

COLLECTIVE DESIGN

SOUTH CALGARY DEVELOPMENT

BUILDING 1 & GARAGE

4 UNIT & 4 SUITE

R-CG DEVELOPMENT

1630 29 AVE SW

LOTS 15 & 16, BLOCK 26,

PLAN 4479P

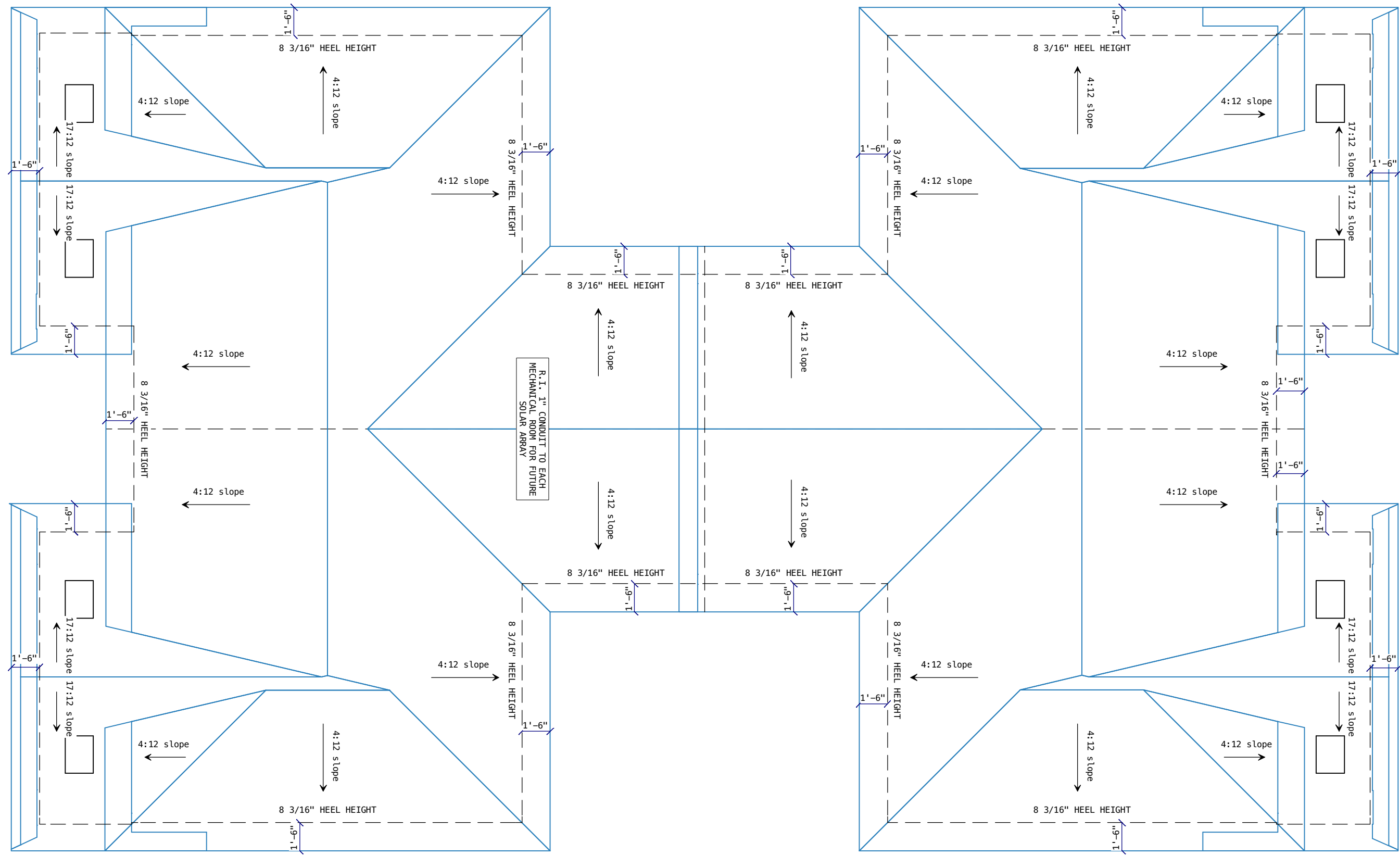
CONTENTS

- A1 – COVER PAGE & BLOCK PLAN
- A2 – SITE PLAN
- A3 – LANDSCAPE PLAN
- A4 – BASEMENT DEV. & FOUNDATION PLAN
- A5 – MAIN, UPPER FLOOR & ROOF PLAN
- A6 – ELEVATIONS
- A7 – ELEVATIONS & GARAGE PLANS



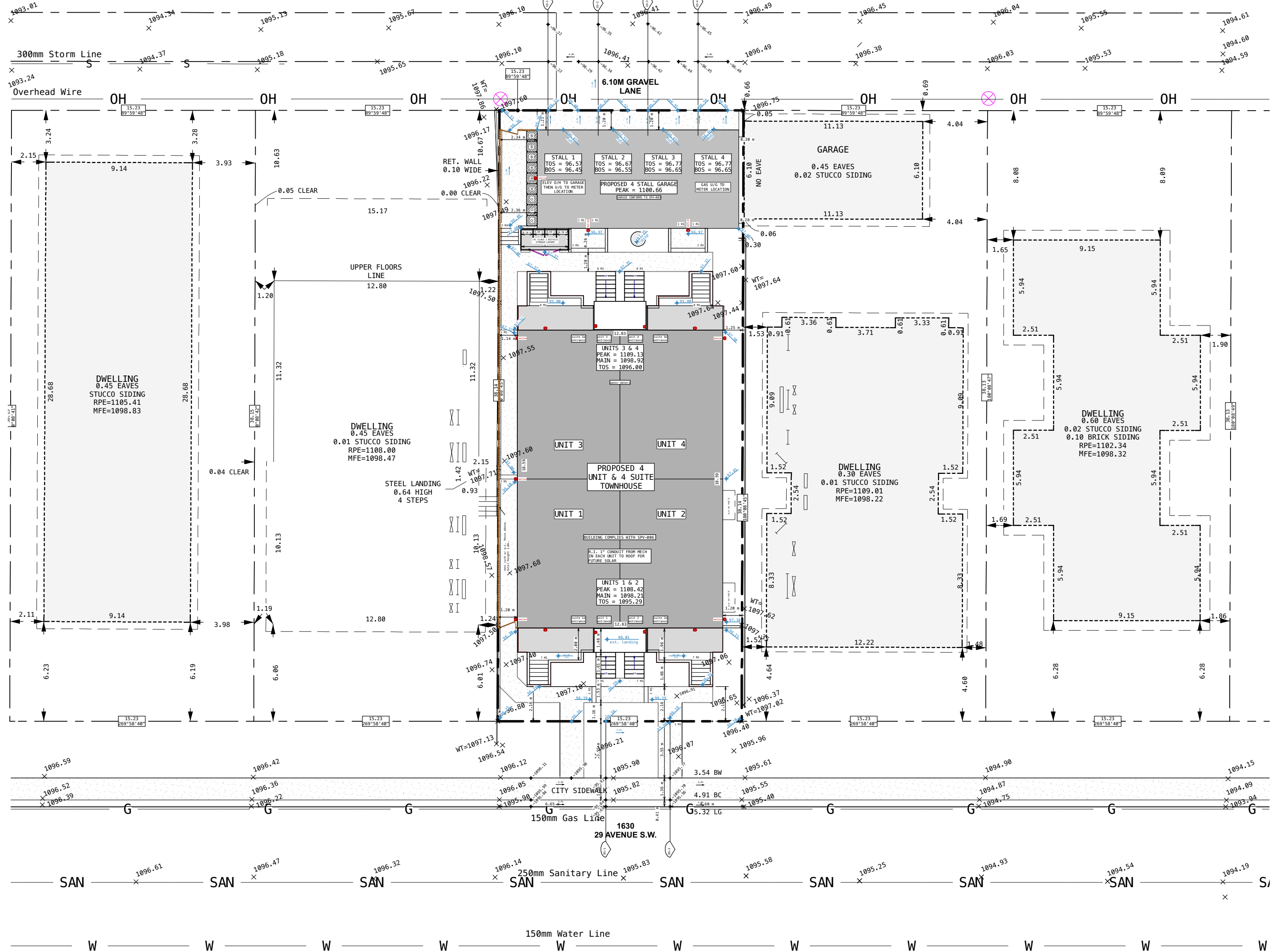
EXTERIOR IMAGE

SCALE: NTS



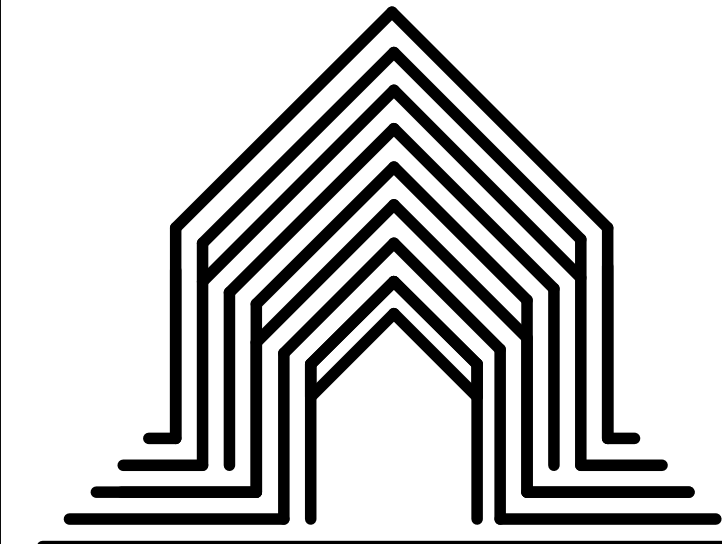
ROOF PLAN

SCALE: 3/16"=1'-0"



BLOCK PLAN

SCALE: 1=200



COLLECTIVE DESIGN

CONTACT INFO

PHONE: 403-671-2856

EMAIL: clay@collectivedesign.ca

RESPONSIBILITIES

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PROJECT NAME:

SOUTH CALGARY DEVELOPMENT

ADDRESS:

1630 29 AVE SW

LEGAL ADDRESS:

LOTS 15-16

BLOCK 26

PLAN 4479P

DISTRICT ZONING: M-CG

PROPOSED UNITS: 4

PROPOSED SUITES: 4

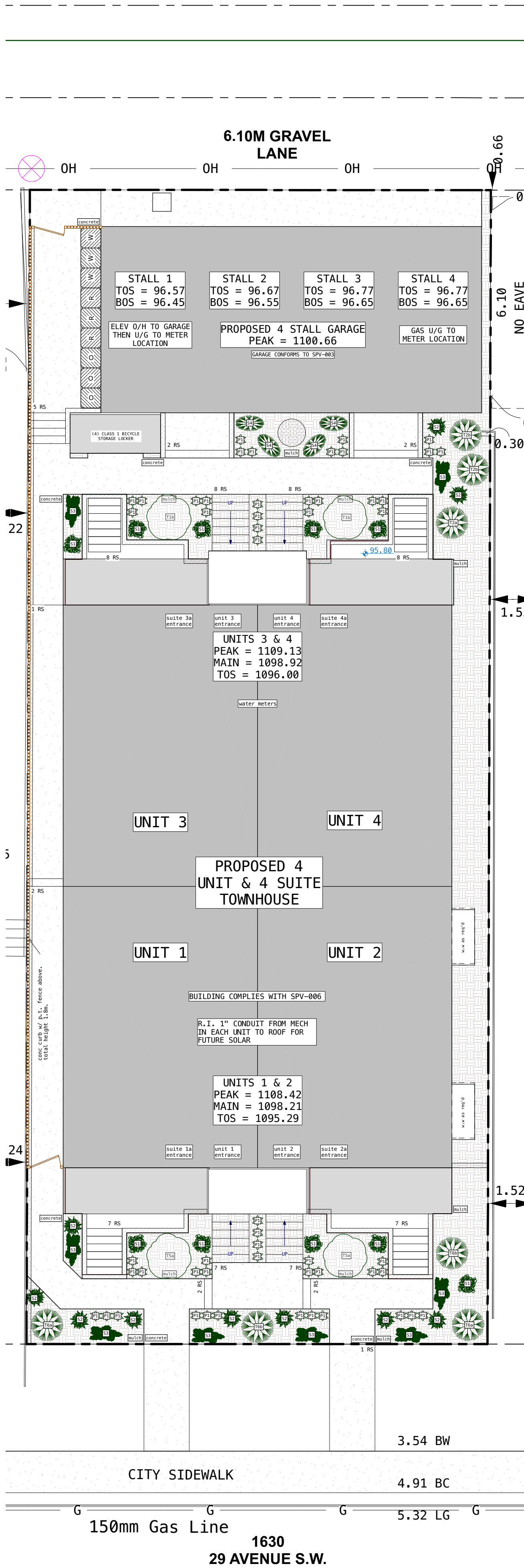
UNIT	FLOOR	AREA
1	MAIN	642 SF
	SECOND	609 SF
	THIRD	437 SF
	TOTAL	1688 SF
2	MAIN	642 SF
	SECOND	609 SF
	THIRD	437 SF
	TOTAL	1688 SF
3	MAIN	642 SF
	SECOND	620 SF
	THIRD	439 SF
	TOTAL	1701 SF
4	MAIN	642 SF
	SECOND	620 SF
	THIRD	437 SF
	TOTAL	1701 SF
SUITE (1A)	MAIN	615 SF
	SECOND	609 SF
	THIRD	437 SF
	TOTAL	1661 SF
SUITE (2A)	MAIN	615 SF
	SECOND	609 SF
	THIRD	437 SF
	TOTAL	1661 SF
SUITE (3A)	MAIN	615 SF
	SECOND	620 SF
	THIRD	439 SF
	TOTAL	1701 SF
SUITE (4A)	MAIN	615 SF
	SECOND	620 SF
	THIRD	437 SF
	TOTAL	1701 SF

PROJECT STAGE	DATE ISSUED
-Design Draft Review	-06.03.26
-DP Set	-07.23.26
-	-
-	-
-	-

DESIGN: CI	A1 7
DRAWN: CI/RG	
CHECKED: CI	

COLLECTIVE DESIGN YYC INC. 2025

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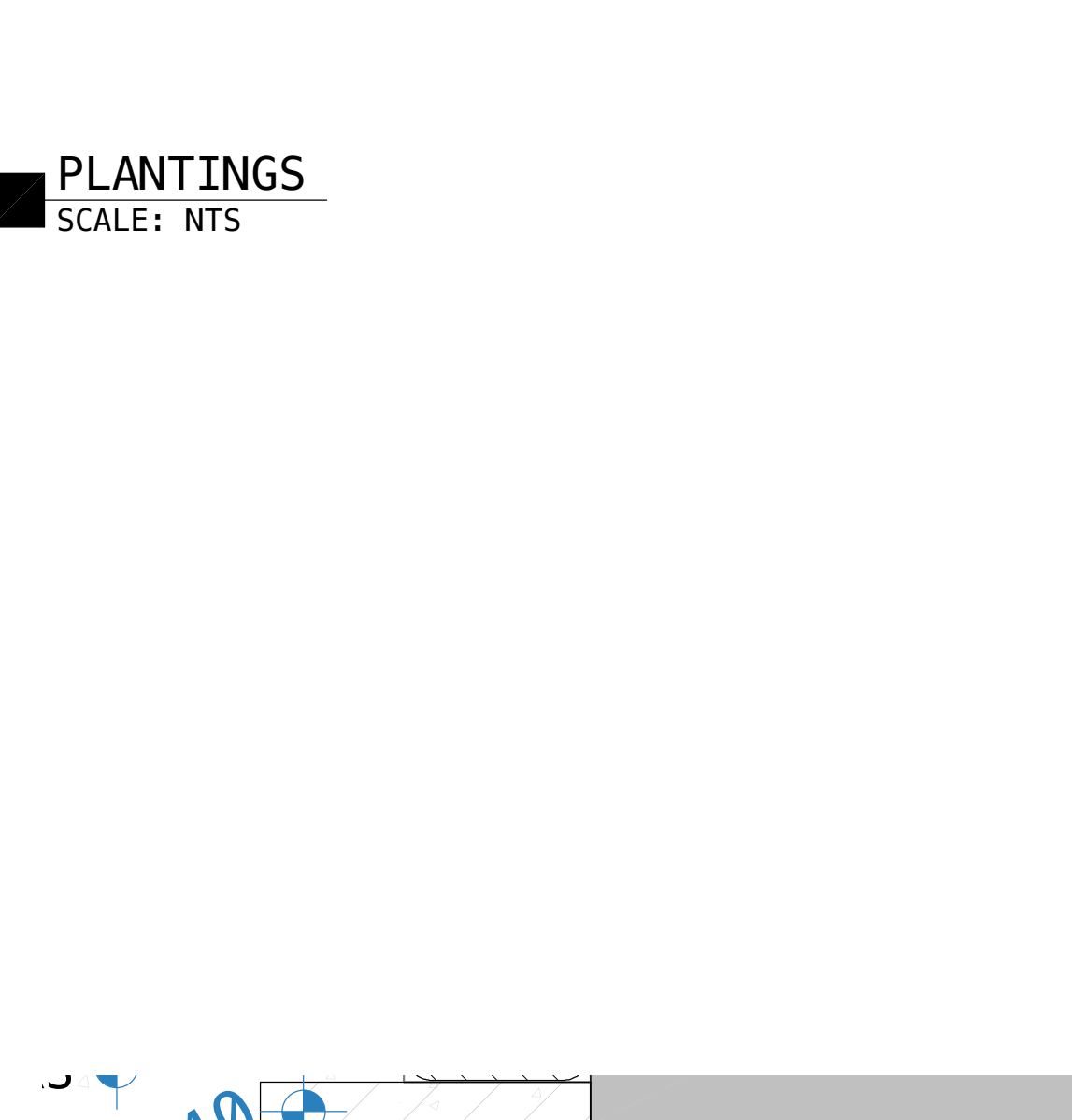
LANDSCAPE PLAN
SCALE: 1=100



PLANTINGS
SCALE: NTS



PLANTINGS
SCALE: NTS



CLASS 1 BIKE STORAGE
SCALE: 1=25



EXTERIOR LIGHTING
SCALE: NTS



EXTERIOR LIGHTING
SCALE: NTS



EXTERIOR LIGHTING
SCALE: NTS



EXTERIOR LIGHTING
SCALE: NTS



EXTERIOR LIGHTING
SCALE: NTS



EXTERIOR LIGHTING
SCALE: NTS

LANDSCAPE STATISTICS

NOTES:
-Underground Low-Water-Irrigation System to be provided only for shrubs and trees.
-All sodded areas to be planted with a drought tolerant grass species.
-Minimum soil depth of 600mm for planting beds with shrubs and 300mm in all other areas.
-All exterior lighting types shall be LED and equal to or less than 40w.

LOT AREA = 580.47 m2

Landscape area = 216.52 (37.30%)
low water landscaping reduction employed

Building Footprint = 267.45 m2
Detached Garage = 77.37 m2
Garage Apron = 15.19 m2
Waste Area = 3.93 m2
Total = 363.94
Landscape Area:

Hard Surface = 101.99 m2 (47.10%)
Concrete = 101.99 m2

Soft Surface = 81.91 m2 (37.8%)
Mulch = 81.91 m2

PLANTINGS REQUIRED
Trees required = 1 tree per 25.0m2 of lot area (x9)

Trees existing = 0
Trees proposed = 11
Trees total = 11 trees

Proposed Deciduous Trees = 4 trees
T22 Princess Kay Plum = (x4)

Proposed Coniferous Trees = 7 trees
T21 Columnar Blue Spruce = (x7)

Shrubs required = 2 shrubs per 25.0m2 of lot area (x18)

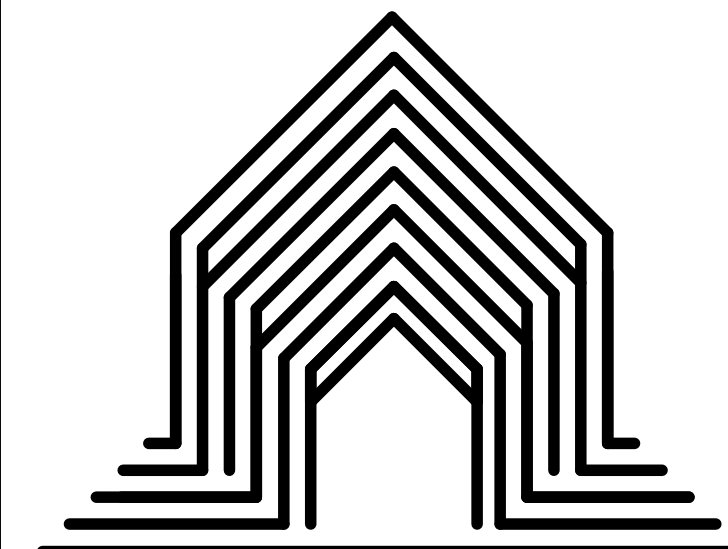
Shrubs proposed = 32 shrubs
S1 Abbotswood Potentilla = (x10)
S2 Golden Potentilla = (x10)
S3 Shore Juniper = (x8)
S4 Dwarf Mugo Pine = (x4)

Total Plants = 43 Trees & Shrubs

Low Water Irrigation Plants = 20 Trees & Shrubs (43.48%)

TREE SCHEDULE (meters)							
#	DIA.	SPRD.	HGT.	TYPE	SPECIES	STATUS	LOW WATER PLANT
T1	0.50	7.00	20.00	CONIFEROUS	X	to be removed	---
T2	0.50	8.00	20.00	CONIFEROUS	X	to be removed	---
T3	---	3.00	4.00	BUSH	X	to be removed	---
T4	---	4.00	5.00	BUSH	X	to remain	---
T5a	0.06	---	---	DECIDUOUS	PRINCESS KAY PLUM	to be planted x2	N
T5b	0.08	---	---	DECIDUOUS	PRINCESS KAY PLUM	to be planted x2	N
T6a	---	---	3.0	CONIFEROUS	COLUMNAR BLUE SPRUCE	to be planted x4	Y
T6b	---	---	4.0	CONIFEROUS	COLUMNAR BLUE SPRUCE	to be planted x4	Y
S1	---	0.60	0.60	BUSH	ABBOTSWOOD POTENTILLA	to be planted x10	N
S2	---	0.60	0.60	BUSH	GOLDEN POTENTILLA	to be planted x12	N
S3	---	0.60	0.60	BUSH	SHORE JUNIPER	to be planted x8	Y
S4	---	0.60	0.60	BUSH	DWARF MUGO PINE	to be planted x4	Y

LEGEND			
	PROPOSED STRUCTURE		= SITE SECTION
	PROPOSED GARAGE		= PROPOSED GRADE
	PROPOSED DECK / VERANDA		= EXISTING GRADE
	NEIGHBOURING STRUCTURE		= EXTRAPOLATED GRADE
	PROPOSED AMENITY SPACE		= PROPOSED SLOPE
	PROPOSED RETAINING WALL		COMPOST, WASTE & RECYCLING BINS
	CONCRETE		OVERHEAD ELECTRICAL LINE
	RUNDLE ROCK		CITY SANITATION LINE
	DROUGHT RESISTANT SOD		CITY WATER LINE
	MULCH		CITY STORM LINE
	SHRUB - TYPE 1		CITY GAS LINE
	SHRUB - TYPE 2		PROPERTY LINE
	SHRUB - TYPE 3		TREE TO REMAIN
	SHRUB - TYPE 4		TREE TO BE REMOVED
	TREE TYPE 5		
	TREE TYPE 6		



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ADDRESS:
1630 29 AVE SW
LEGAL ADDRESS:
LOTS 15-16
BLOCK 26
PLAN 4479P

DISTRICT ZONING: M-CG
PROPOSED UNITS: 4
PROPOSED SUITES: 4

UNIT	FLOOR	AREA
1	MAIN	642 SF
	SECOND	609 SF
	THIRD	437 SF
	TOTAL	1688 SF
	SUITE (1A)	615 SF
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	SECOND	609 SF
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	THIRD	439 SF
	TOTAL	1701 SF
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	SUITE (4A)	615 SF

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DESIGN: CI

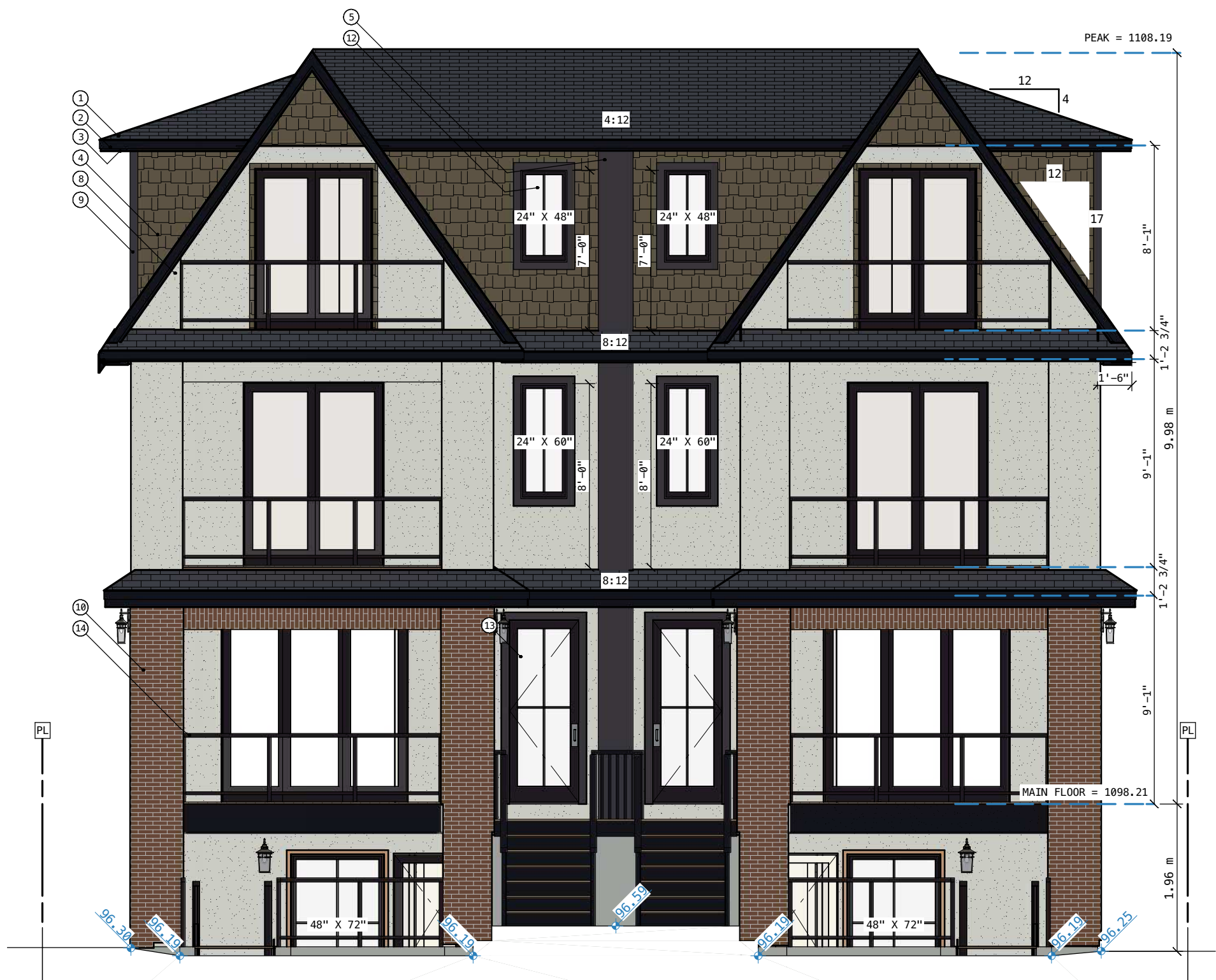
DRAWN: CI/RG

CHECKED: CI

A3

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FRONT ELEVATION (SOUTH)
SCALE: 3/16"=1'-0"

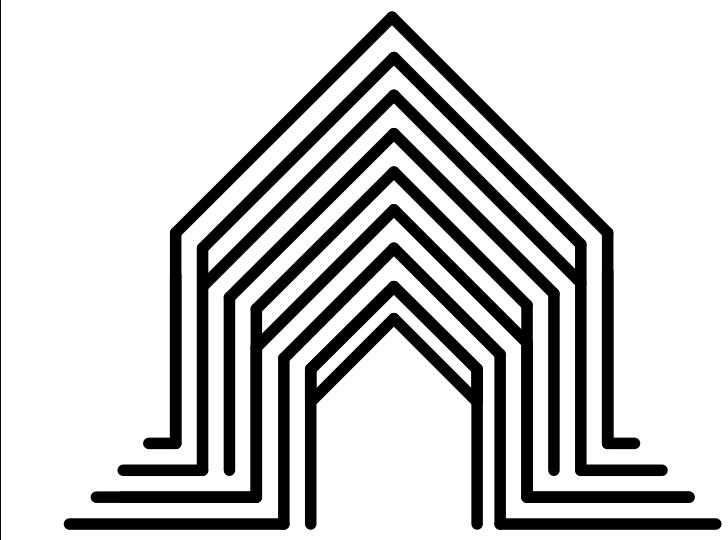


REAR ELEVATION (NORTH)
SCALE: 3/16"=1'-0"



RIGHT ELEVATION (EAST)
SCALE: 3/16"=1'-0"

EXTERIOR CLADDING SCHEDULE	
1	ASPHALT ROOFING
2	ALUMINUM FASCIA black
3	VENTED ALUMINUM SOFFIT black
4	JAMES HARDIE SHAKES timber bark
5	JAMES HARDIE SHOOT BOARD midnight black
6	JAMES HARDIE BOARD & BATTEN midnight black
7	STUCCO beige
8	4" CORNER TRIM colour varies
9	BRICK VENEER
10	BRICK CAP
11	VINYL WINDOWS
12	FIBRE GLASS DOOR
13	RAILING
14	STEEL INSULATED GARAGE DOOR



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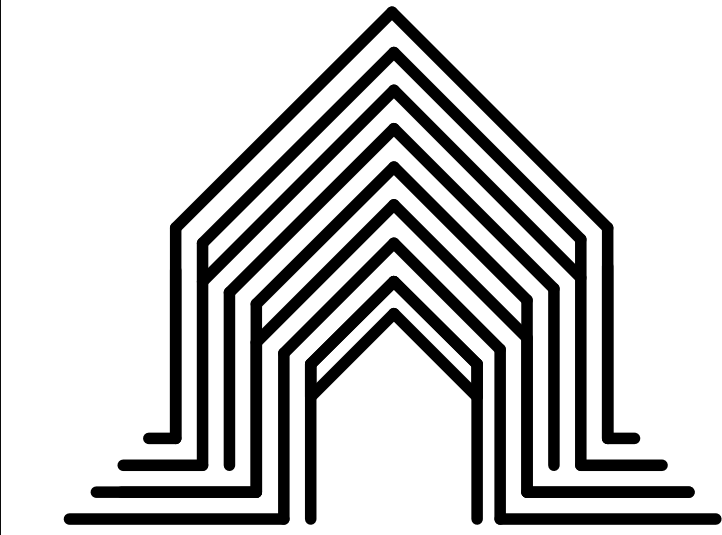
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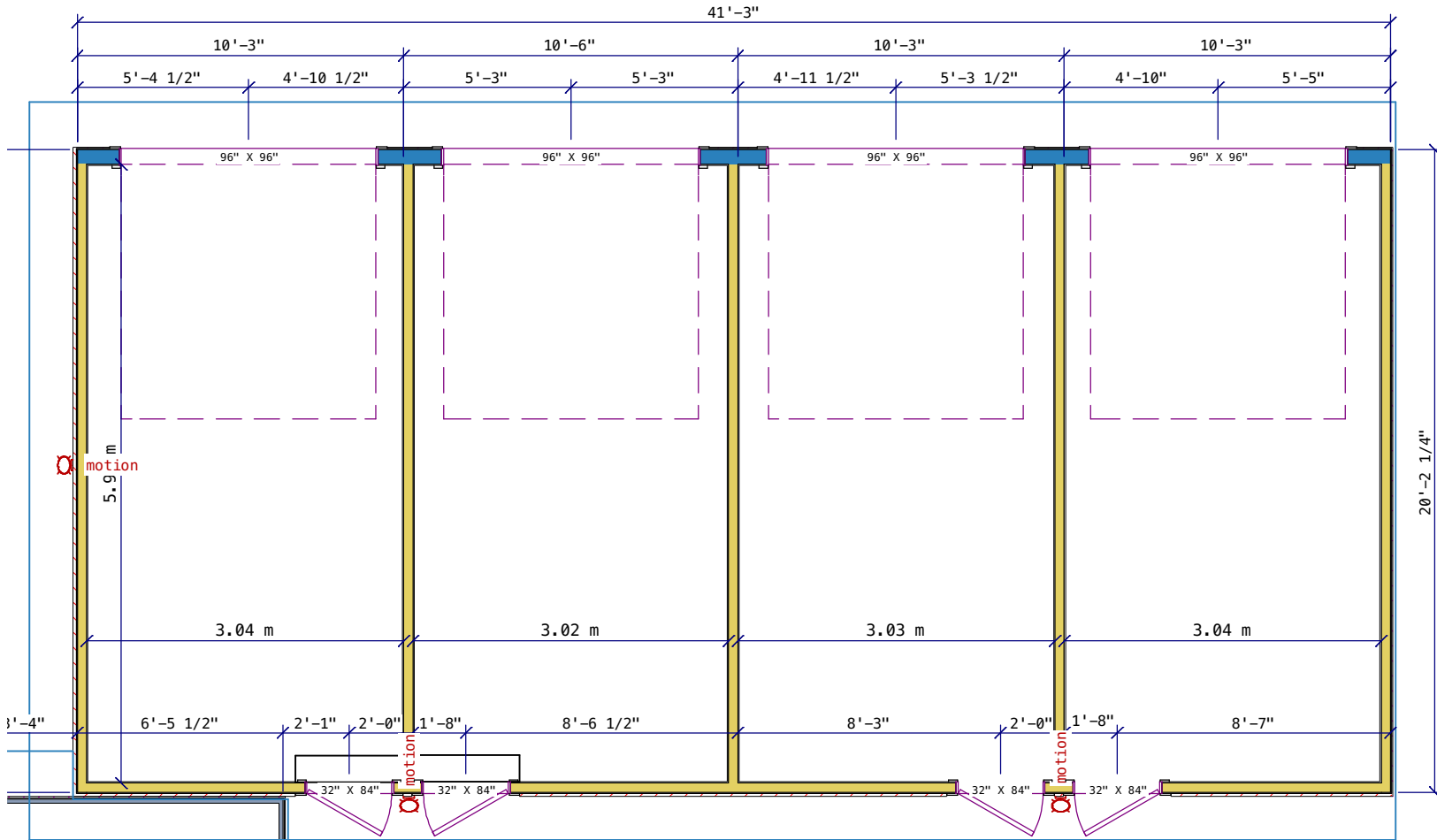
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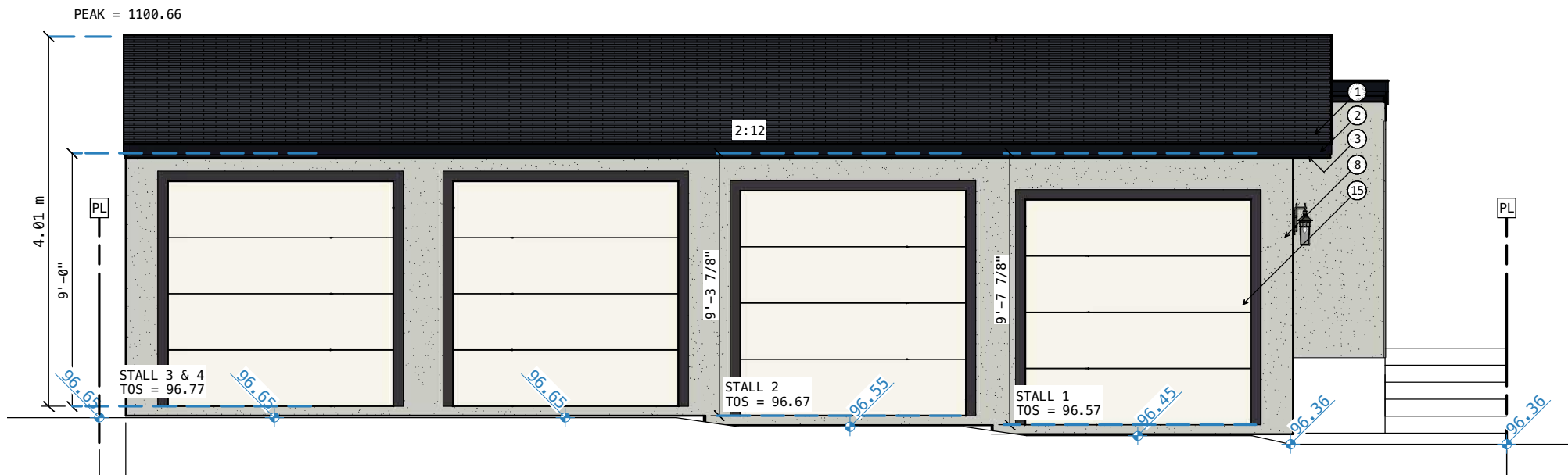
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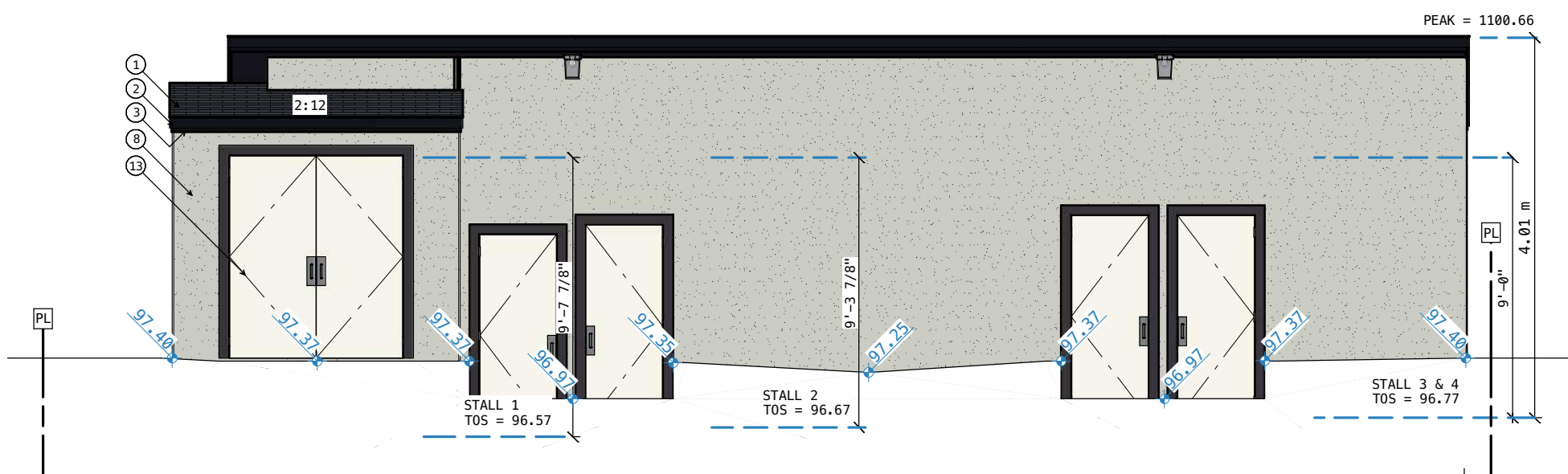
LEFT ELEVATION (WEST)
SCALE: 3/16"=1'-0"



GARAGE PLAN
SCALE: 3/16"=1'-0"



GARAGE ELEVATION - LANEWAY
SCALE: 3/16"=1'-0"



GARAGE ELEVATION - YARD
SCALE: 3/16"=1'-0"