

MULTI-RESIDENTIAL DEVELOPMENT

CIVIC ADDRESS: 320 15 AVE NE

LEGAL ADDRESS:PLAN 791P; BLOCK 34; LOT 1 & 2

PROJECT No. 26119

24 JUL 2026 | ISSUED FOR DEVELOPMENT PERMIT APPLICATION

PROJECT DIRECTORY

ARCHITECTURAL	STRUCTURAL	MECHANICAL	ELECTRICAL	CIVIL	ENERGY MODELING
PENG ARCHITECTURE & CONSULTING LTD.	TJZ STRUCTURAL ENGINEERING LTD.	MECHTECH ENGINEERING	ELEQRON	RICHVIEW ENGINEERING INC	MECHTECH ENGINEERING
ADDRESS: 2960 SIGNAL HILL DR. SW CALGARY AB PH: 403 998 6823 EMAIL: PENGARCHITECTURE@GMAIL.COM	ADDRESS: 8687 146 AVE SE CALGARY AB T3S 0A6 PH 403-667-6888 EMAIL: JACKY@TJZSTRUCTURAL.COM	ADDRESS: 234,12 AVE NW CALGARY AB T2M 0C5 PH:403 996 8823 EMAIL: KEVIN@MTENG.CA	ADDRESS: 720 28 ST NE #255, CALGARY, AB T2A 6R3 PH 587 500 6662 EMAIL: AMIR.SABIH@ELEQRON.CA	ADDRESS: UNIT D, 203 38TH AVE NE CALGARY, AB T2E 2M3 PH: 403 230 3218 EMAIL: ROBIN@RICHVIEWENG.COM	ADDRESS: 234,12 AVE NW CALGARY AB T2M 0C5 PH:403 996 8823 EMAIL: KEVIN@MTENG.CA



DRAWING LIST

SITE SURVEY	CIVIL	ARCHITECTURAL	ELECTRICAL
SITE SURVEY PLAN	C01 SITE SERVICING PLAN C02 SITE GRADING PLAN	A100 SITE SURVEY & LOCATION MAP A101 SITE PLAN A102 LANDSCAPE PLAN A103 STREET ELEVATIONS A201 FLOOR PLANS A202 FLOOR PLANS A203 FLOOR PLANS A204 FLOOR PLANS A205 ROOF PLAN A401 ELEVATIONS	A402 ELEVATIONS A403 ELEVATIONS A501 SECTIONS E0.1 SYMBOLS LEGEND & DRAWING LIST E0.2 SITE LIGHTING PLAN & CALCULATIONS E1.1 SPECIFICATIONS

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SITE PLAN

MUNICIPAL ADDRESS:
320 15 AVENUE N.E.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOTS 1 & 2
BLOCK 34
PLAN 791 P

PREPARED FOR: Aboriginal Friendship Centre of Calgary

DATE OF SURVEY: June 08th, 2026

SCALE: 1:200

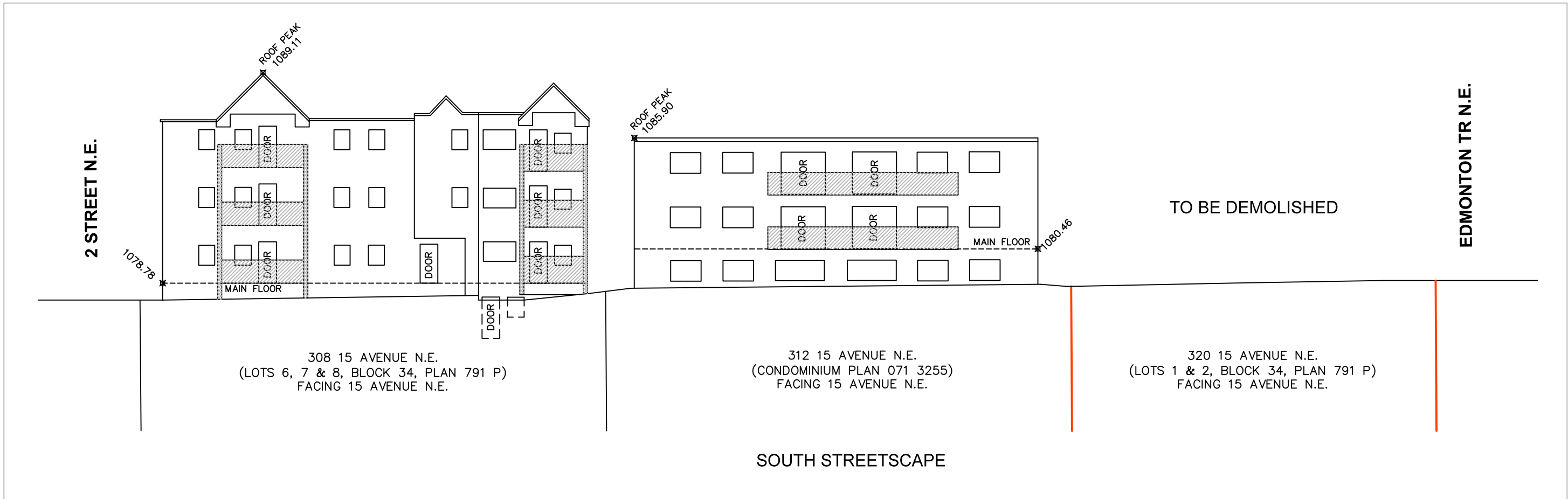
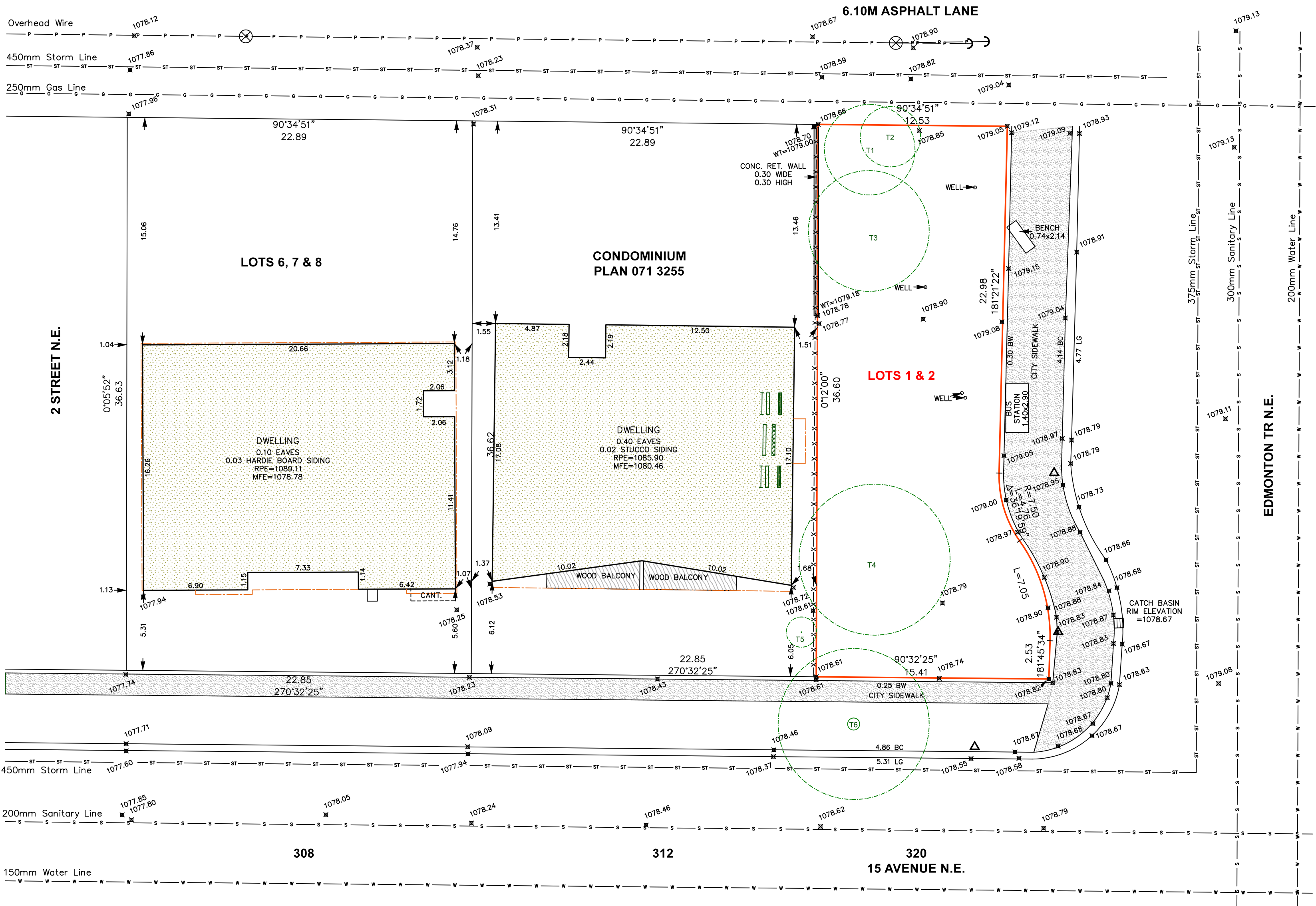
- LEGEND:
- Subject Property Line
 - Right of Way Line
 - Eave Line
 - Fence Line
 - Sanitary Line
 - Storm Line
 - Water Line
 - Gas Line
 - Overhead Wire
 - A.G.T Line
 - Door
 - Second Floor Window
 - Main Floor Window
 - Basement Floor Window
 - Calculation points
 - Power Pole
 - Power Anchor
 - Light Pole
 - Manhole
 - Catch Basin
 - Water Valve
 - Gas Valve
 - Sign
 - Fire Hydrant
 - Tree
 - Main Building Hatch
 - Detached Garage Hatch
 - Shed Hatch
 - Concrete and Asphalt Hatch
 - Wood Hatch
 - Roof Hatch
- '2F.'-Second Floor
'BC'-Back of Curb
'BW'-Back of Walkway
'Cant.'-Cantilever
'Conc.'-Concrete
'Elev.'-Elevation
'Enc.'-Encroach(es)
'L'-Length of Arc
'LG'-Lip of Gutter
'M.F.'-Main Floor
'MFE'-Main Floor Elevation
'R'-Radius
'R/W'-Right of Way
'Ret.'-Retaining
'RPE'-Roof Peak Elevation
'WB'-Bottom of Wall
'WT'-Top of Wall

NOTE:

- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999734
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 60251.
- Existing spot elevations are shown thus: 1078.00
- The Certificate of Title 101 041 469 which was Searched on the 3rd day of June, 2026, and includes the following instruments:
No Registrations.
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 213 in Sec.27-Twp.24-Rge.1-W.5M.
54, 69, 128 & 241 in Sec.22-Twp.24-Rge.1-W.5M.
(Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

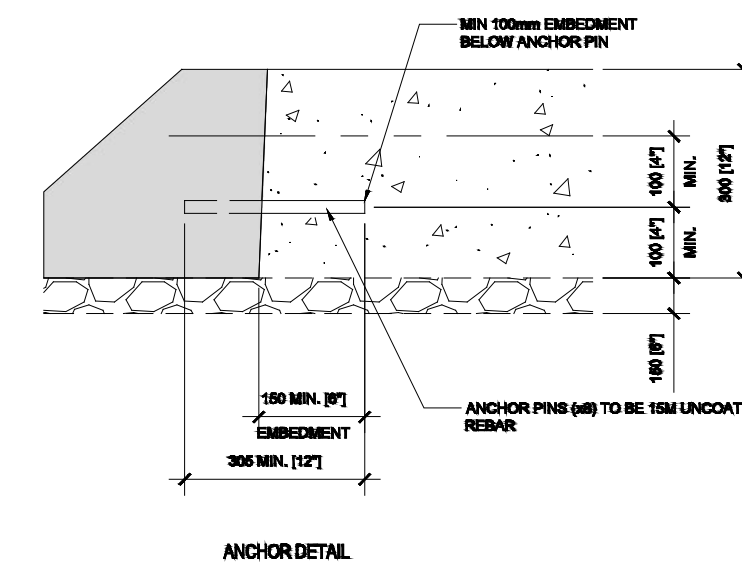
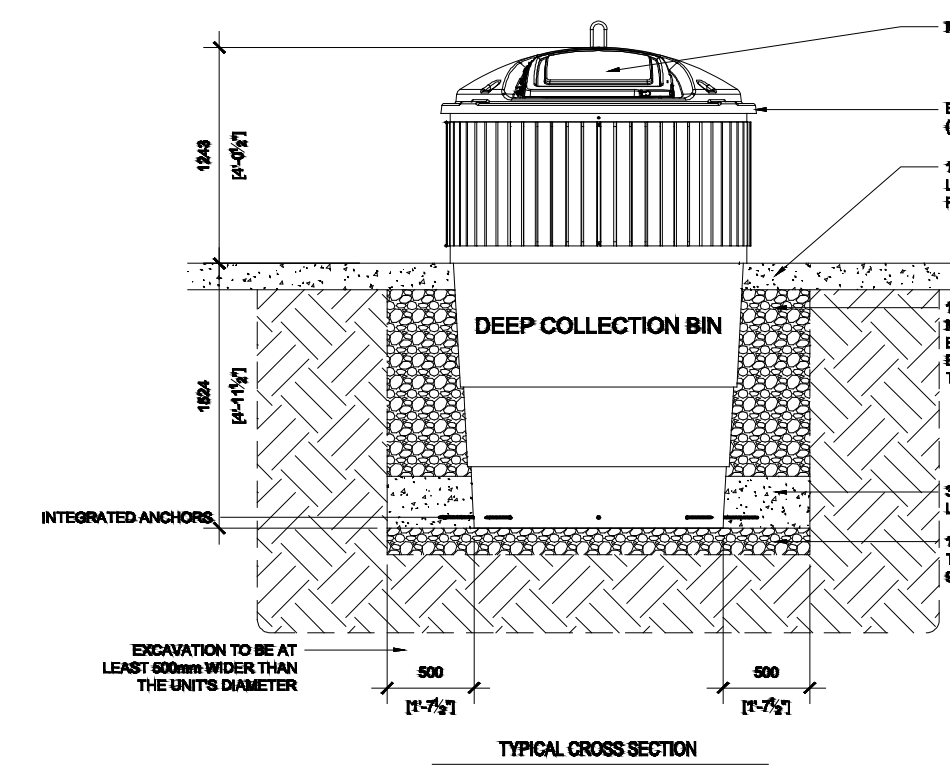
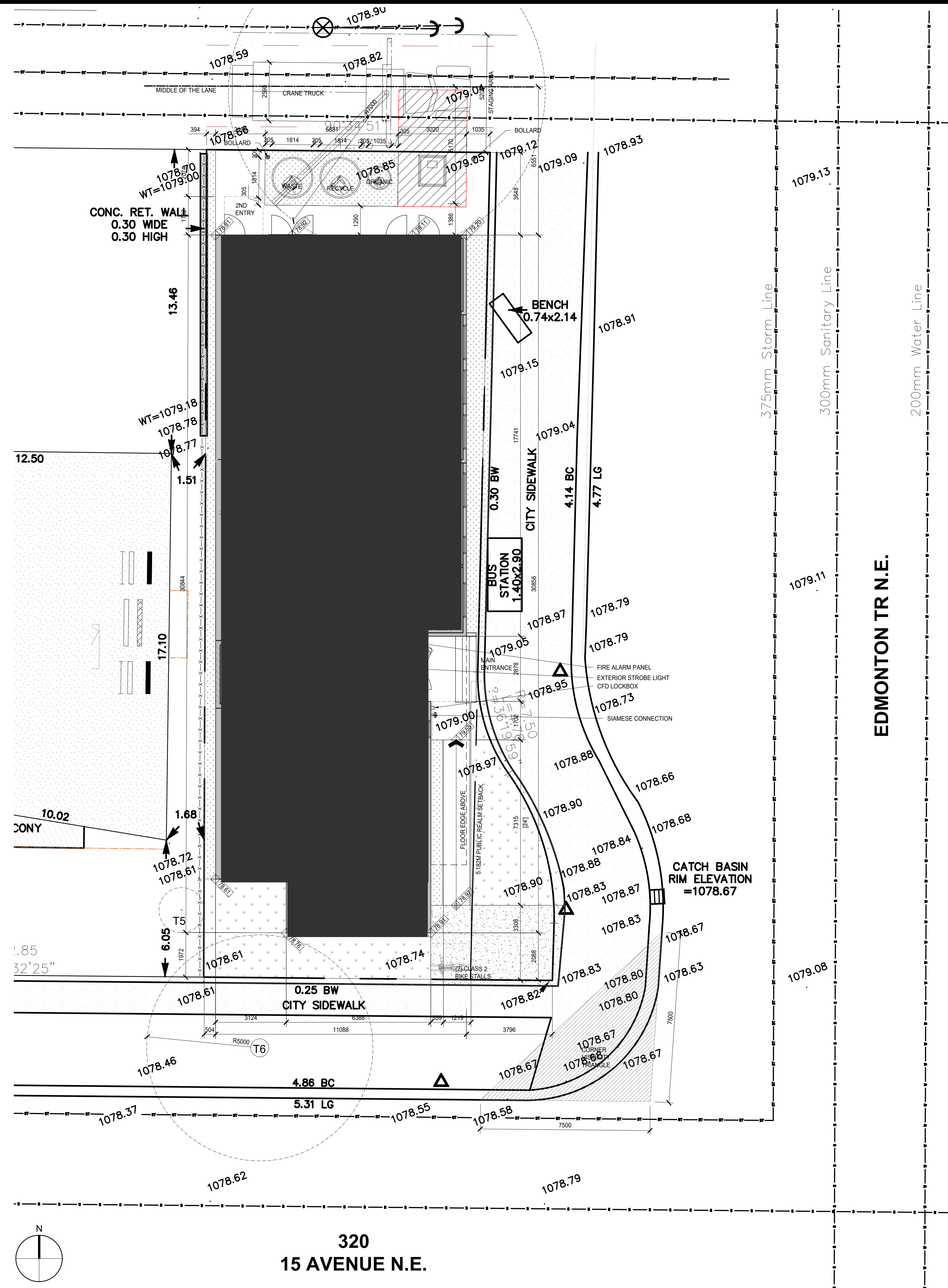
TREE SCHEDULE:

Tree No.	Variety	Trunk (#±)	Canopy (#±)	Height (#±)	Location
T1	Bush	-	6.00	2.00	In Subject Property
T2	Bush	-	4.00	2.00	In Subject Property
T3	Bush	-	8.00	2.00	In Subject Property
T4	Bush	-	10.00	3.00	In Subject Property
T5	Coniferous	0.05	2.00	3.00	In Adjacent Property
T6	Deciduous	0.80	10.00	7.00	In City Property

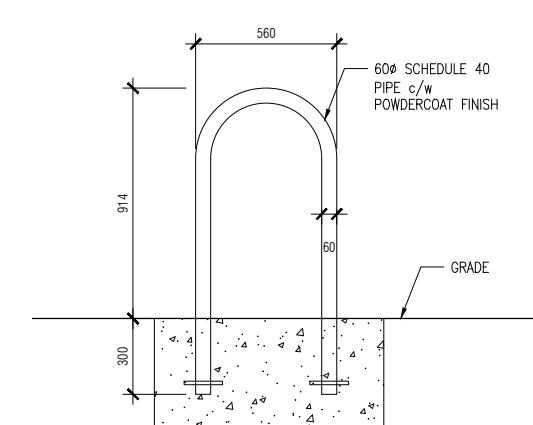


BICYCLE PARKING
CLASS 1: 18 STALLS REQUIRED
CLASS 1: 18 STALLS PROVIDED
CLASS 2: 2 STALLS REQUIRED
CLASS 2: 2 STALLS PROVIDED

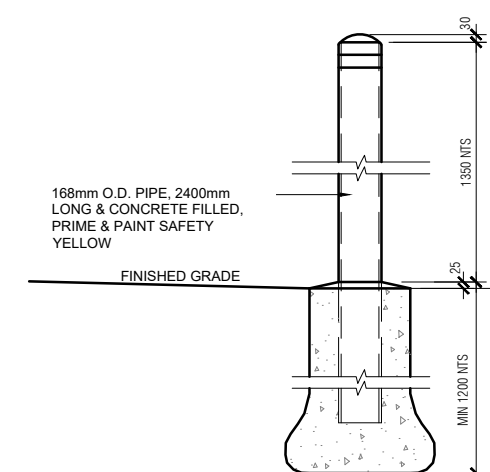
BARRIER-FREE ENTRANCE	ALL PEDESTRAIN ENTRANCES BE BARRIER FREE, AND BE DESIGNED ACCORDING TO 3.8.3.
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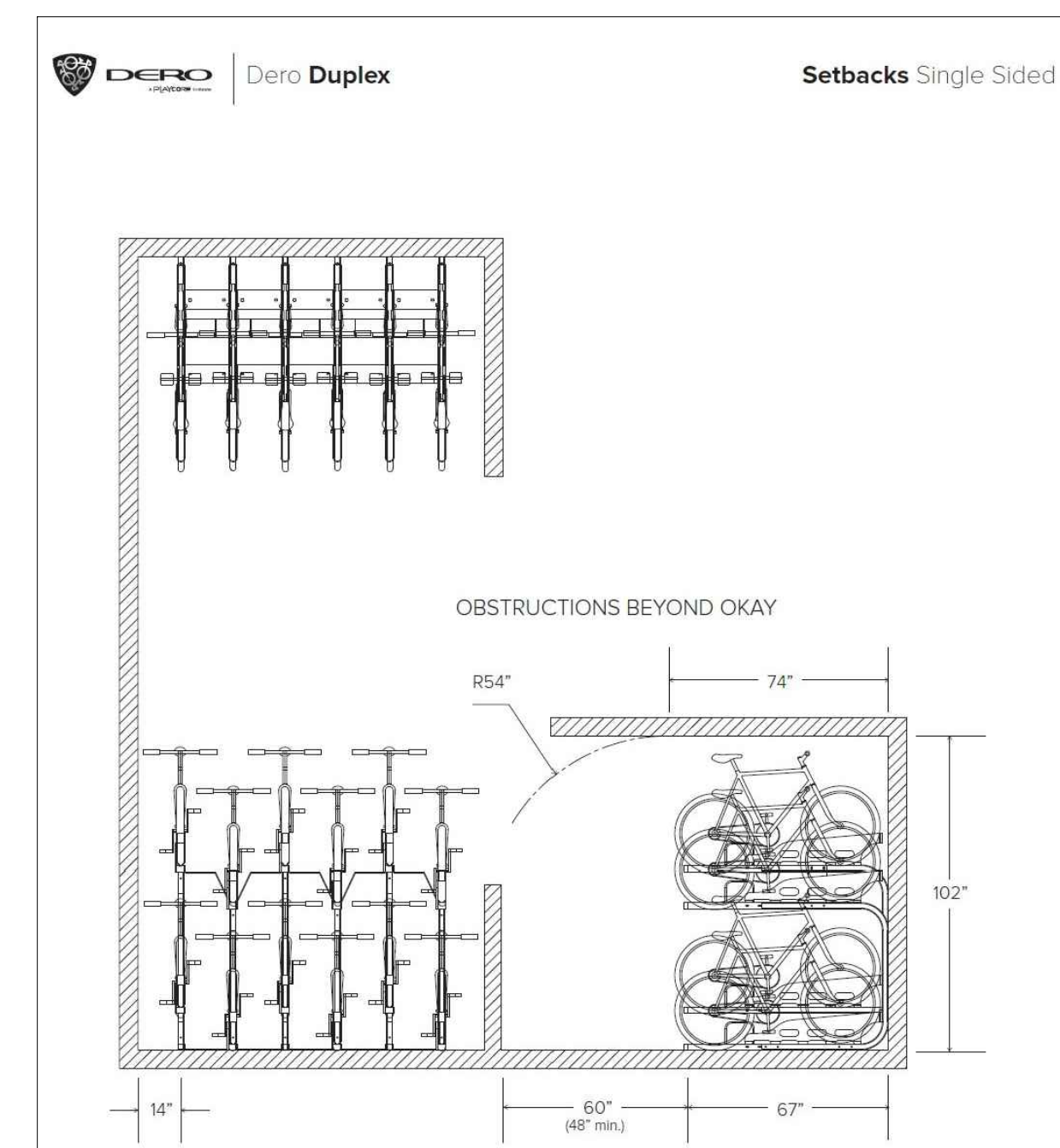
SEMI-INGROUND COLLECTION SYSTEM DETAIL, TYP.



CLASS 2
BIKE RACK DETAIL, TYP.



BOLLARD DETAIL, TYP.



CLASS 1
BIKE RACK DETAIL, TYP.

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Client _____

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320 15 AVE NE
CALGARY, AB
LEGAL: PLAN 791P BLOCK 34;
LOT 1 AND 2

Drawing Title

SITE PLAN

Scale

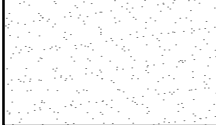
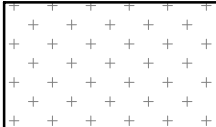
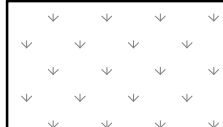
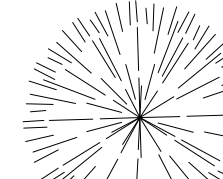
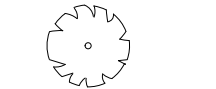
AS NOTED

Drawn	LP	Check	PP	Partner	PP
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Project No.	
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Date	Phase No.	Sheet No.
01 JUN 2026	0	A101

THE LANDSCAPE DESIGN IS BASED ON ADAPTING LOW WATER IRRIGATION SYSTEM.AS PER SECTION 918 (1)&(4) OF THE CITY OF CALGARY BYLAW.
THE GROUND LEVEL PROPOSED PLANTINGS LISTED AS FOLLOW

	CEMENT BROOM FINISH		ASPHALT
	ALPINE MULCH		GRASS
	75mm CALIPER DECIDUOUS TREE		3000mm HIGH CONIFEROUS TREE
	DECIDUOUS SHRUB		CONIFEROUS SHRUB
	PRAIRIE GRASS		

The diagram illustrates the standard tree planting process, divided into two main categories: Coniferous and Deciduous. It shows a cross-section of a tree being planted in a hole, with various components and steps labeled.

CONIFEROUS
LESS THAN (3m) HT.

DECIDUOUS
LESS THAN (100mm) CALIPER

STANDARD TREE PLANTING

DETAIL

300

EQ.

100

ANGLE STAKES AT 2 DEG. (TYP)

B&B ROOTBALL

RUBBER BLACK HOSE (12mm) POSITIONED APPROX. 3/5 HT. FOR ALL TREES

GALVANIZED GUY WIRE No. 12 MINIMUM

2 STAKES PER TREE (ALL EXPOSED PORTIONS OF TREE STAKES FREE OF RUST SCALED AND PRIMED)

TREE STAKES MIN. 2.1m LENGTH STUDDED HEAVYWEIGHT T-POSTS (7.5lb) TREE STAKE SET MIN. 300mm INTO UNDISTURBED SOIL

100mm DECIDUOUS WOOD CHIP MULCH OVER EXPOSED ROOTBALL (TAPER MULCH TO BASE OF TREE)

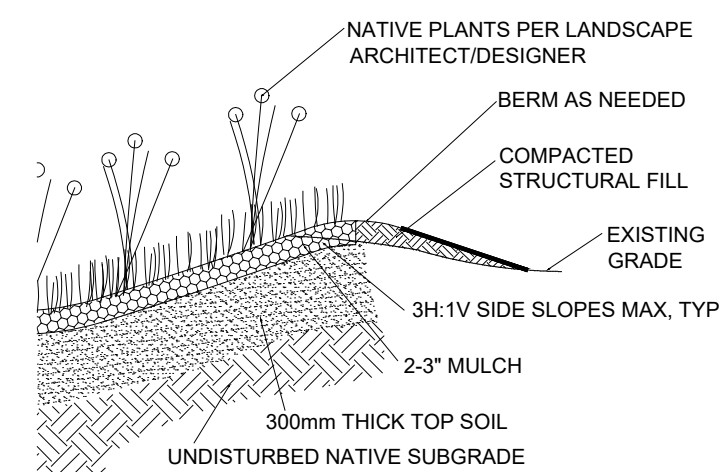
RE-ESTABLISH ANY DAMAGED SEED/SOD TO LOCAL STANDARDS

LIGHTLY COMPACT TOPSOIL

FOLD 1/3 WIRE BASKET AND BURLAP FROM TOP OF ROOTBALL. POSITION TOP OF ROOTBALL 50mm MAX. BELOW FINISH GRADE. (BURLAP TO BE TREATED NATURAL FIBRE)

SCARIFY WALL OF TREE WELL

UNDISTURBED NATIVE SOIL

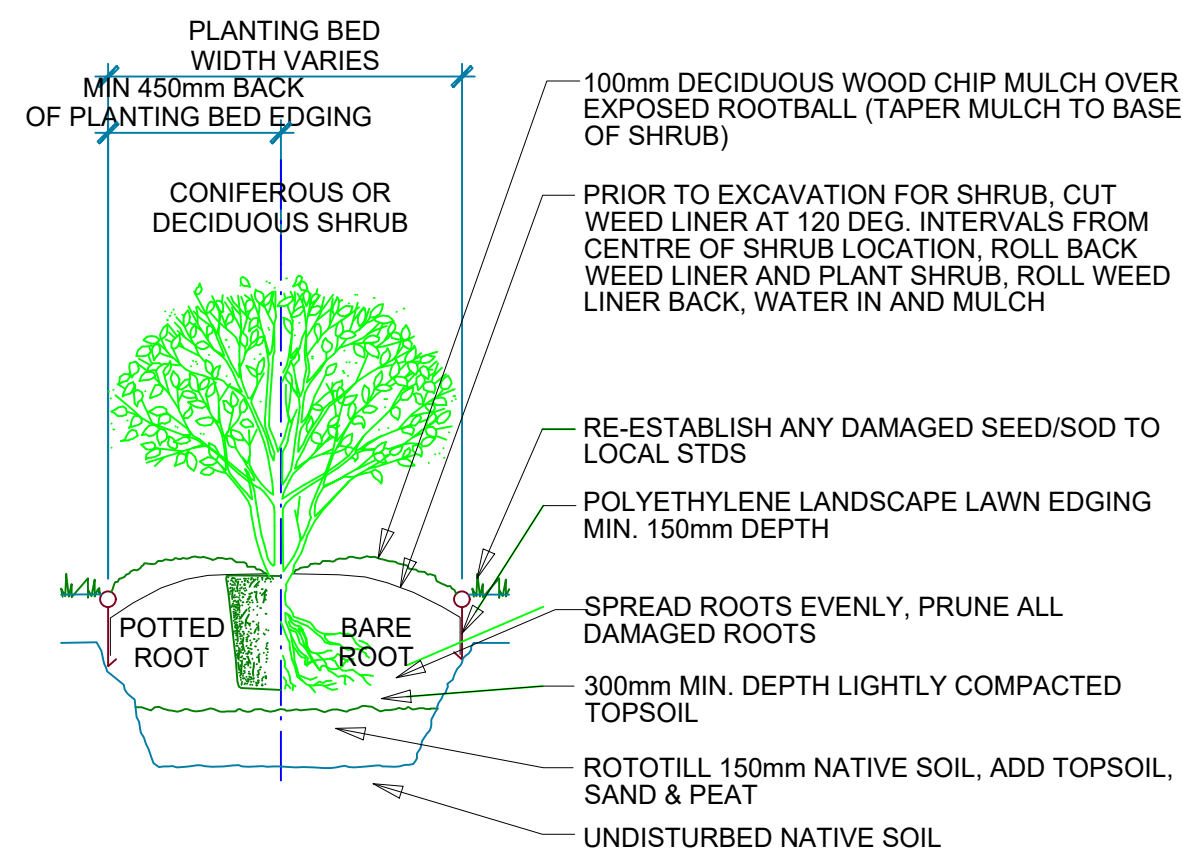


REQUIRED LOW IMPACT DEVELOPMENT (LID)

A MINIMUM DEPTH OF 0.3m OF TOPSOIL IS REQUIRED FOR SOD AREAS
A MINIMUM DEPTH OF 0.6m OF TOPSOIL IS REQUIRED SHRUB AND TREE BEDS
SHRUB AND TREE BEDS MAY HAVE UP TO 1.0m DEPTH OF TOPSOIL
SITE GRADING SHOULD DIRECT RAIN WATER RUNOFF TO PLANTS WITH HIGH WATER
NEEDS TO REDUCE RELIANCE ON POTABLE WATER

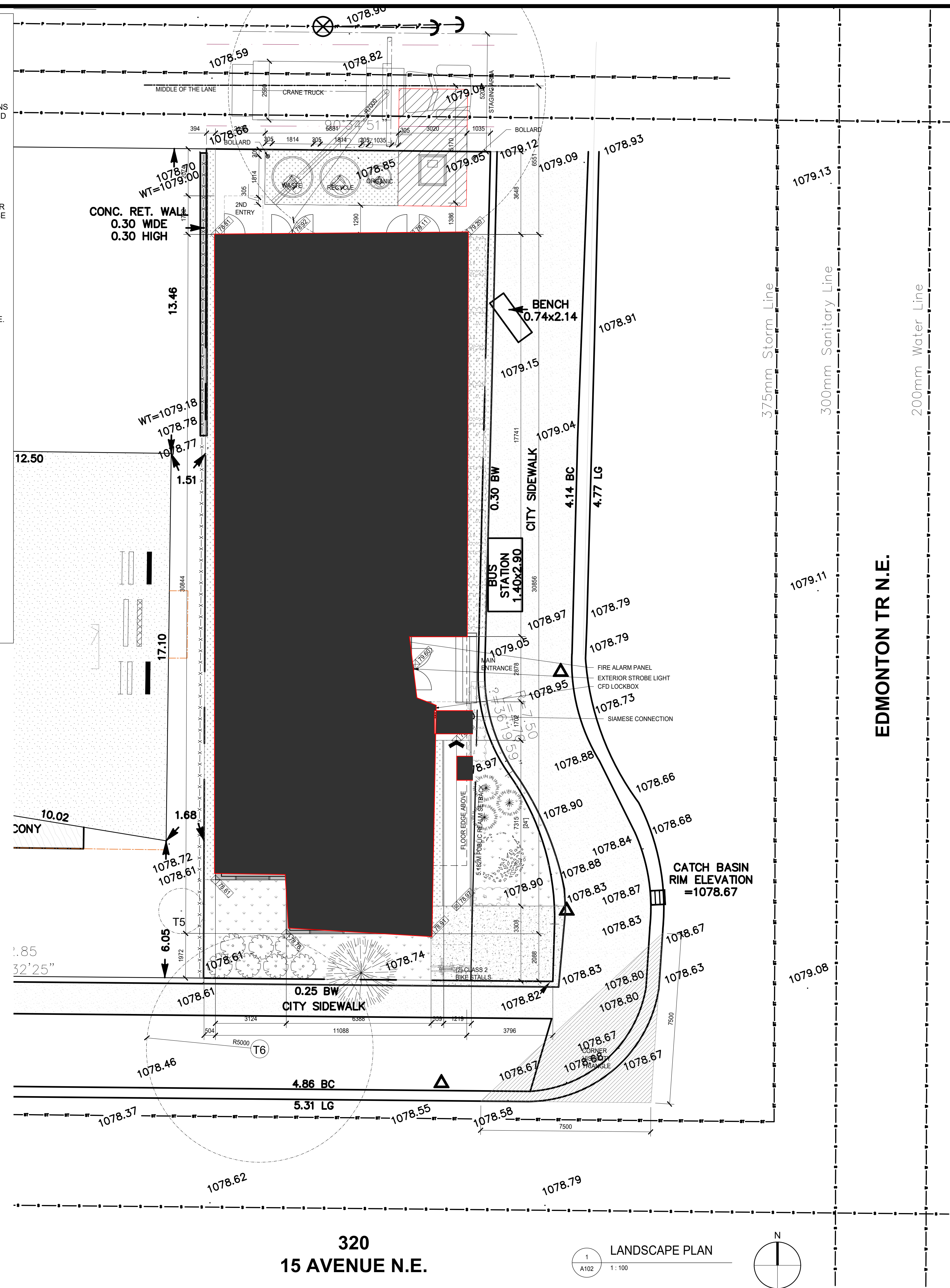
- PRUNE ONLY DEAD, BROKEN, OR DISEASED TREE LIMBS.
- IF MINIMUM UTILITY SETBACKS PERMIT, POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS.
- ALL TREE STAKES TO MAINTAIN MIN. 1.0m CLEARANCE FROM U/G POWER, TELEPHONE & GAS ALIGNMENTS.
- DIG ALL ROOT HOLES BY HAND WHEN CLOSER THAN 1.0m TO U/G POWER TELEPHONE & GAS ALIGNMENTS.
- SEE SCHEDULE FOR TREE SPECIES, MIN. HEIGHT, CALIPER OR MIN. ROOTBALL SIZE.
- ADDITIONALLY, ALL TREE INSTALLATIONS SHALL BE AS PER MUNICIPAL STANDARDS.

- PRUNE ONLY DEAD, BROKEN OR DISEASED BRANCHES TO MAINTAIN PROPER SHRUB FORM
- DECIDUOUS ONLY.
- DO NOT ROTOTILL WITHIN 1.0m OF U/G POWER, TELEPHONE AND GAS ALIGNMENTS.



Tree No.	Variety	Trunk ($\phi \pm$)	Canopy ($\phi \pm$)	Height ($\pm$)	Location	STATUS
T1	Bush	–	6.00	2.00	In Subject Property	TO BE REMOVED
T2	Bush	–	4.00	2.00	In Subject Property	TO BE REMOVED
T3	Bush	–	8.00	2.00	In Subject Property	TO BE REMOVED
T4	Bush	–	10.00	3.00	In Subject Property	TO BE REMOVED
T5	Coniferous	0.05	2.00	3.00	In Adjacent Property	TO REMAIN
T6*	Deciduous	0.80	10.00	7.00	In City Property	TO REMAIN

PUBLIC TREE (T6) INFORMATION:
1. SPECIES: FRAXINUS PENNSYLVANIC
2. CALIPER OF TREE TRUNK (DBH): 80CM
3. HEIGHT OF TREE: 7M
4. TREE ID: T-32060973
5. TO REMAIN



Seal			
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320 15 AVE NE
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LOT 1 AND 2

Drawing Title

LANDSCAPE PLAN

Scale	AS NOTED
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Drawn	LP	Check	PP	Partner	PP
			Project No.		
			26119		
Date			Phase No.		Sheet No.
01 JUN 2026			0		A102

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320 15 AVE NE
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STREET ELEVATIONS

AS NOTED

Date	Phase No.	Sheet No.
01 JUN 2026	0	A103



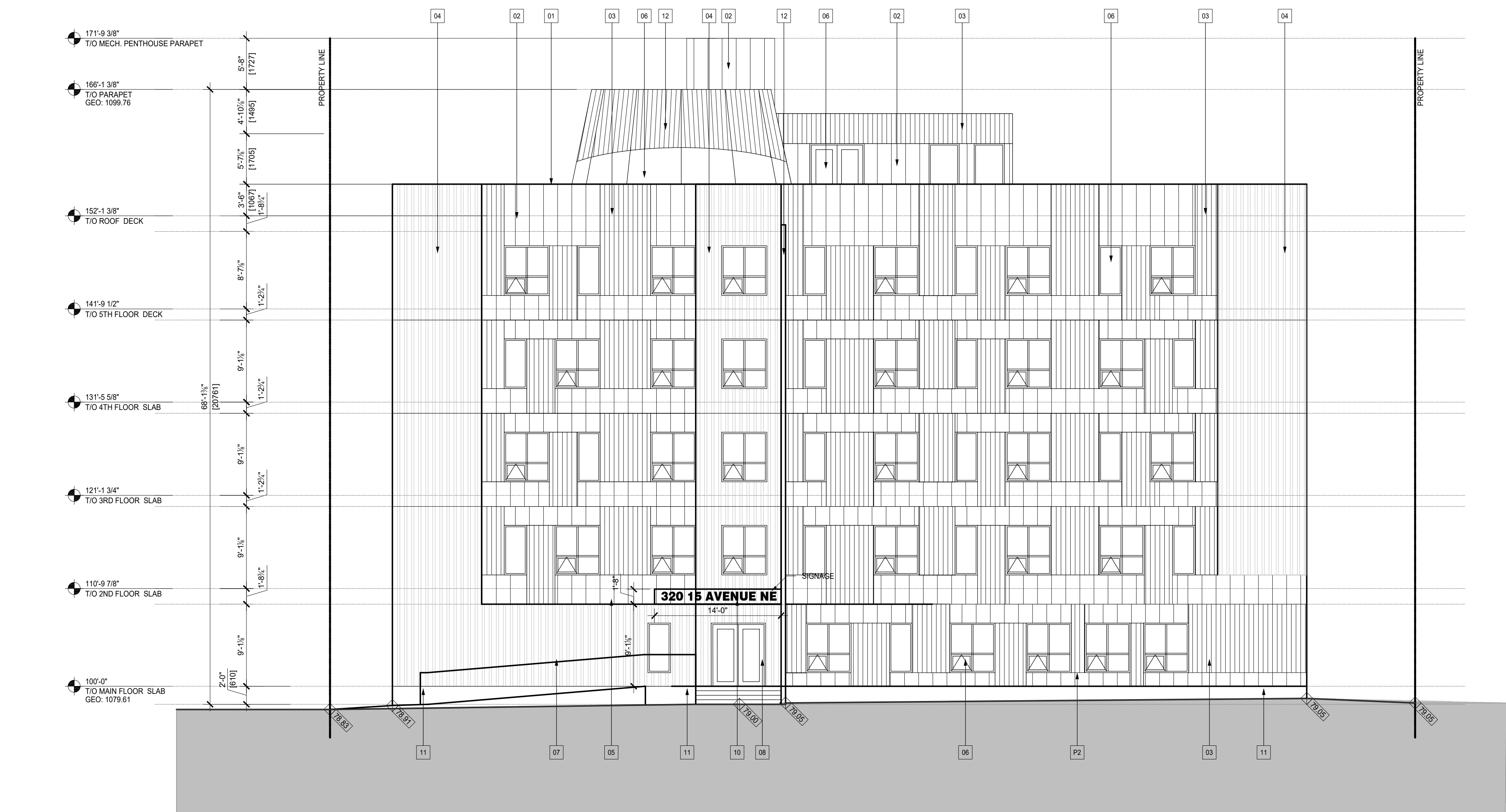
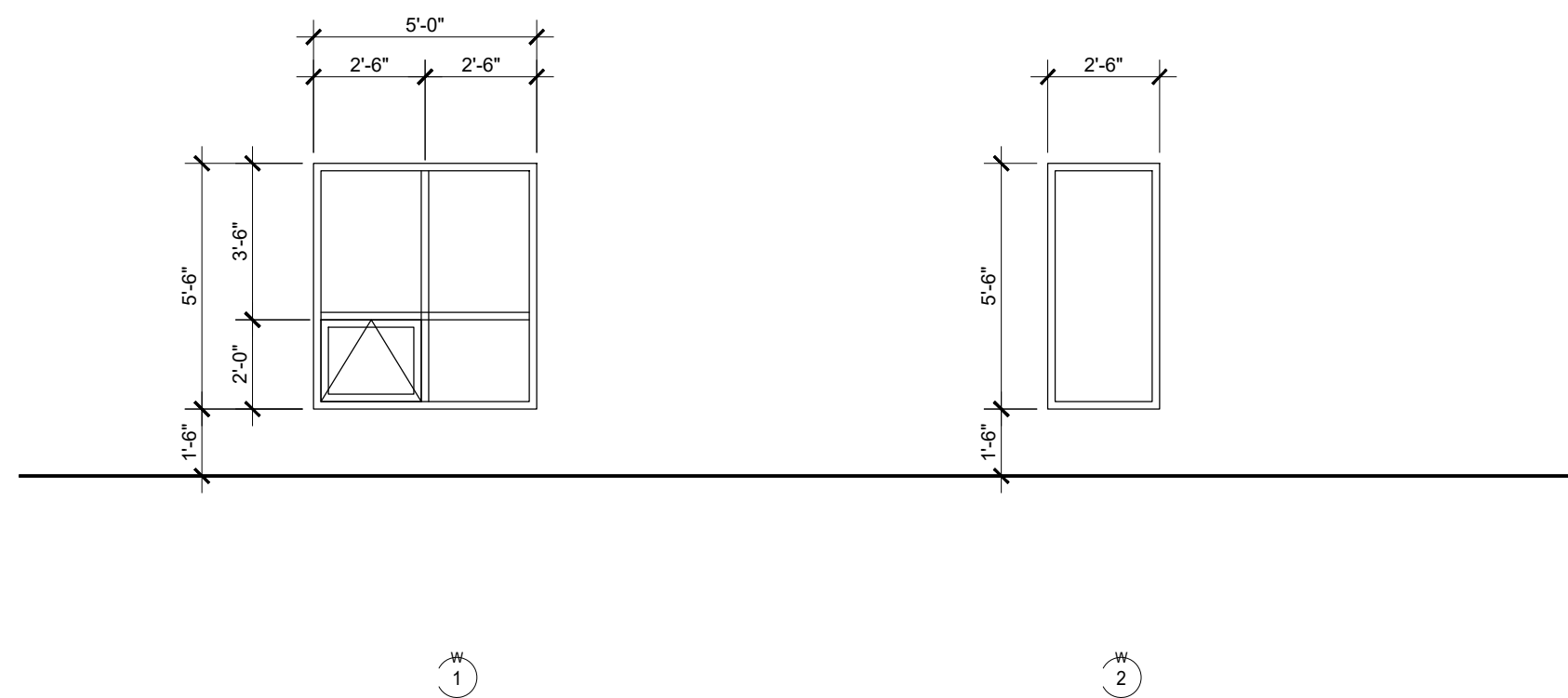


TABLE 3.2.3.1-D
TOTAL EXPOSING BUILDING FACE: 5881.4 SQFT=546.4M2
FACING STREET
ALLOWED UNPROTECTED OPENING AREA: 100%
PROPOSED UNPROTECTED OPENING AREA: 1300 SQFT (22.1%)

1 EAST ELEVATION
A401 SCALE 1/8"=1'-0"



- ELEVATION KEY NOTES
- 01 PRE FINISHED METAL FLASHING, COLOR CARBON
 - 02 PRE FINISHED METAL HIDDEN FASTENER WALL CLADDING, VICWEST AD275 OR EQUAL, COLOR CARBON
 - 03 PRE FINISHED METAL HIDDEN FASTENER WALL CLADDING, VICWEST AD200R OR EQUAL, COLOR CARBON
 - 04 PRE FINISHED METAL HIDDEN FASTENER PLANK, VICWEST BELLARA OR EQUAL, COLOR NATURAL MAPLE
 - 05 PRE FINISHED METAL SOFFIT, MATCH PLANK, COLOR NATURAL MAPLE
 - 06 WINDOWS: CARBON GREY FRAMES W/ CLEAR GLAZE
 - 07 STAINLESS STEEL GUARDRAIL, THIN PROFILE, HAIRLINE FINISH
 - 08 PRE FINISHED METAL CLAD EXTERIOR DOOR, COLOR CARBON GREY
 - 09 PRE FINISHED METAL LOUVER, COLOR, CARBON GREY
 - 10 EXTERIOR LIGHTING AND SITE LIGHTING *
 - 11 C.I.P. CONCRETE, NATURAL
 - 12 PRE FINISHED METAL WALL CLADDING, 7/8" CORRUGATED, COLOR DARK RED
- NOTE: * EXTERIOR LIGHTING AND SITE LIGHTING TYPES, MODELS, LOCATIONS REFER TO ELECTRICAL



PENG ARCHITECTURE
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PENG PENG, MAAA

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Telephone:(403) 998-6823

Seal

2	2026-07-24	Issued for DP SUBMISSION
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ELEVATIONS

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Date 01 JUN 2026 Phase No. 0 Sheet No. A401



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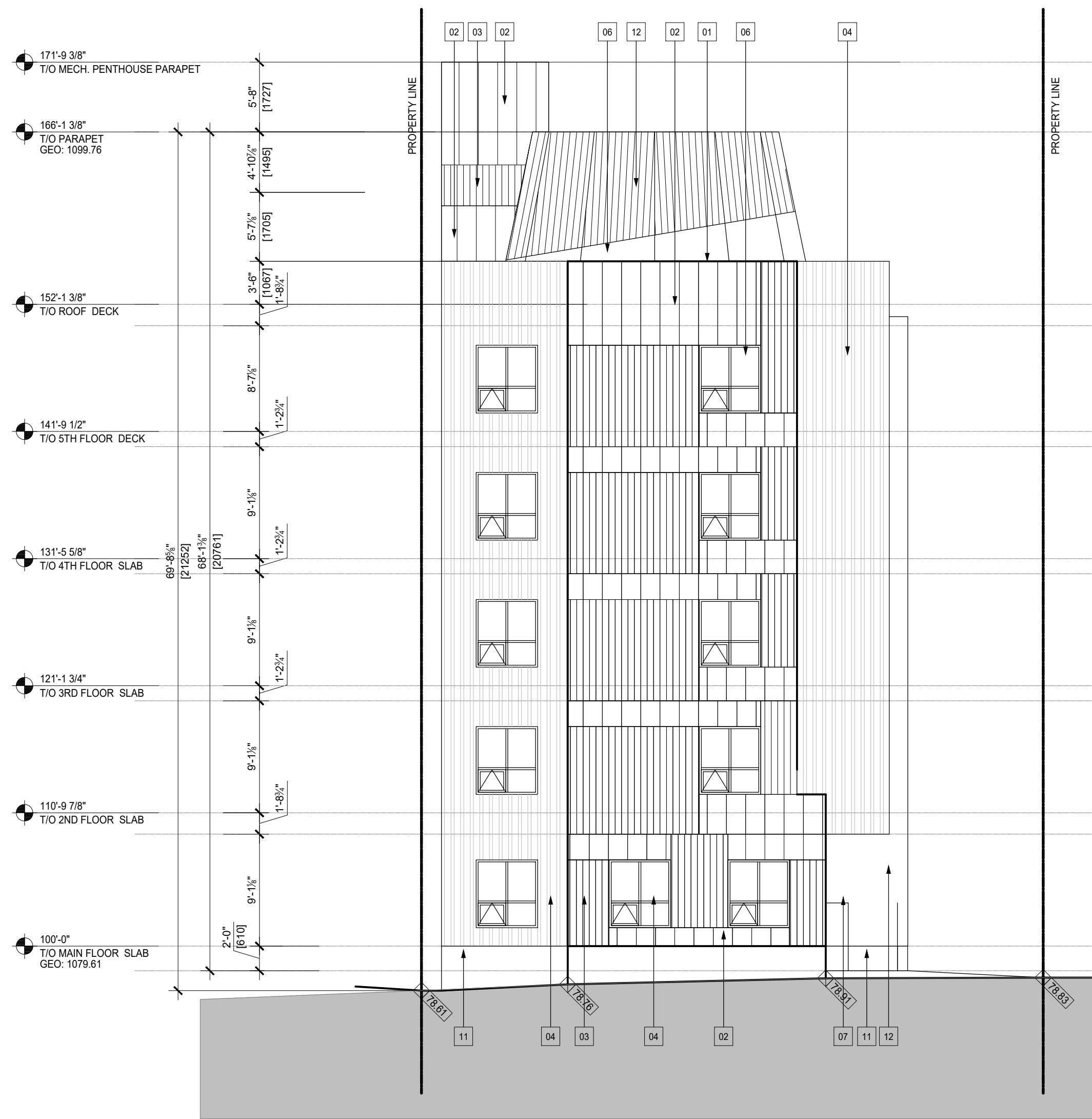


TABLE 3.2.3.1-D
TOTAL EXPOSING BUILDING FACE: 2265.2 SQFT=210.4M2
FACING STREET
ALLOWED UNPROTECTED OPENING AREA: 100%
PROPOSED UNPROTECTED OPENING AREA: 440.9 SQFT (19.5%)

1 SOUTH ELEVATION
A402 SCALE 1/8"=1'-0"

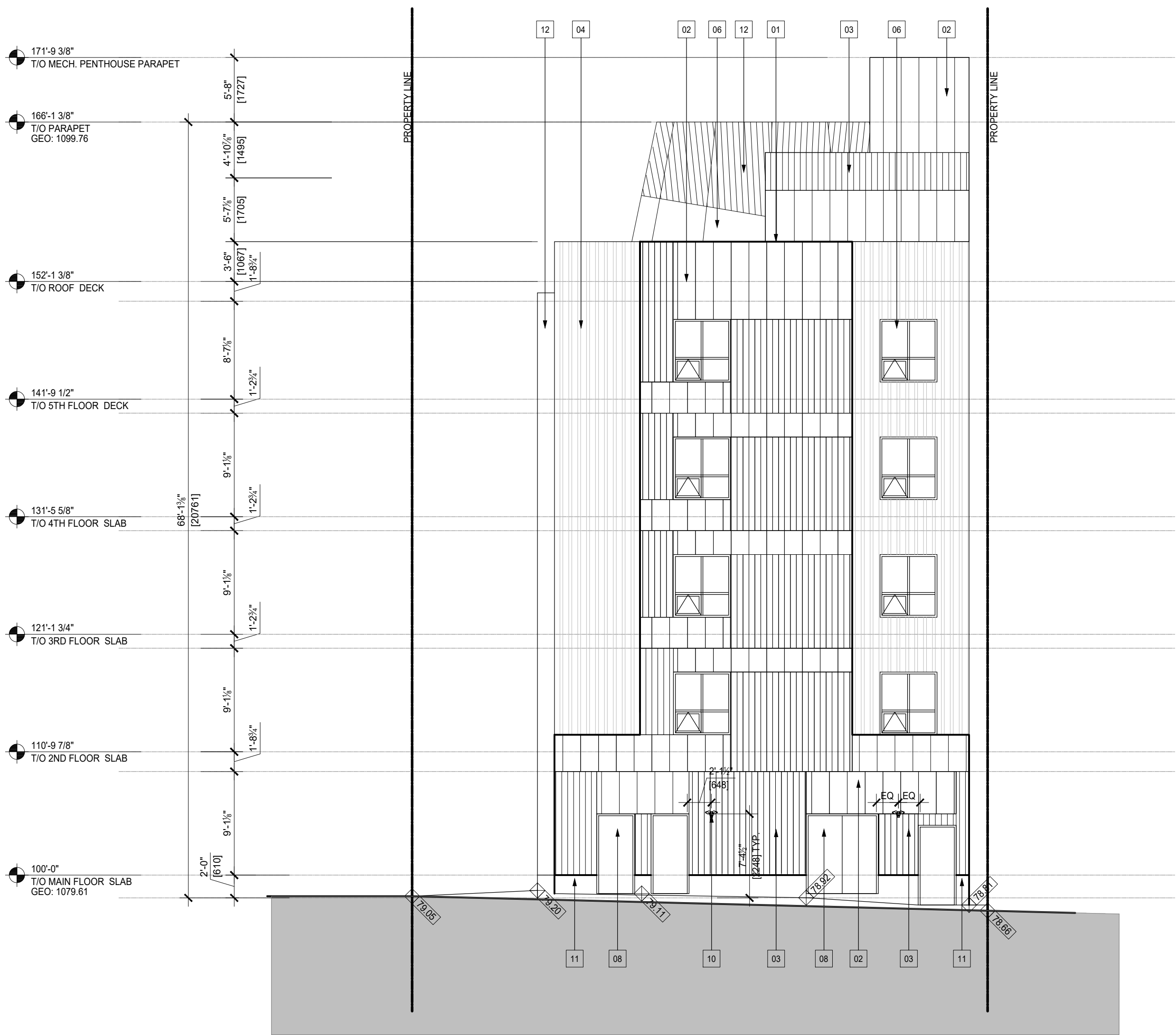


TABLE 3.2.3.1-D
TOTAL EXPOSING BUILDING FACE: 2134.8 SQFT=198.3M2
FACING LANE, LIMITING DISTANCE = 6.55M
ALLOWED UNPROTECTED OPENING AREA: 59%
PROPOSED UNPROTECTED OPENING AREA: 344.2 SQFT (15.7%)

TABLE 3.2.3.7.
45 MIN FRR,
COMBUSTIBLE OR NONCOMBUSTIBLE CONSTRUCTION
COMBUSTIBLE OR NONCOMBUSTIBLE CLADDING

2 NORTH ELEVATION
A402 SCALE 1/8"=1'-0"

Seal

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Drawing Title
ELEVATIONS

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AS NOTED

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Date
01 JUN 2026

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0

Sheet No.
A402



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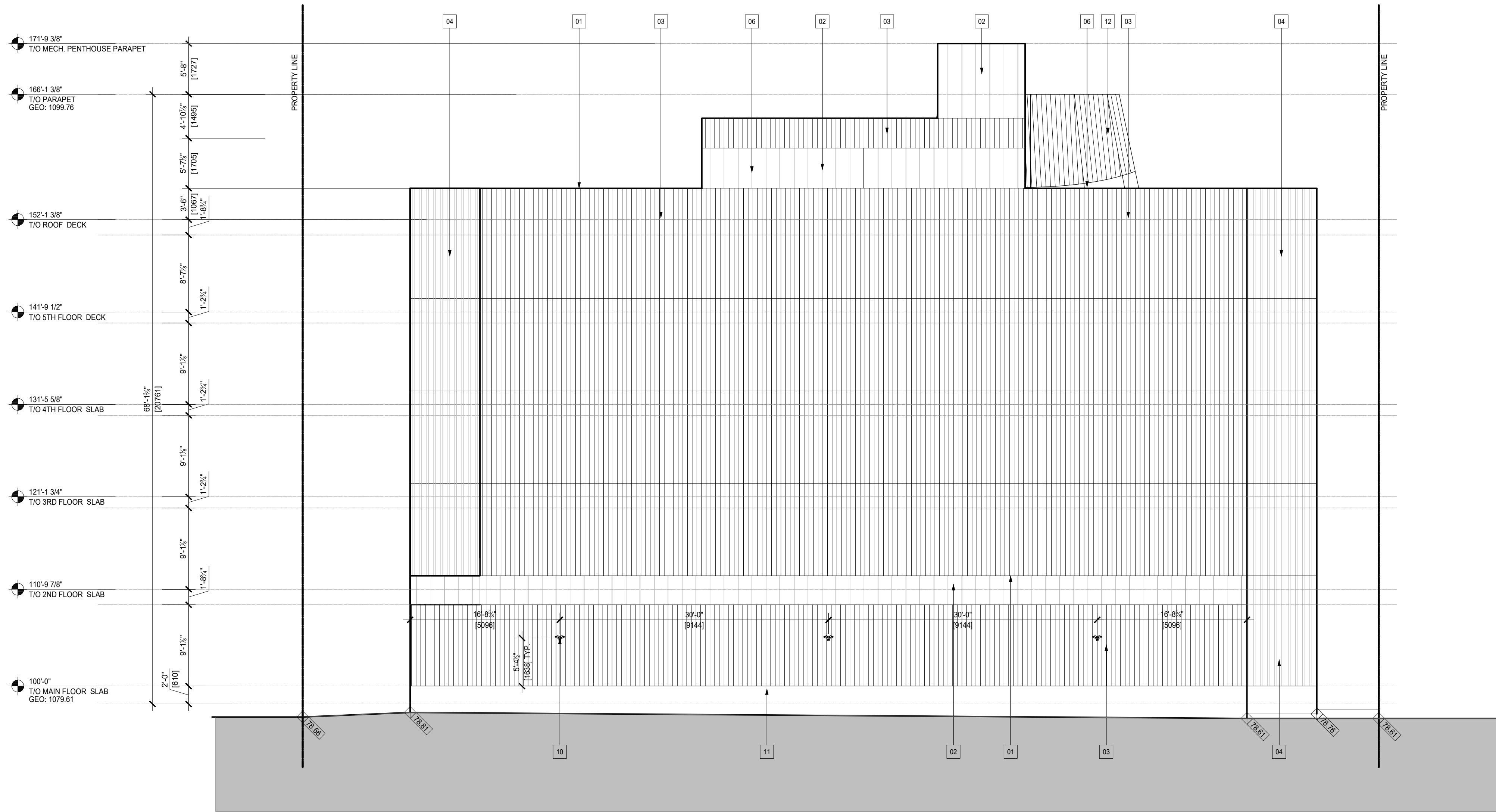


TABLE 3.2.3.1-D
TOTAL EXPOSING BUILDING FACE: 5881.4 SQFT=546.4M2
LIMITING DISTANCE= 0.5M
ALLOWED UNPROTECTED OPENING AREA: 5%
PROPOSED UNPROTECTED OPENING AREA: 0 SQFT (0%)

TABLE 3.2.3.7.
1 HR FRR.
NONCOMBUSTIBLE CONSTRUCTION
NONCOMBUSTIBLE CLADDING

1
A403 WEST ELEVATION
SCALE 1/8"=1'-0"

Seal

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