

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



Horizon Land Surveys Inc.
130 Bowness Centre N.W. P. 403-719-0272
Calgary, Alberta, T3B 5M5 F. 403-775-4171

LEGAL DESCRIPTION:

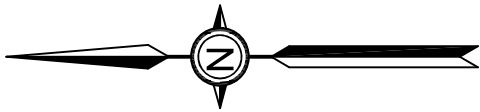
Lot 61
Block 1
Plan 011 2876

MUNICIPAL ADDRESS:

214 Royal Birch View N.W.
Calgary, Alberta

DATE OF SURVEY: May 29th, 2025

SCALE: 1:250



LEGEND:

- | | | | |
|---------------------------|---------------------|---------------------------|---------------------------------|
| | Property Line | | Main Building Hatch |
| | Right of Way Line | | Detached Garage Hatch |
| | Eave Line | | Shed Hatch |
| | Fence Line | | Patio/Pad/Walkway/Landing Hatch |
| | Statutory Iron Post | | Deck/Balcony Hatch |
| | Drill Hole | | |
| | Iron Bar | | |
| | Calculation point | | |
| | | | |
| 'A'--Length of Arc | 'C'--Certificate | 'D.H.'--Drill Hole | 'R.'--Radius of Arc |
| 'A/C'--Air Conditioner | 'Calc.'--Calculated | 'Enc.'--Encroach(es) | 'Ret.'--Retaining |
| 'AGL'--Above Ground Level | 'Cont.'--Cantilever | 'Fd.'--Found | 'R/W'--Right of Way |
| 'BC'--Back of Curb | 'Conc.'--Concrete | 'I.'--Statutory Iron Post | 'T.'--Title |
| 'BW'--Back of Walkway | 'C.S.'--Countersunk | 'Mk.'--Mark | |

CERTIFICATION:

I, Louis Wang, Alberta Land Surveyor do hereby certify that this Report and related survey, was prepared and performed under my supervision, direction and control and in accordance with standards and rules for the practice of surveying prescribed by the Alberta Land Surveyors' Association. Accordingly, within those standards and as of the date of this Report, I am of the opinion that:

- The Plan illustrates the boundaries to the Property, the improvements as defined in Part C, Section 6.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title of the property;
- The improvements are entirely within the boundaries of the property;

3. No visible encroachments exist on the Property from any improvement situated on an adjacent property;

4. No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, **(except ret. wall as shown)**

5. Title information is based on a title search dated May 23rd, 2025, C. of T. No. 251 082 819, and is subject to the following instruments:

Utility Right of Way No. 011 309 405

Caveat No. 021 027 466

Mortgage No. 081 294 620

6. Unless otherwise specified, the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.

7. Distances are in metres and decimals thereof;

Lineworks and dimensions outside of the Property are not to scale;

Main exterior finishing material extends 0.03 metres beyond foundation unless otherwise noted;

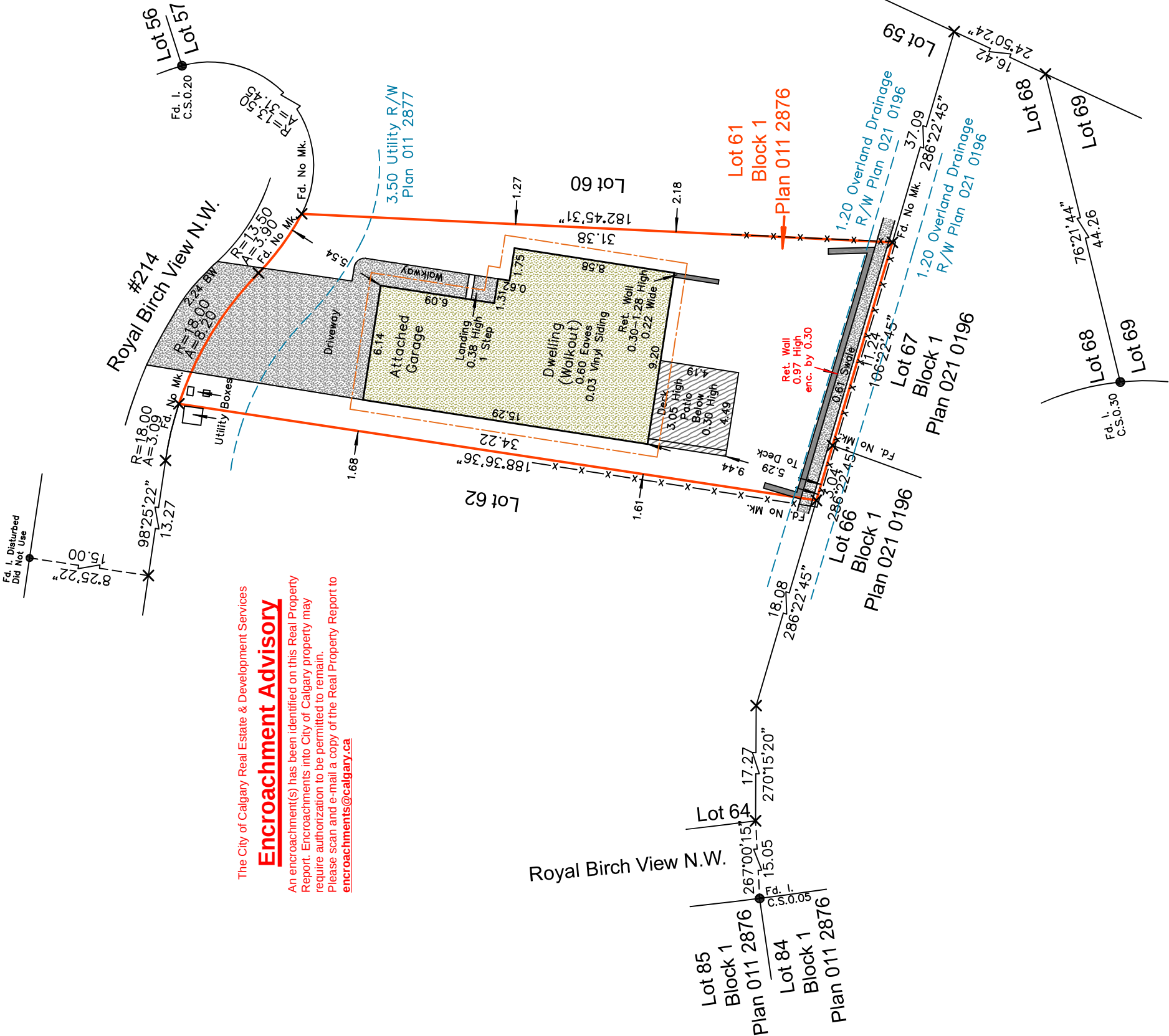
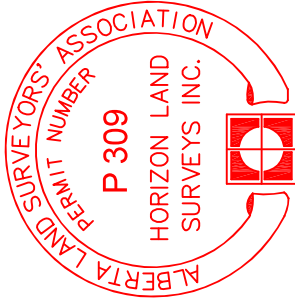
All eaves are measured from foundation to fascia unless otherwise noted;

All fences are within 0.20 metres of the property lines unless otherwise shown.

8. Purpose: This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

9. This document is not valid unless it bears an original signature or digital signature of an Alberta Land Surveyor and a Horizon Land Surveys Inc. permit stamp (in red ink).

Dated this day of June 3rd, 2025.



The City of Calgary Real Estate & Development Services

Encroachment Advisory

An encroachment(s) has been identified on this Real Property Report. Encroachments into City of Calgary property may require authorization to be permitted to remain.
Please scan and e-mail a copy of the Real Property Report to encroachments@calgary.ca

© Copyright Horizon Land Surveys Inc., 2025

Prepared for: [Redacted]

File No.: 250657

Date: 03/Jun/2025

Surveyed: BS

Drawn: ZZ

Louis Wang, A.L.S.