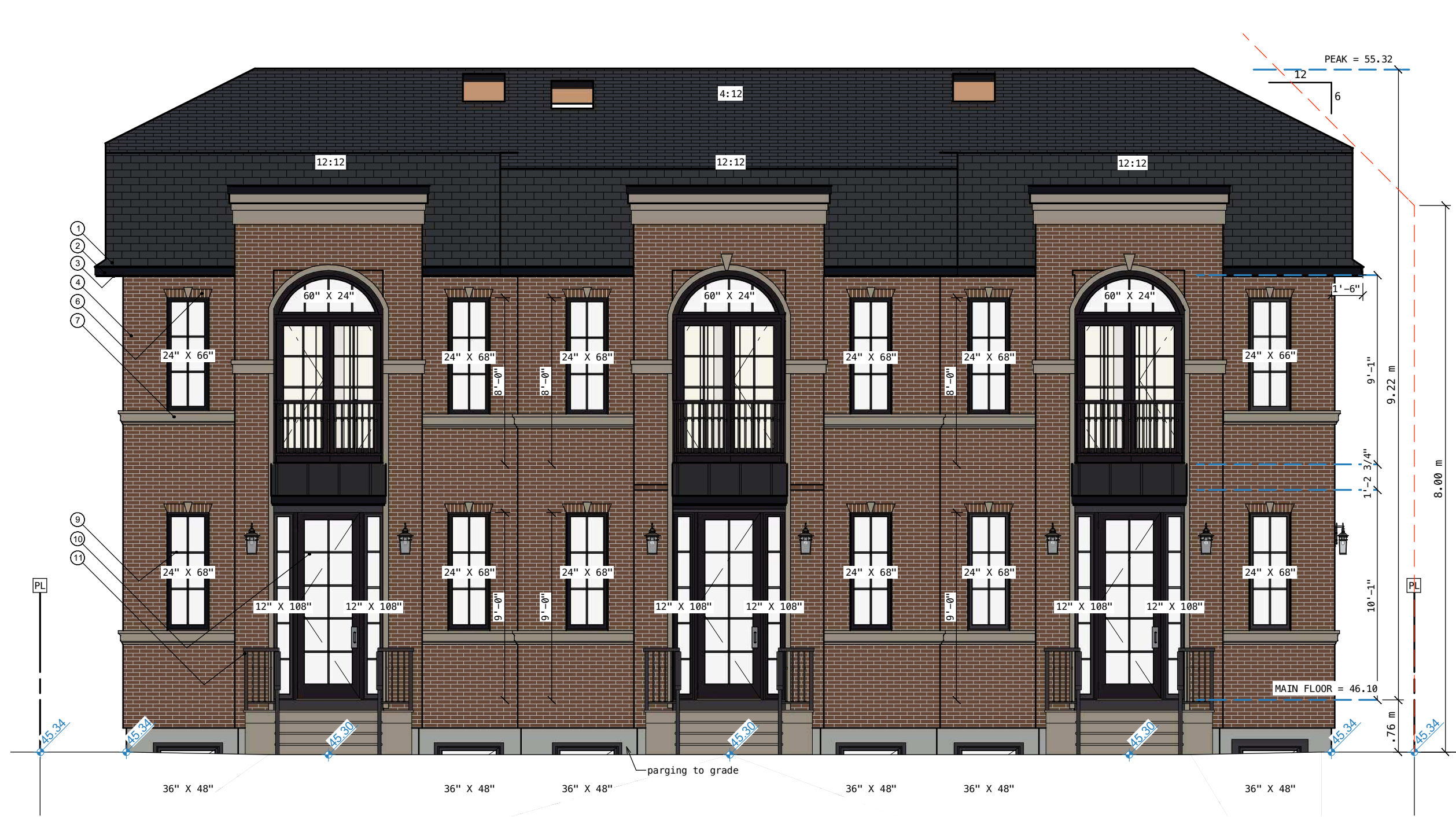
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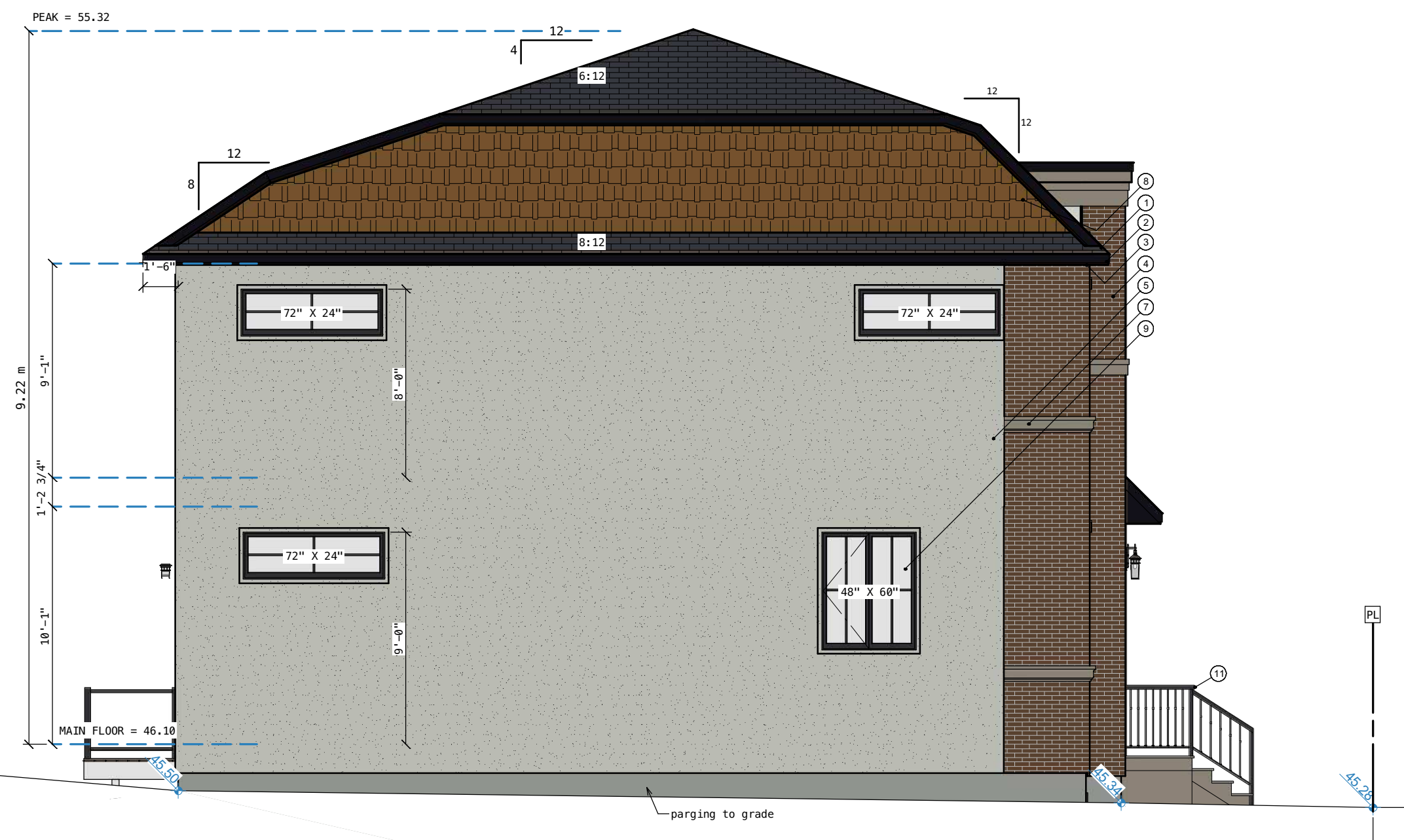
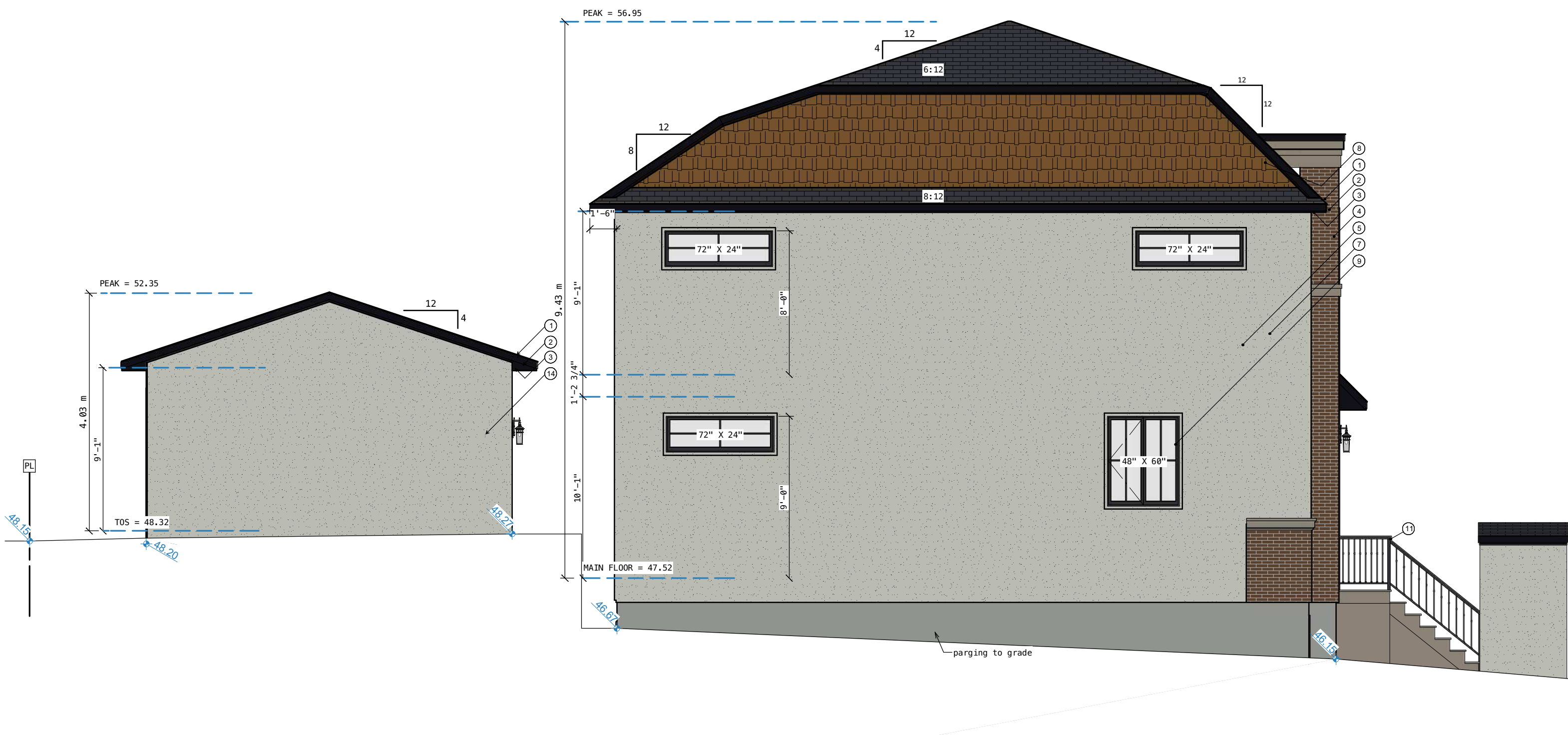


EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
2	8\"/>
3	VENTED ALUMINUM SOFFIT black
4	BRICK VENEER red
5	STUCCO white
6	BRICK LINTEL DETAIL
7	STONE BRICK CAP tan
8	JAMES HARDIE SHINGLES brown
9	VINYL WINDOWS
10	FIBRE GLASS DOOR
11	RAILING
12	STEEL INSULATED GARAGE DOOR
13	STANDING SEAM ROOF

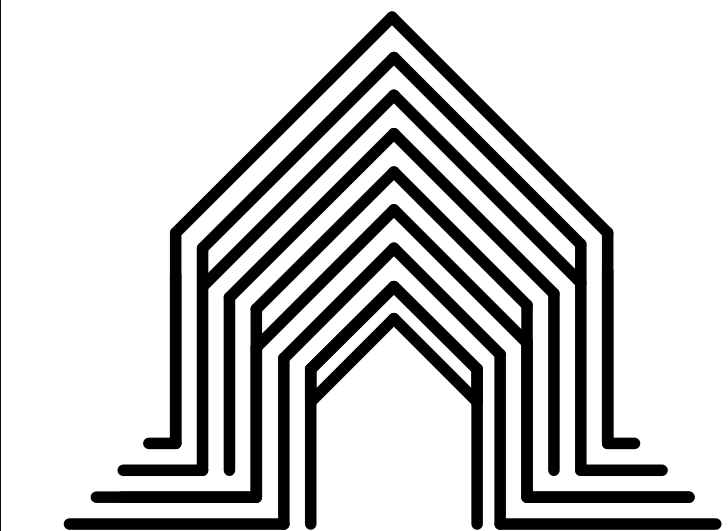


FRONT ELEVATION – EAST – BUILDING 1
SCALE: 3/16"=1'-0"

BACK ELEVATION – WEST – BUILDING 1
SCALE: 3/16"=1'-0"



LEFT ELEVATION – SOUTH
SCALE: 3/16"=1'-0"



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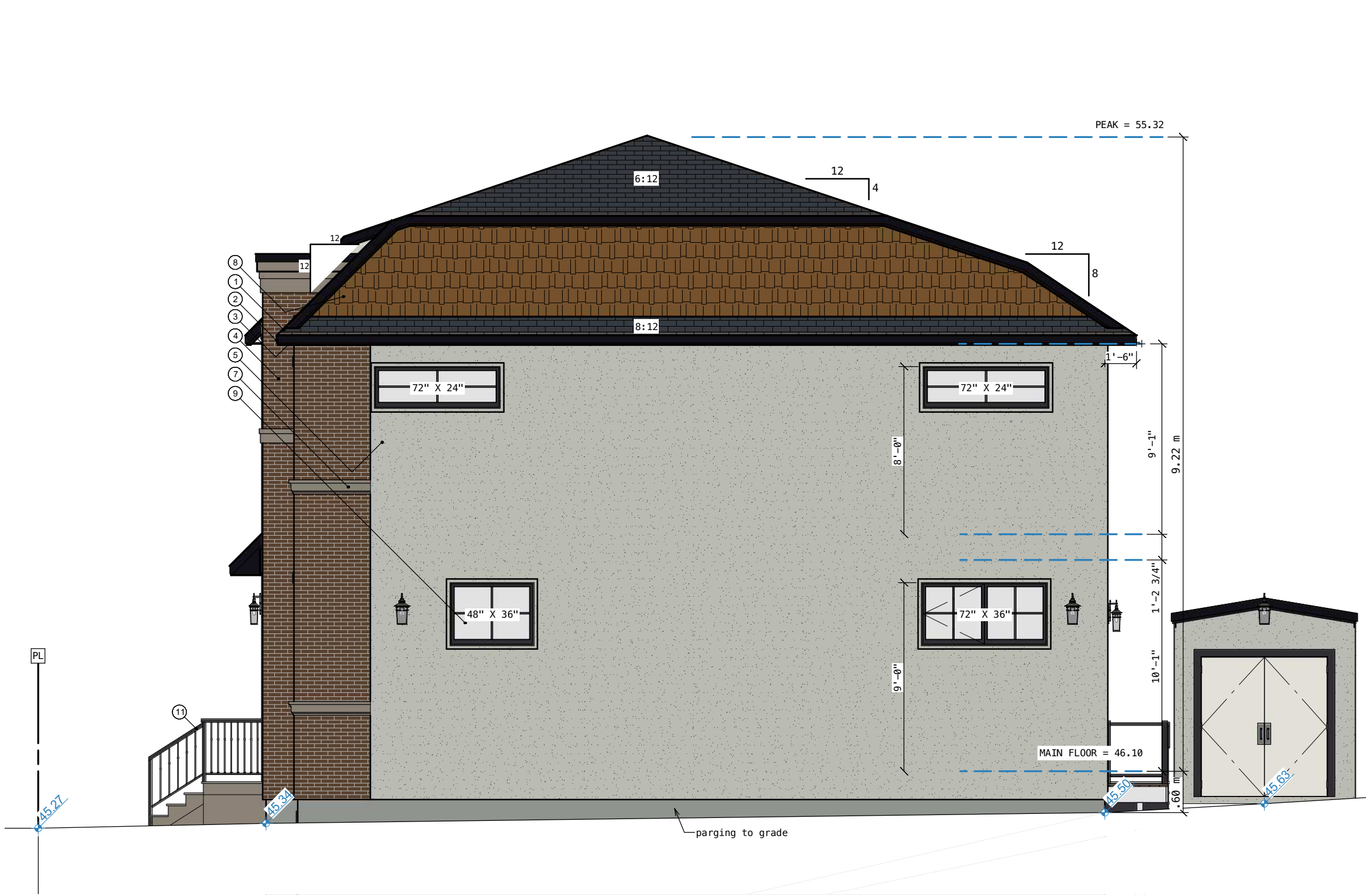


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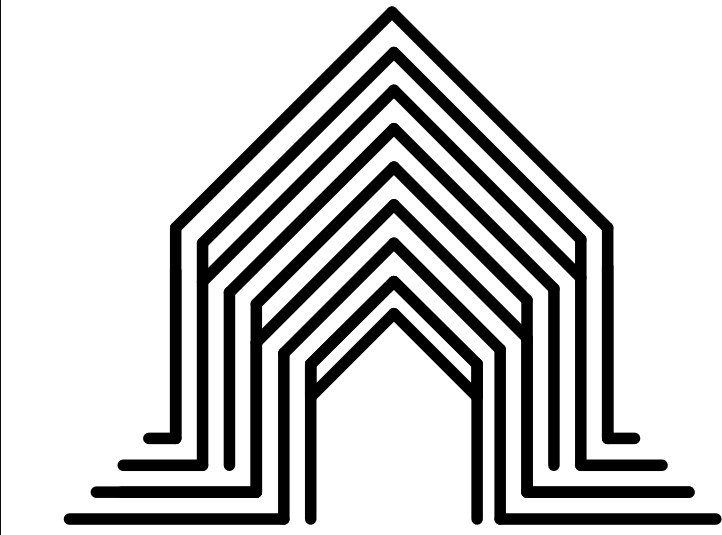
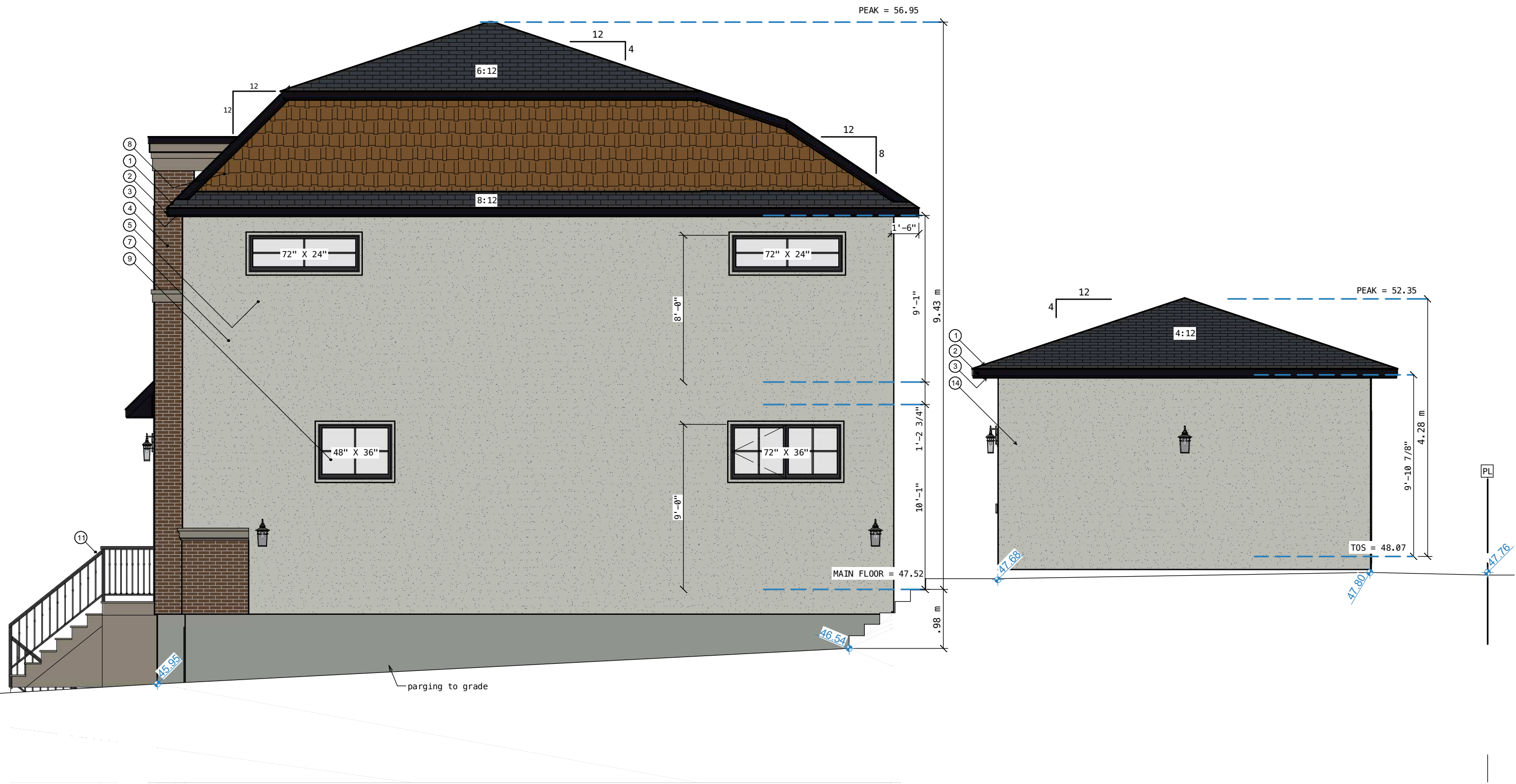


FRONT ELEVATION – EAST – BUILDING 2
SCALE: 3/16"=1'-0"

BACK ELEVATION – WEST – BUILDING 2
SCALE: 3/16"=1'-0"



RIGHT ELEVATION – NORTH
SCALE: 3/16"=1'-0"



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RESPONSIBILITIES

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It is Collective Design's responsibility to ensure these drawings meet or exceed the current Provincial Building Code and Land Use Bylaws. We will make all revisions, additions, or corrections required due to stated code or bylaws. Changes etc, due to discretionary interpretations by Approving Authorities having jurisdiction will be at the expense of the Homeowner or General Contractor.

HOMEOWNER AND GENERAL CONTRACTOR
A review of final drawings, prior to the start of construction, is the responsibility of the home owner/ developer and General Contractor. Any discrepancies between these drawings and the provided consultant drawings are to be provided in writing to Collective Design. Any errors or omissions due to items not specified by the above parties are not the responsibility of Collective Design.

TRADES, SUPPLIERS & CONSULTANTS
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THE SPECIFICATION OVERRIDES THESE DRAWINGS. Collective Design is not responsible for errors, omissions, or replacement of any materials or supplies when no specification has been provided.

PROJECT NAME:
Ramsay – Townhouses
6 UNIT & 6 SUITE
DC-HGO DEVELOPMENT
ADDRESS:
1123 & 1125 8 St SE
LEGAL ADDRESS:
LOT 15 & 16, BLOCK 17,
PLAN SA2

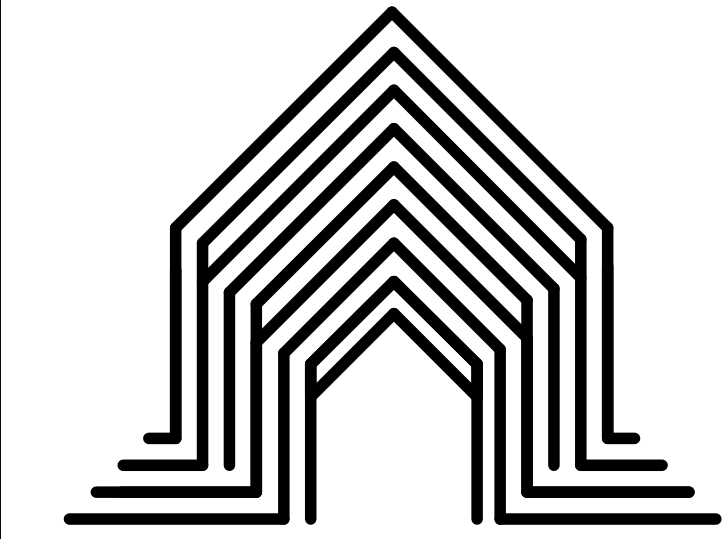
DISTRICT ZONING: H-GO
PROPOSED UNITS: 6
PROPOSED SUITES: 6

UNIT	FLOOR	AREA
1	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (1a)	703
2	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (2a)	703
3	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (3a)	703
4	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (1a)	703
5	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (2a)	703
6	MAIN	756
	SECOND	713
	TOTAL	1469
	SUITE (3a)	703

PROJECT STAGE	DATE ISSUED
-DP SET	-07.16.26
-	-
-	-
-	-

DESIGN: CI	A9 10
DRAWN: CI & RG	
CHECKED: CI	

COLLECTIVE DESIGN YYC INC. 2025
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COLLECTIVE DESIGN

CONTACT INFO
PHONE: 403-671-2856
EMAIL: clay@collectivedesign.ca

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PROJECT STAGE	DATE ISSUED
-DP SET	-07.16.26
-	-
-	-
-	-

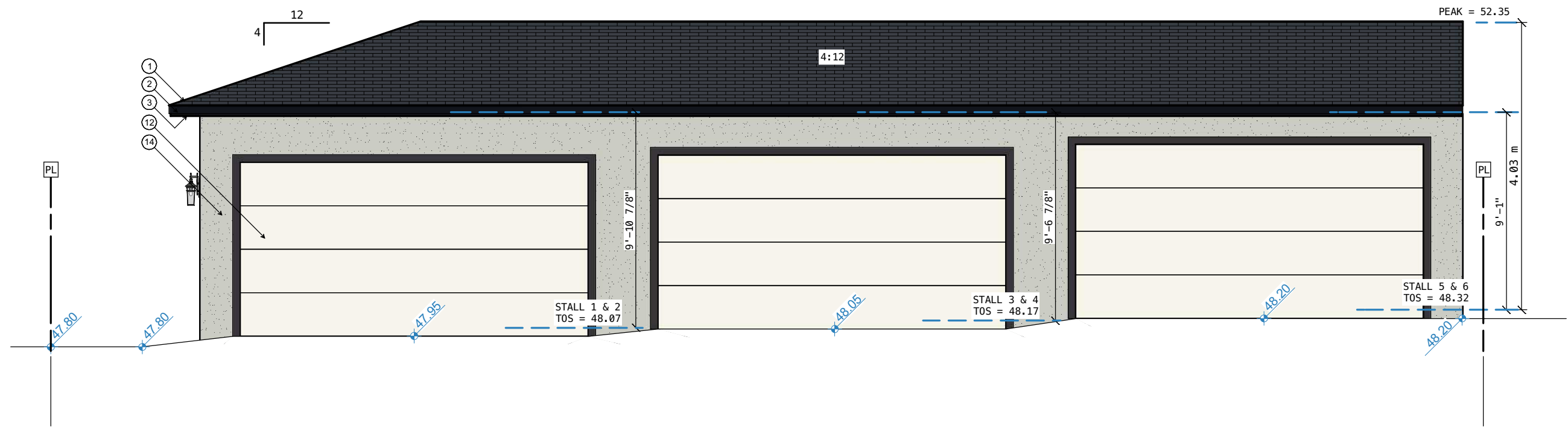
DESIGN: CI

DRAWN: CI & RG

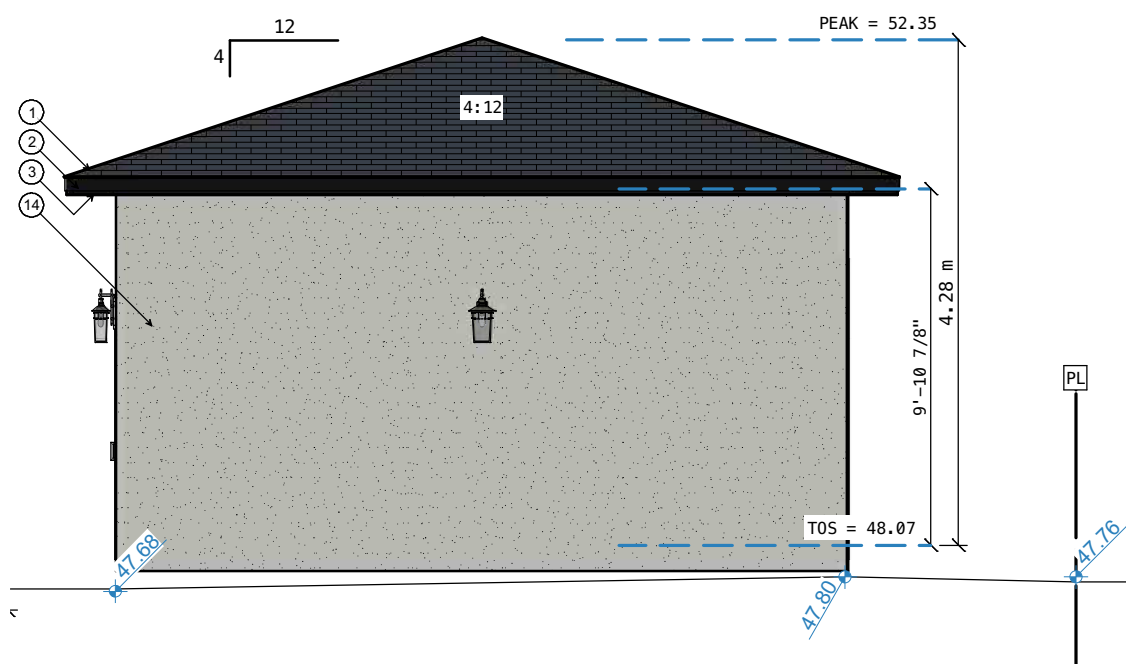
CHECKED: CI

A10 | 10

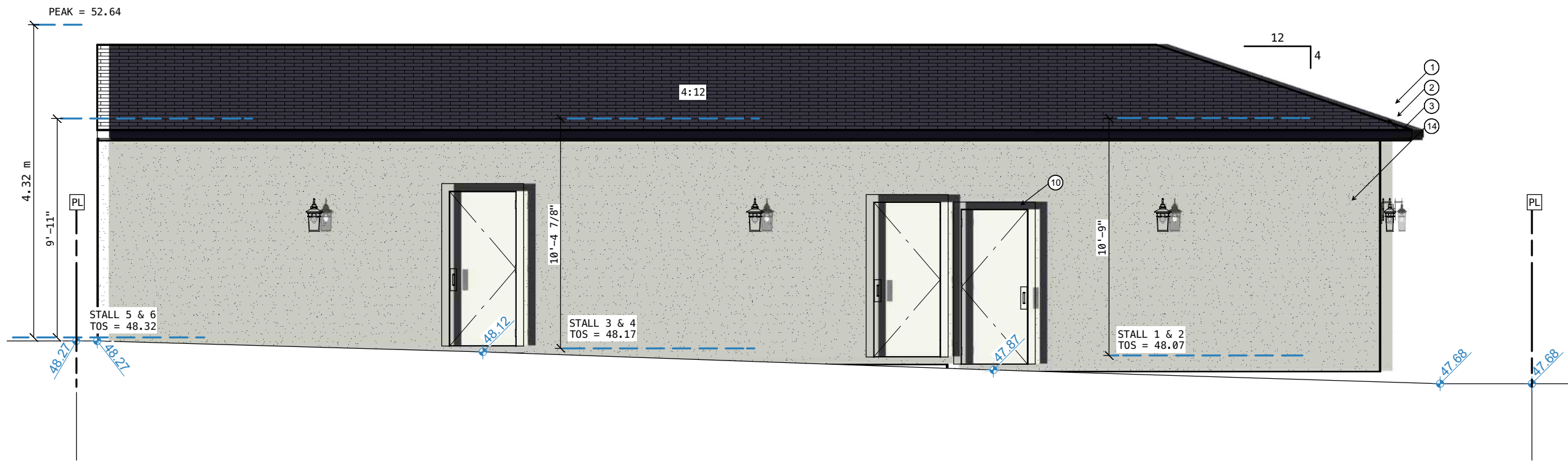
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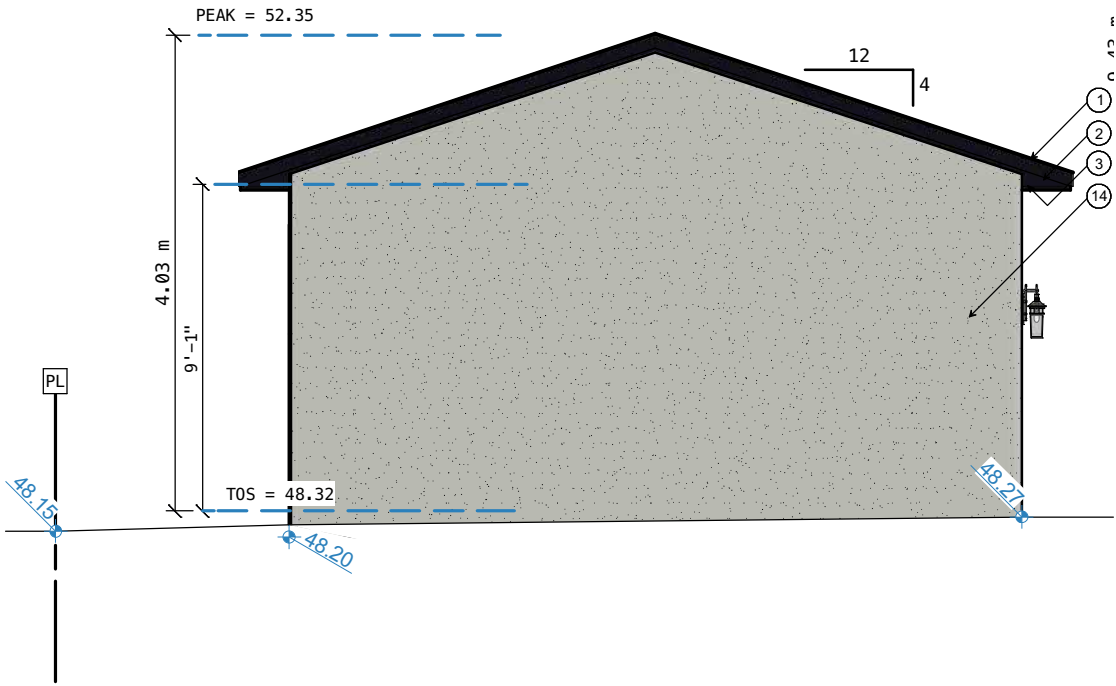
GARAGE ELEVATION – LANE
SCALE: 3/16"=1'-0"



GARAGE ELEVATION – RIGHT
SCALE: 3/16"=1'-0"



GARAGE ELEVATION – YARD
SCALE: 3/16"=1'-0"



GARAGE ELEVATION – LEFT
SCALE: 3/16"=1'-0"

EXTERIOR CLADDING SCHEDULE	
①	ASPHALT ROOFING
②	6" ALUMINUM FASCIA black
③	VENTED ALUMINUM SOFFIT black
④	BRICK VENEER red
⑤	STUCCO white
⑥	BRICK LINTEL DETAIL
⑦	STONE BRICK CAP bn
⑧	JAMES HARDIE SHINGLES brown
⑨	VINYL WINDOWS
⑩	FIBRE GLASS DOOR
⑪	RAILING
⑫	STEEL INSULATED GARAGE DOOR
⑬	STANDING SEAM ROOF
⑭	
⑮	