

CMGCC SHOP EXPANSION

ISSUED FOR DP
2026-07-14

CANYON MEADOWS GOLF & COUNTRY CLUB
SHOP EXPANSION

MUNICIPAL ADDRESS: 12501 14 ST SW, CALGARY, AB T2W 2Y8

LEGAL ADDRESS: Lot 2, Block 2, Plan 051 1011

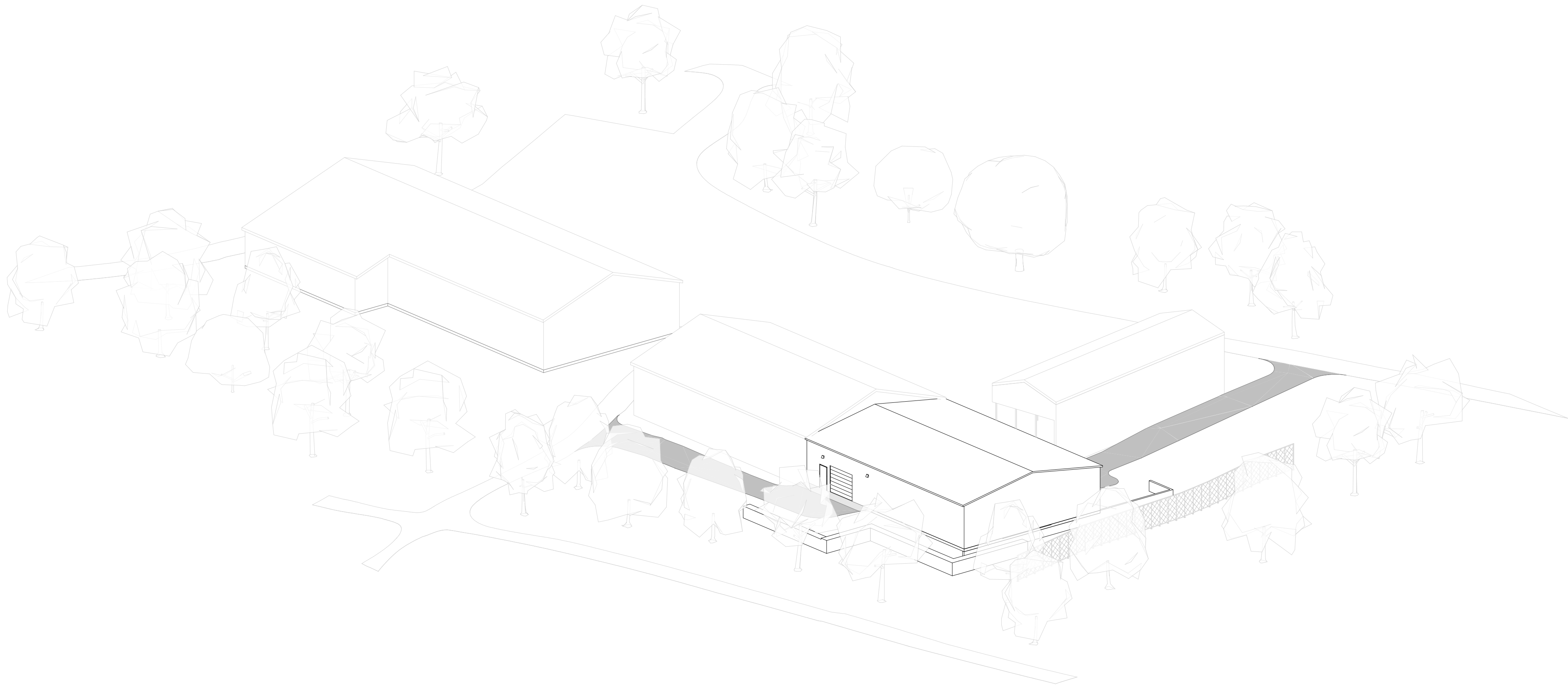
DRAWING LIST

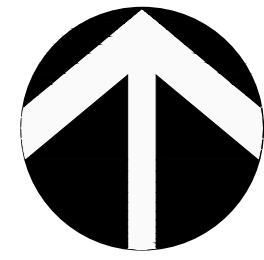
SURVEY
EXISTING SITE SURVEY

CIVIL
201-12 SVC SITE SERVICING PLAN (FOR DP)
201-12 GRAD SITE GRADING PLAN (FOR DP)

ARCHITECTURAL
DP001 PROJECT INFORMATION
DP101 SITE PLAN
DP201 LEVEL 1 FLOOR PLAN
DP202 ROOF PLAN
DP401 NORTH & WEST ELEVATIONS
DP402 EAST ELEVATION
DP501 BUILDING SECTIONS

ELECTRICAL
ET101 SITE PLAN





VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

EXISTING UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE 5A MANHOLE
- TYPE 1S MANHOLE
- CATCH BASIN
- HYDRANT
- WATER VALVE
- U/G ELECTRICAL
- GAS

PROPOSED UTILITIES

- SANITARY SEWER
- STORM SEWER
- WATER LINE
- FENCE
- TYPE 5A MANHOLE
- CATCHBASIN/MANHOLE
- TYPE 1S MANHOLE
- TYPE C CATCH BASIN
- TYPE K3 CATCH BASIN
- ROOF DRAIN
- AREA DRAIN
- HYDRANT
- WATER VALVE
- WATER METER LOCATION
- EXISTING ASPHALT

REVISIONS

NO.	yy/mm/dd	DESCRIPTION	BY	APPD
1	-	-	-	-
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE (yy/mm/dd)
1	FOR DP	26/06/25
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

LOLA
Architecture

PROJECT

JOB DESCRIPTION			
CMGCC			
PARCEL SIZE: HA		NUM. OF UNITS: UNITS	
LOT: 2	BLK: 2	PLAN: 051 1011	
DP#:		DSSP: -	
ADDRESS: 12501 14TH ST SW CALGARY AB			
LEGAL DESCRIPTION:		E 1/2-8-23-1-W5M	
TITLE			

**SITE SERVICING PLAN
(FOR DP)**

SCALE: 1:250	STAMP:
DWN: TC	
DES: RB	
DATE: JUN 25-26	
CHK: RB	
P. ENG: RB	
PERMIT:	

PROJECT No.	SHEET	OF
201-12	1	2
DRAWING NAME	DESIGNED BY	REVIEWED BY
201-12 SVC		R 0

LOT 2
BLOCK 2
PLAN 051 1011

EX TREELINE (TYP)

EX CONC
VAULT (TBR)

EX CONC
WASH PAD (TBR)

PROPOSED BUILDING
MF 1091.90

EX WAREHOUSE
MF 1092.26

PROPOSED
WATER
25 PEX

EX WAREHOUSE
MF 1092.63

EX CONC
APRON

EX CONC
APRON

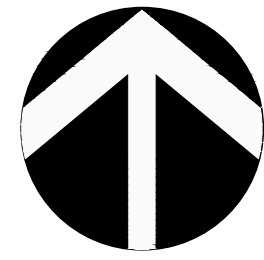
EX JERSEY
BARRIER

EX FUEL
TANK

EX 200mm
CULVERT

- UTILITIES NOTES:
- EXACT LOCATION OF ALL EXISTING INFRASTRUCTURE TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION BEGINS
 - ALL VALVES TO OPEN CLOCKWISE
 - ALL MANHOLES TO USE SULFATE RESISTANT CONCRETE
 - STORM AND SANITARY SEWER > 150mm TO BE SDR35 OR EQUIVALENT
 - STORM AND SANITARY SEWER ≤ 150mm TO BE SDR28 OR EQUIVALENT
 - ALL WATER MAINS < 150mm TO BE SDR14
 - ALL WATER MAINS ≥ 150mm TO BE SDR18
 - FOLLOW CITY OF CALGARY SPEC 504.03.00 FOR WATERLINE BEDDING AND PIPE ZONE
 - BACKFILL
 - INSULATION REQUIRED FOR SANITARY SEWERS IF COVER LESS THAN 2.50m ON MAINS, AS PER CITY OF CALGARY STANDARDS
 - INSULATION REQUIRED FOR STORM SEWERS IF COVER LESS THAN 1.20m AS PER CITY OF CALGARY STANDARDS
 - DEPTH OF BURY FOR WATER LINES TO CONFORM WITH CITY OF CALGARY STANDARDS
 - WATER INFRASTRUCTURE TO MAINTAIN A MINIMUM 3.00 SEPARATION FROM TREES, STREET LIGHTS AND CATCH BASINS
 - PROTECTION OF PORTABLE WATER SUPPLY FROM CONTAMINATION: ALL CROSS CONNECTIONS OR POTENTIAL CROSS CONNECTIONS MUST BE EITHER ELIMINATED OR PROTECTED AGAINST BACKFLOW BY THE INSTALLATION OF A CROSS CONNECTION CONTROL DEVICE. ALL CROSS CONNECTION CONTROL DEVICES MUST BE INSTALLED IN ACCORDANCE WITH THE WATER UTILITY BY-LAW 22MB2 AND THE NATIONAL PLUMBING CODE OF CANADA
 - THE CONTRACTOR IS TO VERIFY THE LOCATION OF EXISTING SANITARY STORM AND WATER SERVICES AND CONFIRM EXISTING INVERTS PRIOR TO INSTALLATION WITHIN THE PROJECT AREA. THE ENGINEER SHOULD BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES
 - ALL EXISTING STORM & SANITARY SEWERS THAT ARE OPERATIONAL MUST BE MAINTAINED AS SUCH DURING CONSTRUCTION OR SUITABLE ALTERNATE PROVIDED
 - SANITARY MANHOLE UDS MUST BE SEALED WHEN LOCATED IN TRAPPED LOW AREAS WITH PLASTIC PLUGS OR USE A SINGLE VENT COVER
 - MINIMUM 300mm TOPSOIL DEPTH FOR ALL LANDSCAPE AREAS

1:250 0 2.5 5 7.5 10



VERITAS
DEVELOPMENT SOLUTIONS

LEGEND

GRADING FEATURES

- EX MAJOR CONTOUR LINES
- EX MINOR CONTOUR LINES
- PROPOSED CONCRETE SWALE
- PROPOSED TYPE C CATCH BASIN
- PROPOSED TYPE K3 CATCH BASIN
- PROPOSED MANHOLE
- PROPOSED CB/MANHOLE
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE
- PROPOSED CONCRETE PATIO
- PROPOSED RETAINING WALL
- PROPOSED CURB WALL
- PROPOSED ROLLED CURB
- PROPOSED SHALLOW CURB
- PROPOSED STANDARD CURB
- # OF INTERIOR/EXTERIOR STEPS
- PROPOSED GRASS SWALE
- PROPOSED CHAINLINK FENCE
- PROPOSED POST & CABLE FENCE
- EXISTING PL GRADE
- PROPOSED FINISHED GRADE

REVISIONS

NO.	yy/mm/dd	DESCRIPTION	BY	APPD
1	-	-	-	-
2	-	-	-	-
3	-	-	-	-
4	-	-	-	-
5	-	-	-	-

SUBMISSIONS

NO.	DESCRIPTION	DATE (yy/mm/dd)
1	FOR DP	26/06/19
2	FOR APPROVAL	-
3	FOR ARCHIVE	-

CLIENT

LOLA
Architecture

PROJECT

JOB DESCRIPTION			
CMGCC			
PARCEL SIZE: HA		NUM. OF UNITS: UNITS	
LOT: 2	BLK: 2	PLAN: 051 1011	
DP#:		DSSP:	
ADDRESS: 12501 14TH ST SW CALGARY AB			
LEGAL DESCRIPTION: E 1/2-8-23-1-W5M			
TITLE			

**SITE GRADING PLAN
(FOR DP)**

SCALE: 1:250	STAMP:
DWN: TC	
DES: RB	
DATE: JUN 18-26	
CHK: RB	
P. ENG: RB	
PERMIT:	

PROJECT No.	SHEET	OF
201-12	2	2
DRAWING NAME	SECTION	ALL PRINTS PRIOR TO
201-12 GRAD	R	0

- GENERAL NOTES:
- EXISTING GROUND CONTOURS BASED ON SURVEY INFORMATION
 - PROVIDED BY OLSEN NORTH DATED 2025-09-23
 - ALL TRUNCATED RIMS, INVERTS AND ELEVATIONS GEODETIC REFERENCED TO 1000.00m IN ELEVATION
 - ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED
 - ALL COORDINATES AND DISTANCES ARE BASED ON 31M COORDINATE SYSTEM (NAD 83)
 - NO CONSTRUCTION SHALL PROCEED UNTIL ALL APPROPRIATE REGULATORY APPROVALS ARE OBTAINED
 - NO BACK SLOPING PERMITTED ON ANY ADJACENT PARCEL WITHOUT WRITTEN CONSENT FROM THE ASSOCIATED OWNER
 - FOR BUILDING LOCATIONS AND DIMENSIONS REFER TO LATEST ARCHITECTURAL DRAWINGS
 - ANY ERRORS OR DISCREPANCIES TO BE REPORTED TO THE ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION

1:250 0 2.5 5 7.5 10

PROJECT INFORMATION

ADDITION TO EXISTING SHOP

MUNICIPAL ADDRESS:
12501 14 ST SW, CALGARY, AB T2W 2Y8

LEGAL ADDRESS:
PLAN: 0511011; BLOCK:2 ; LOT:2

LAND USE DESIGNATION:
SR SPECIAL PURPOSE - RECREATION

SITE AREA:
80.02 ha (197.723 ACRES)
800,200 m² (8,613,281 ft²)

EXISTING SITE COVERAGE:
1,165 m² (12,540 ft²) (0.15%)

PROPOSED ADDITION AREA:
329.83 m² (3,550.26 ft²)

SETBACKS

FRONT SETBACK AREA: 3.0m
SIDE SETBACK AREA: 6.0m WHEN ABUTTING A RESIDENTIAL DISTRICT
3.0m WHEN ABUTTING ANY OTHER DISTRICT
REAR SETBACK AREA: 6.0m WHEN ABUTTING A RESIDENTIAL DISTRICT
3.0m WHEN ABUTTING ANY OTHER DISTRICT

SITE DATA

MAXIMUM BUILDING HEIGHT: N/A
PROPOSED BUILDING HEIGHT 5.5m

MAXIMUM FAR: N/A
PROPOSED FAR: 0.0018

BUILDING CODE

NBC ALBERTA EDITION 2023
GROUP F-3 OR F-2, PART 3, UNSPRINKLERED



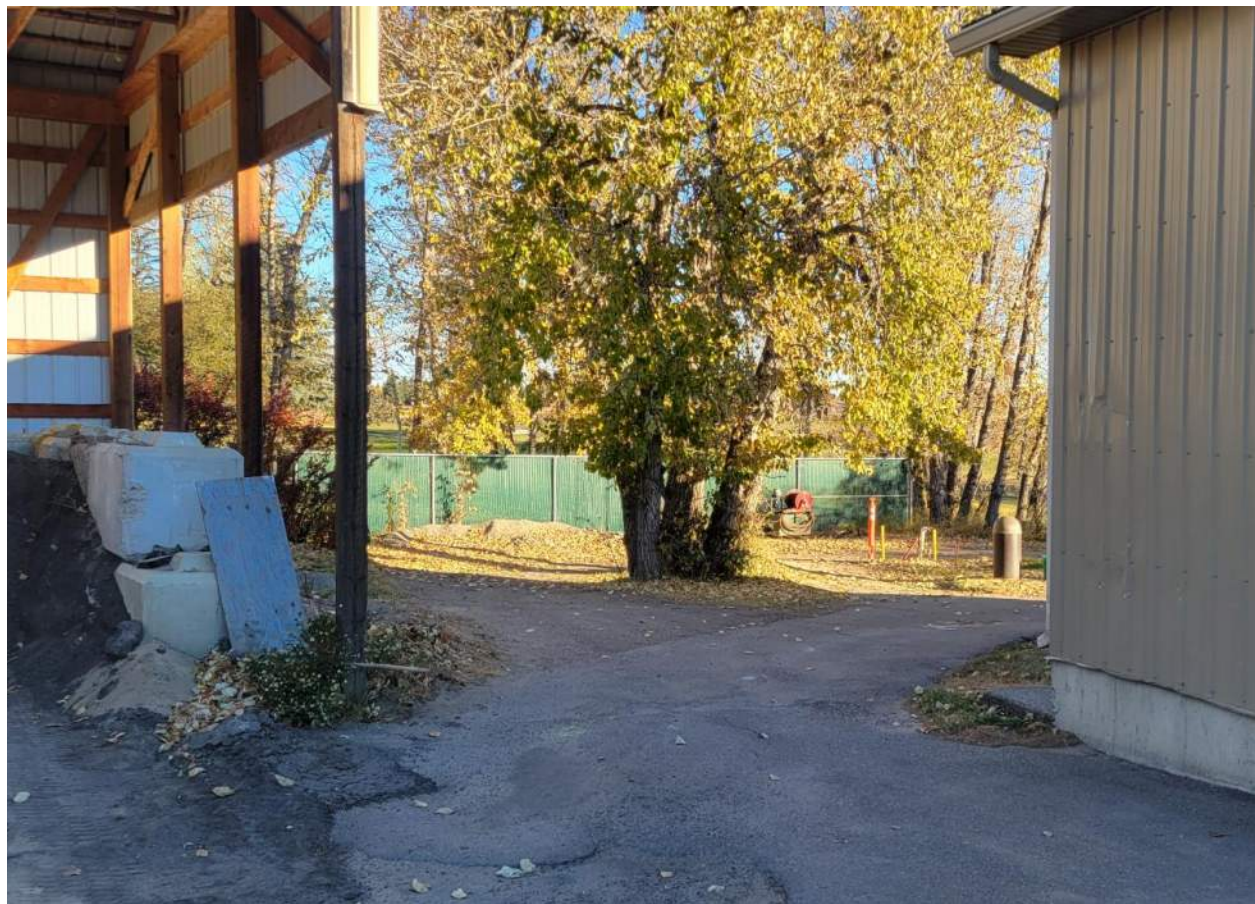
View from existing maintenance area parking looking north (site is to the right between the two buildings)



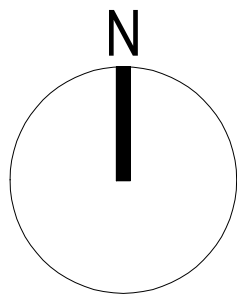
View from eastern edge of maintenance area looking north toward building site



View from north looking south across building site area to existing maintenance area



View looking at proposed site area



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PROJECT TEAM:

ARCHITECT:
LOLA ARCHITECTURE INC.
STRUCTURAL CONSULTANT:
ENTUITIVE
MECHANICAL CONSULTANT:
AME GROUP
ELECTRICAL CONSULTANT:
SMP ENGINEERING
CIVIL ENGINEERING:
VERITAS DEVELOPMENTS
LANDSCAPE:

CLIENT NAME
CANYON MEADOWS GOLF
COUNTRY CLUB

CONSULTANT

SEAL

DRAWING HISTORY

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2026-07-14

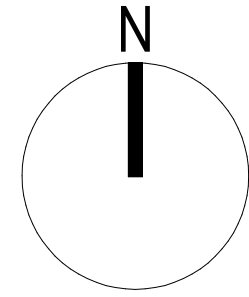
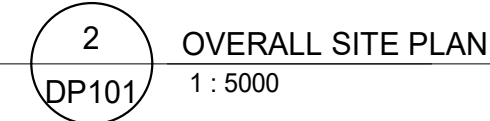
PROJECT TITLE
CMGCC SHOP
EXPANSION

PROJECT ADDRESS:
12501 14 ST SW, CALGARY, AB T2W 2Y8

DRAWING TITLE
PROJECT INFORMATION

DRAWN	ISSUE DATE
DRAWN BY	2026-07-14
SCALE	REVIEWED
1 : 10	CHECKED BY
2025-026	PROJECT NO.

DP001



DP101

ISSUED FOR DP

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PROJECT TEAM:

ARCHITECT:
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STRUCTURAL CONSULTANT:
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MECHANICAL CONSULTANT:
AME GROUP
ELECTRICAL CONSULTANT:
SMP ENGINEERING
CIVIL ENGINEERING:
VERITAS DEVELOPMENTS
LANDSCAPE:

CONSULTANT

SEAL

ISSUED FOR DP

PROJECT TITLE

**CMGCC SHOP
EXPANSION**

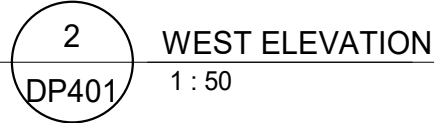
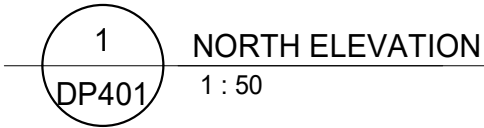
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12501 14 ST SW, CALGARY, AB T2W 2Y8

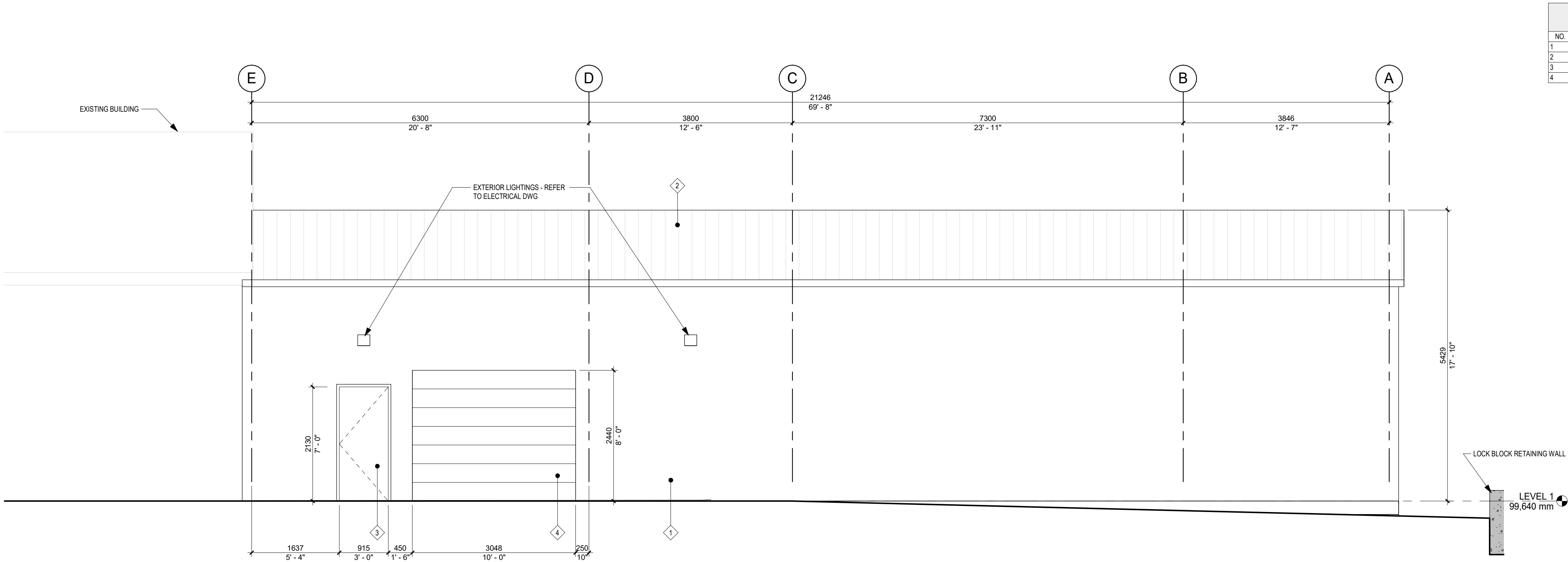
DRAWING TITLE

NORTH & WEST ELEVATIONS

DRAWN	ISSUE DATE
DRAWN BY	2026-07-14
SCALE	REVIEWED
1 : 50	CHECKED BY
2025-026	PROJECT NO.

Autodesk Docs://CMGCC Shop Expansion/2025-026 CMGCC Shop Expansion R25 Arch.rvt





MATERIAL LEGEND	
NO.	MATERIAL
1	PREFINISHED METAL CLADDING - WARM GREY
2	PREFINISHED METAL ROOFING - WARM GREY
3	MAN DOOR - WHITE TO MATCH EXISITNG BUILDING
4	OVERHEAD DOOR - WARM GREY TO MATCH SIDING

LOLA
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STRUCTURAL CONSULTANT:
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AME GROUP
ELECTRICAL CONSULTANT:
SMP ENGINEERING
CIVIL ENGINEERING:
VERITAS DEVELOPMENTS
LANDSCAPE:

CLIENT NAME
CANYON MEADOWS GOLF
COUNTRY CLUB

CONSULTANT

SEAL

DRAWING HISTORY

NO.	DESCRIPTION	DATE
1	ISSUED FOR DP	2026-07-14

PROJECT TITLE
CMGCC SHOP
EXPANSION
PROJECT ADDRESS:
12501 14 ST SW, CALGARY, AB T2W 2Y8

DRAWING TITLE
EAST ELEVATION

DRAWN
DRAWN BY
SCALE
1 : 50
ISSUE DATE
2026-07-14
REVIEWED
CHECKED BY
2025-026 PROJECT NO.

DP402

ISSUED FOR DP



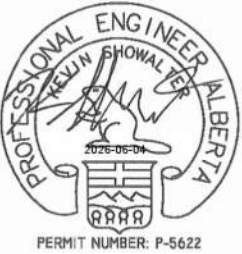
ello@lolaarchitecture.ca
87.329.5671

LANDSCAPE NAME

CONSULTANT



SEAL



ARM SIGNATURE: _____ 111020

2026-06-04

DATE: _____

PMIT NUMBER: P005622
Association of Professional Engineers and
Geoscientists of Alberta (APEGA)

DRAWING HISTORY

[illegible]

PROJECT TITLE

CMGCC Shop Expansion

PROJECT ADDRESS:
12501 14 St SW, Calgary, AB T2W 2Y8

DRAWING TITLE

SITE PLAN

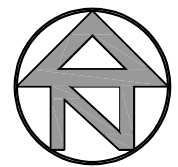
ISSUE DATE
2026-06-03

SCALE	REVIEWED
1 : 200	KS

2025-026 PROJECT NO

E1.01

Autodesk Docs://CMGCC Shop Expansion/2025-026_CMGCC Shop Expansion_R25_Arch



1 SITE PLAN
E1.01 SCALE: 1:200

LUMINAIRE SCHEDULE								
TYPE	DESCRIPTION	MOUNTING	WATTS	COLOR TEMP	LUMENS	MANUFACTURER	PART NUMBER	REMARKS
100	EXTERIOR WALL PACK	WALL	58 W	3000 K	6129 lm	COOPER LIGHTING	XTOR6B	-
LUMINAIRE SCHEDULE NOTES								
• REFER TO SPECIFICATION FOR EQUIVALENT PRODUCT SUBMISSION PROCEDURES. • MANUFACTURER'S PART NUMBER IS SHOWN TO INDICATE INTENT ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PART NUMBER AND THE DESCRIPTION, ALLOW FOR THE MOST EXPENSIVE OPTION AND NOTIFY THE ENGINEER. • COLOUR TEMPERATURE SHALL BE 3500°K UNLESS OTHERWISE NOTED. • ALL LUMINAIRE AND CABLE FINISHES TO BE APPROVED BY ARCHITECT / INTERIOR DESIGNER PRIOR TO ORDERING. • CONTRACTOR SHALL COORDINATE CONTINUOUS ROW LENGTHS REQUIRED WITH DRAWINGS. SITE MEASURE PRIOR TO ORDERING LUMINAIRES.								