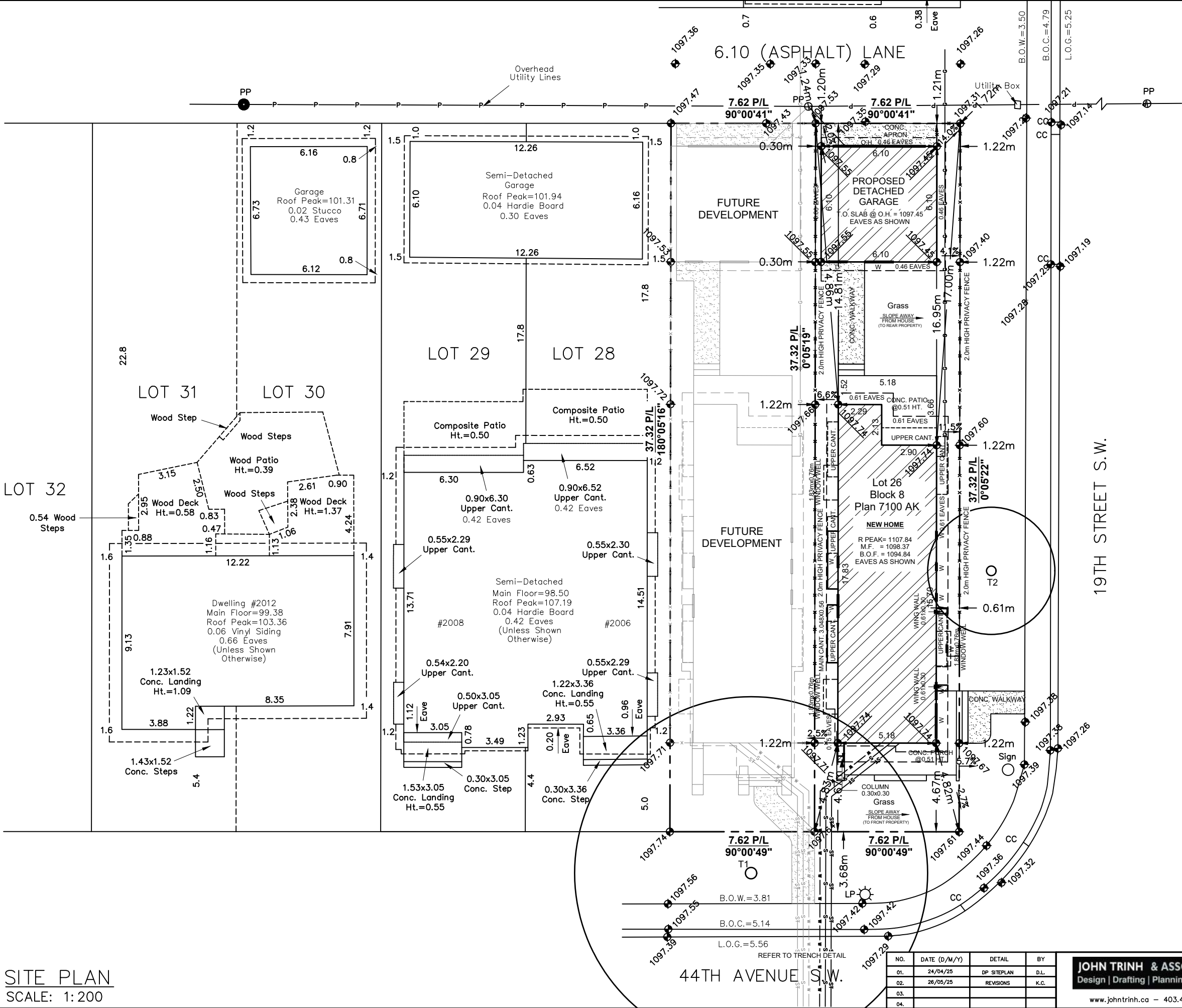


SITE PLAN
SCALE: 1:200



SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 140368
ASCM 140368 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- denotes Tree
- denotes Power Pole
- denotes Sign
- denotes Light Standard
- X---X--- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows

- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

Lots 26 & 27
Block 8
Plan 7100 AK

MUNICIPAL ADDRESS:

2004 - 44th AVENUE S.W.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)

LOT SIZE: 284.364 SQ M
HOUSE SIZE: 86.214 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 3.406 SQ M
WING WALL: 0.465 SQ M
GARAGE: 37.161 SQ M

TOTAL: 127.246/284.364
= 43.75%

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24/04/25	DP SITEPLAN	D.L.
02.	26/05/25	REVISIONS	K.C.
03.			
04.			

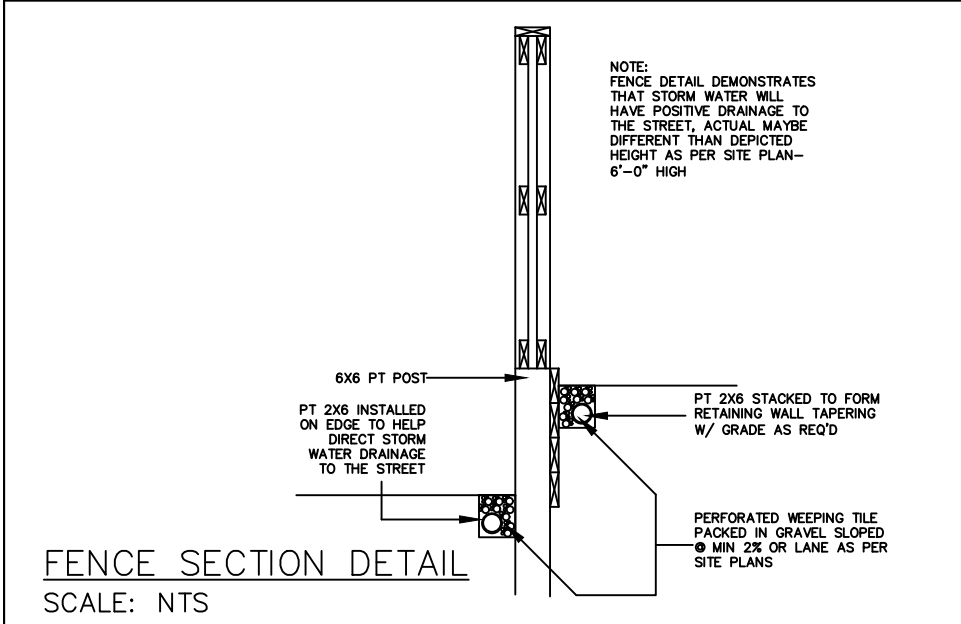
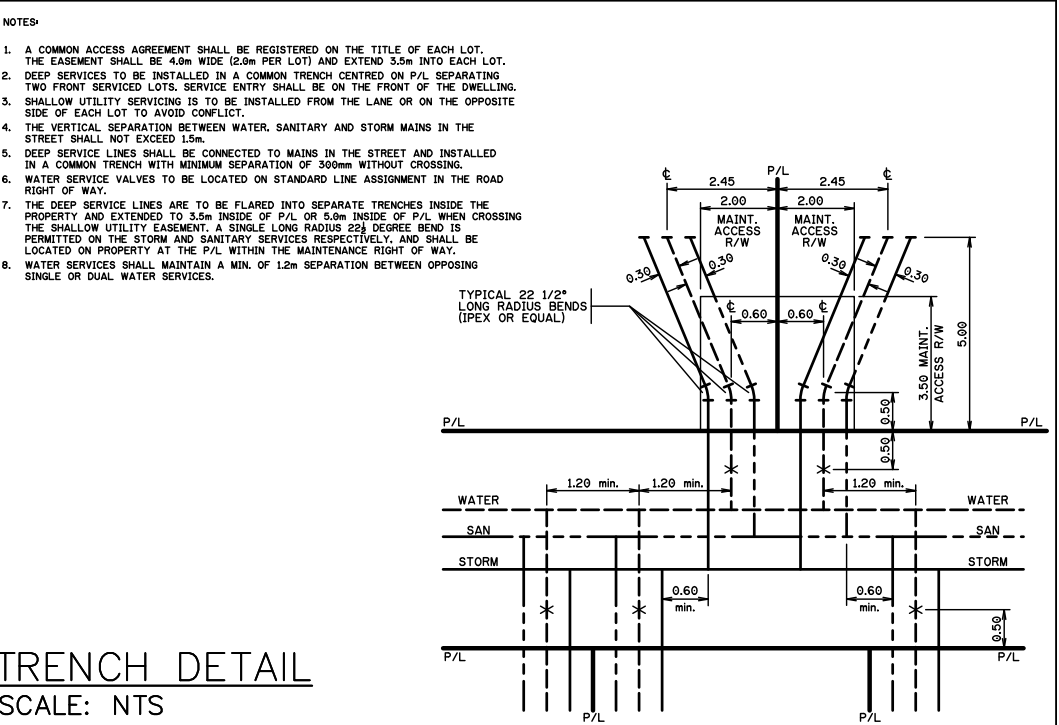
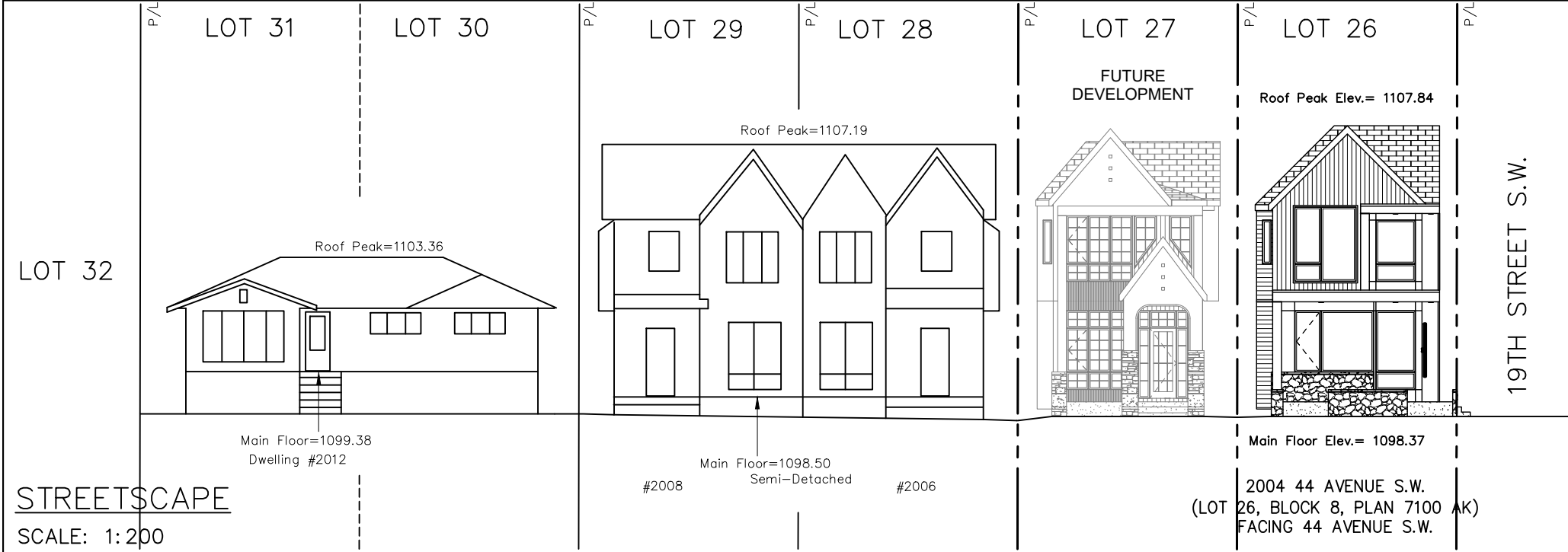
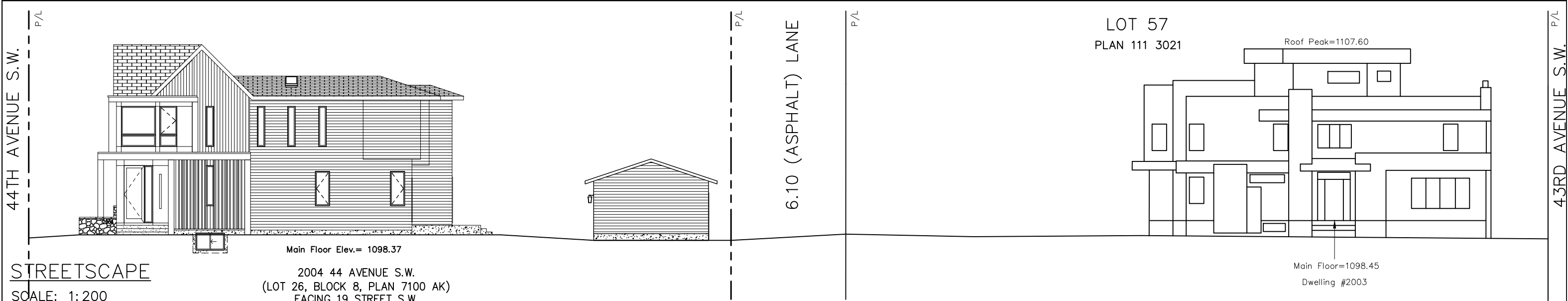
JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:
2002 44 AVENUE SW
Calgary, Alberta (East Lot)
Lots 26 & 27
Block 8
Plan 7100 AK

PROJECT:
NEW HOME
DATE:
MAY 26, 2025

SCALE:
1: 200
DIVISION NUMBER:
S 01



NEW HOME SQFT:	
BASEMENT	928.00 SQ FT
MAIN FLOOR	964.67 SQ FT
UPPER FLOOR	1035.64 SQ FT
TOTAL AREA	2000.31 SQ FT

TREE SCHEDULE:						
Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.60	18.60	11.00	In City Property	To Stay
T2	Coniferous	0.50	6.70	12.00	In City Property	To Be Removed

"An Urban Forestry Technician must be on-site, to mitigate possible root damage to adjacent existing public tree, foundation and excavation and deep service installation, with a confirmed meeting. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting onsite."

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24/04/25	DP SITEPLAN	D.L.
02.	26/05/25	REVISIONS	K.C.
03.			
04.			

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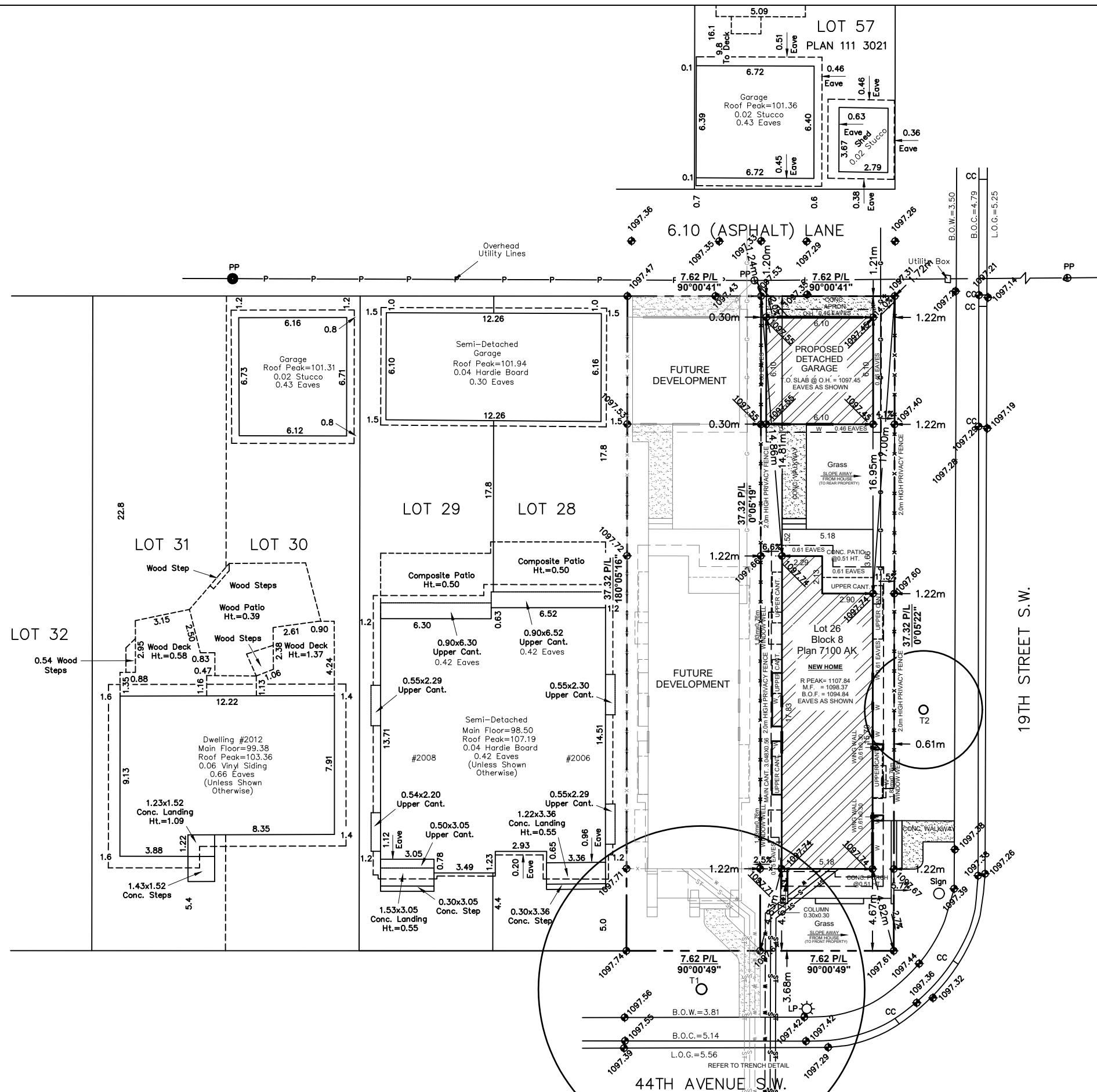
PROJECT NAME AND ADDRESS:
2002 44 AVENUE SW
Calgary, Alberta (East Lot)
Lots 26 & 27
Block 8
Plan 7100 AK

PROJECT:
NEW HOME

SCALE:
AS SHOWN

DATE:
MAY 26, 2025

DIVISION NUMBER:
S 02



BLOCK PLAN
SCALE: 1:250

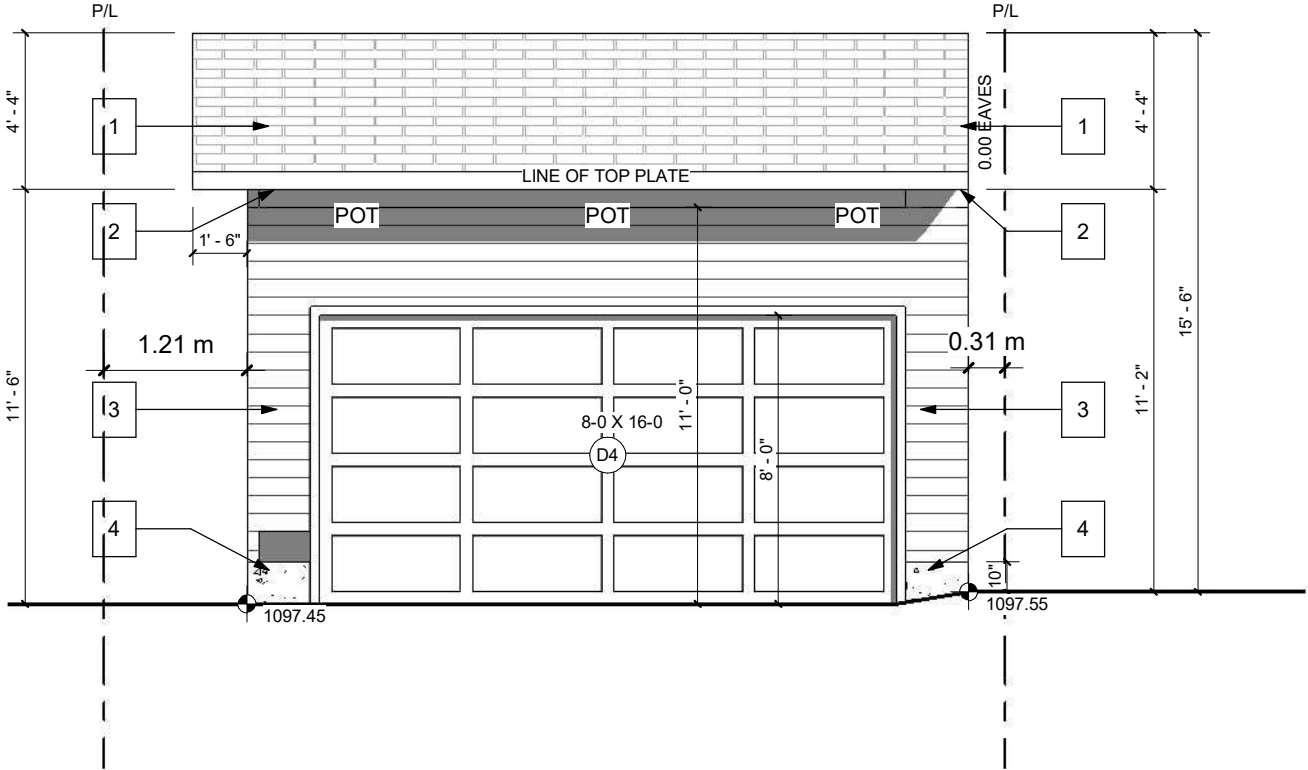
NO.	DATE (D/M/Y)	DETAIL	BY
01.	24/04/25	DP SITEPLAN	D.L.
02.	26/05/25	REVISIONS	K.C.
03.			
04.			

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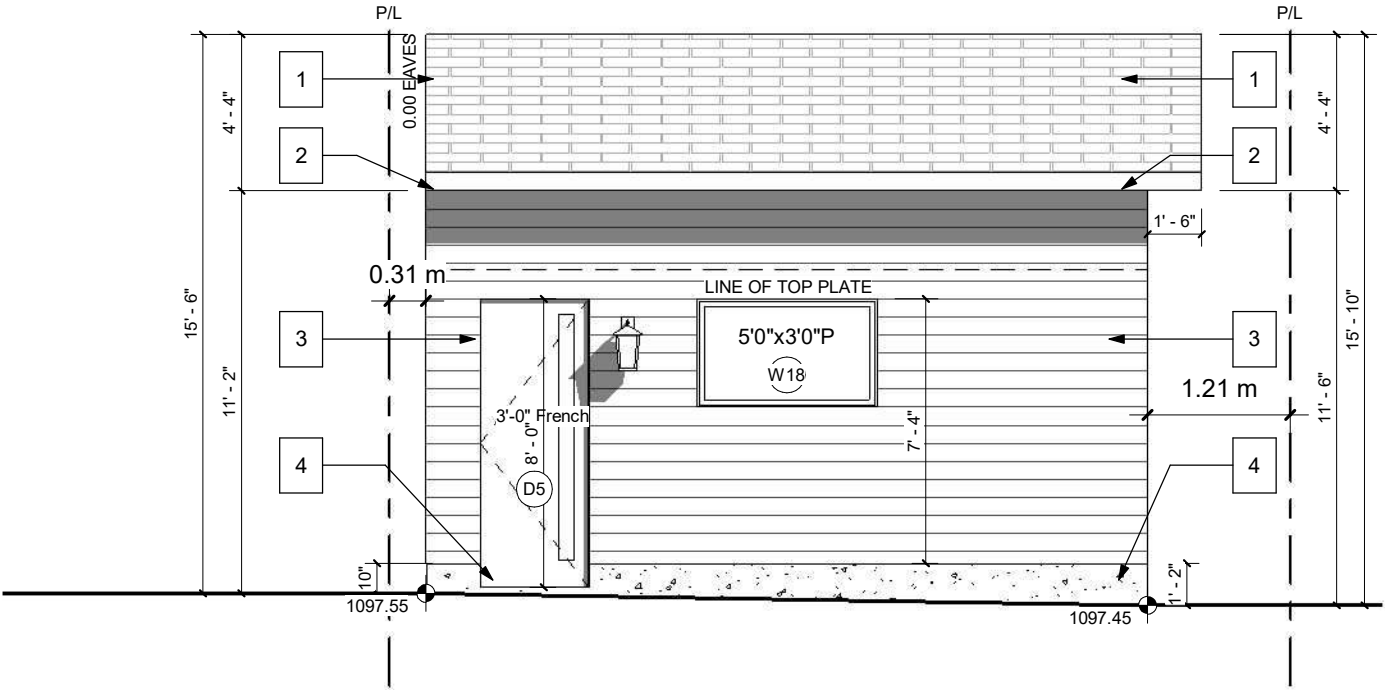
PROJECT NAME AND ADDRESS: 2002 44 AVENUE SW Calgary, Alberta (East Lot) Lots 26 & 27 Block 8 Plan 7100 AK		PROJECT: NEW HOME	SCALE: 1: 200
DATE: MAY 26, 2025		DIVISION: S	NUMBER: 03

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6 3/8" ALUMNIMUM FASCIA
- 3 SIDING FINISH
- 4 CONC. PARGING



EXISTING GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



EXISTING GARAGE REAR
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL
OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT
DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN
AND PLUMBING ROUGH-IN NEEDS TO BE
CONFIRMED BY TRADES/CONTRACTOR
AND HOME OWNER. ANY ISSUE NEEDS TO
BE NOTIFIED TO THE DESIGNER TO BE
RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24.04.25	DP PLANS	D.L.
02.	26.05.25	REVISIONS	K.C.
03.	23.07.25	BP PLANS	M.C.
04.	27.11.25	ADDRESSING	AD.
05.	--	--	--

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Renovations and Commercial projects."

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PURPOSE WITHOUT THE WRITTEN
PERMISSION

ALL WORK MUST COMPLY WITH THE MOST
RECENT EDITION OF THE ALBERTA
BUILDING CODE AND ANY OTHER
GOVERNING AUTHORITIES.

PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-16 5:39:36 PM

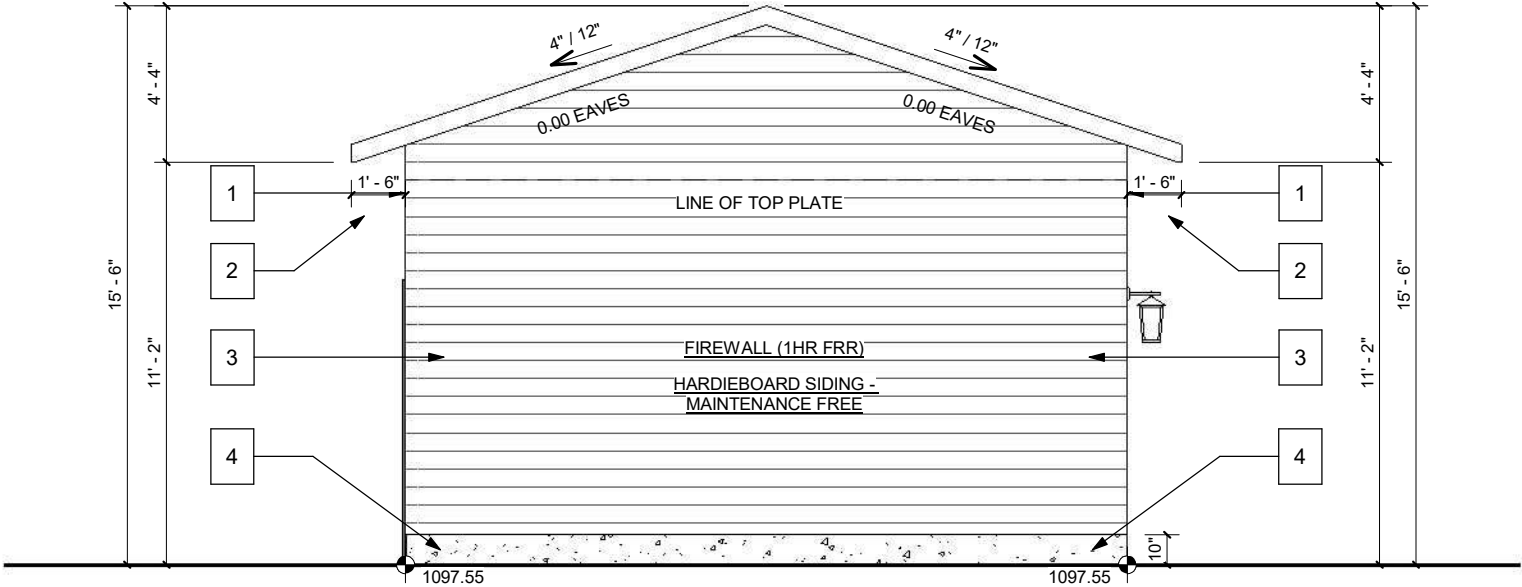
PROJECT NAME:
2002 44 Ave SW - EAST
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 140-25

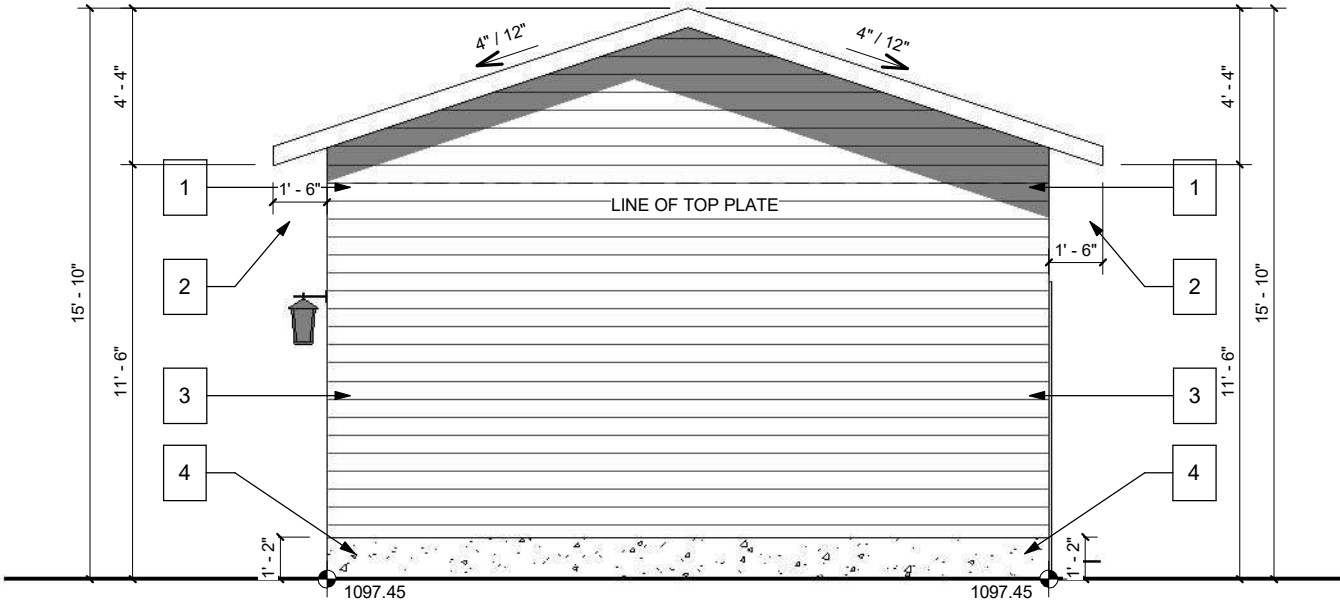
SCALE: AS SHOWN
SHEET: A-4.1

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6 3/8" ALUMNIMUM FASCIA
- 3 SIDING FINISH
- 4 CONC. PARGING



EXISTING GARAGE RIGHT
SCALE: 3/16" = 1'-0"



EXISTING GARAGE LEFT
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24.04.25	DP PLANS	D.L.
02.	26.05.25	REVISIONS	K.C.
03.	23.07.25	BP PLANS	M.C.
04.	27.11.25	ADDRESSING	AD.
05.	--	--	--

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ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-16 5:39:37 PM

PROJECT NAME:
2002 44 Ave SW - EAST
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 140-25
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SCALE: AS SHOWN	SHEET: A-4.2
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