

DISCLAIMER:  
ALL IDEAS AND DESIGNS REPRESENTED ON THESE DRAWINGS ARE OWNED BY AMAYA DESIGN INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED, DUPLICATED OR DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION BY AMAYA DESIGN INC.

REVISION SCHEDULE  
REV NUMBER REV DATE DESCRIPTION

EXTERIOR MATERIAL FINISHES

ABOVE GRADE FLOOR AREAS (SQ. FT.)

SECONDARY SUITE AREAS (SQ. FT.)

COMMON STAIR WELL (SQ. FT.)

OTHER STRUCTURES (SQ. FT.)

ISSUE DATE:  
7/23/2026  
11:55:28 AM

PROJECT LOCATION:  
5820 MORLEY TR. NW  
CALGARY, AB

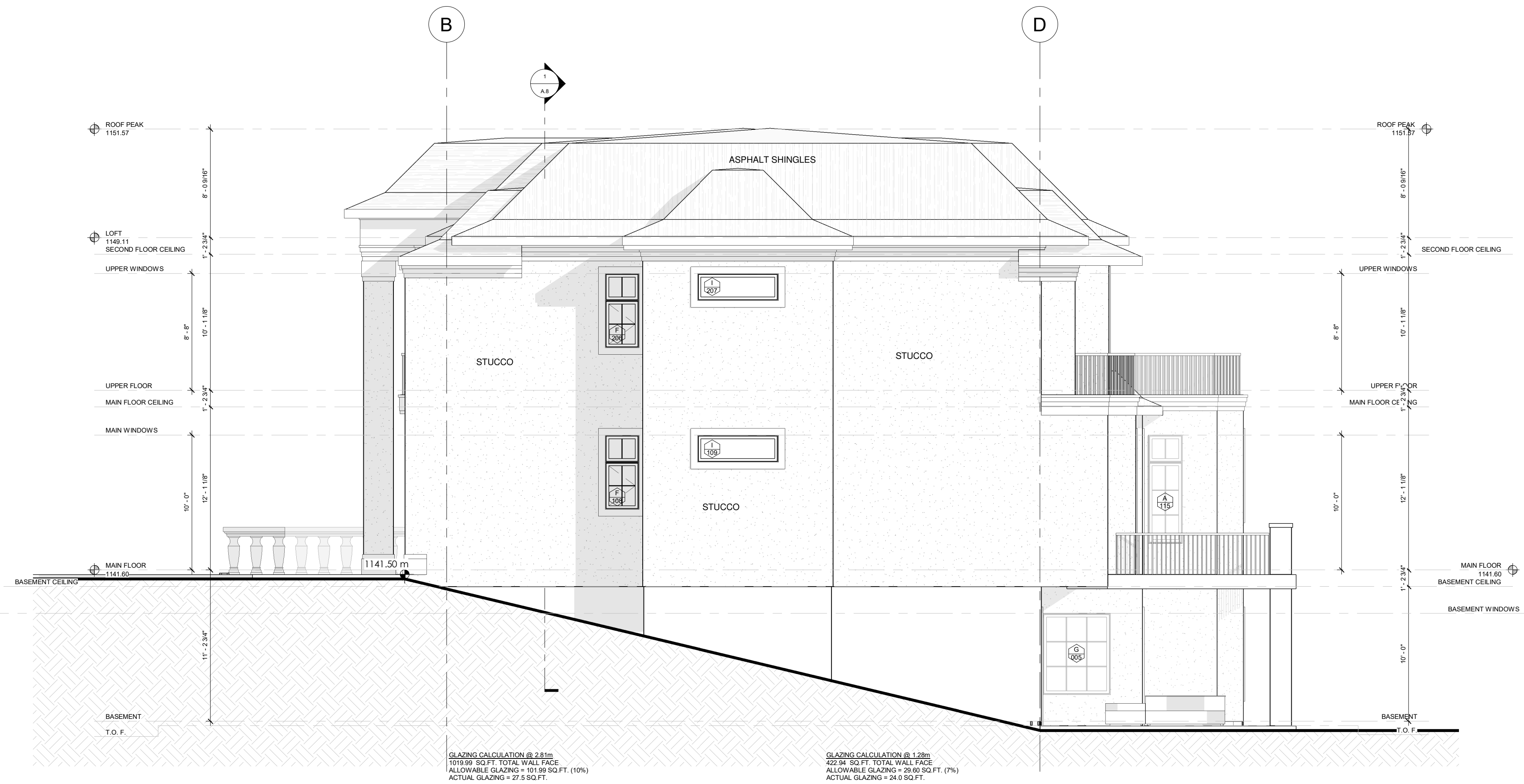
|            |        |               |
|------------|--------|---------------|
| LOT:       | BLOCK: | PLAN:         |
| -          | 17     | 3123GH        |
| DESIGN BY: | CA     | SCALE:        |
| DRAWN BY:  | AA     | 3/16" = 1'-0" |

SOUTH &  
EAST  
ELEVATION

|                |      |
|----------------|------|
| PROJECT NUMBER | PAGE |
| SD582          | A.1  |



SOUTH ELEVATION



EAST ELEVATION

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REVISION SCHEDULE

| REV NUMBER | REV DATE | DESCRIPTION |
|------------|----------|-------------|
|            |          |             |
|            |          |             |
|            |          |             |

EXTERIOR MATERIAL FINISHES

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ABOVE GRADE FLOOR AREAS (SQ. FT.)

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SECONDARY SUITE AREAS (SQ. FT.)

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|--|
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|  |

COMMON STAIR WELL (SQ. FT.)

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|  |

OTHER STRUCTURES (SQ. FT.)

|  |
|--|
|  |
|  |
|  |
|  |

ISSUE DATE:

**7/23/2026**  
**11:55:36 AM**

PROJECT LOCATION:

5820 MORLEY TR. NW  
CALGARY, AB

|      |        |        |
|------|--------|--------|
| LOT: | BLOCK: | PLAN:  |
| -    | 17     | 3123GH |

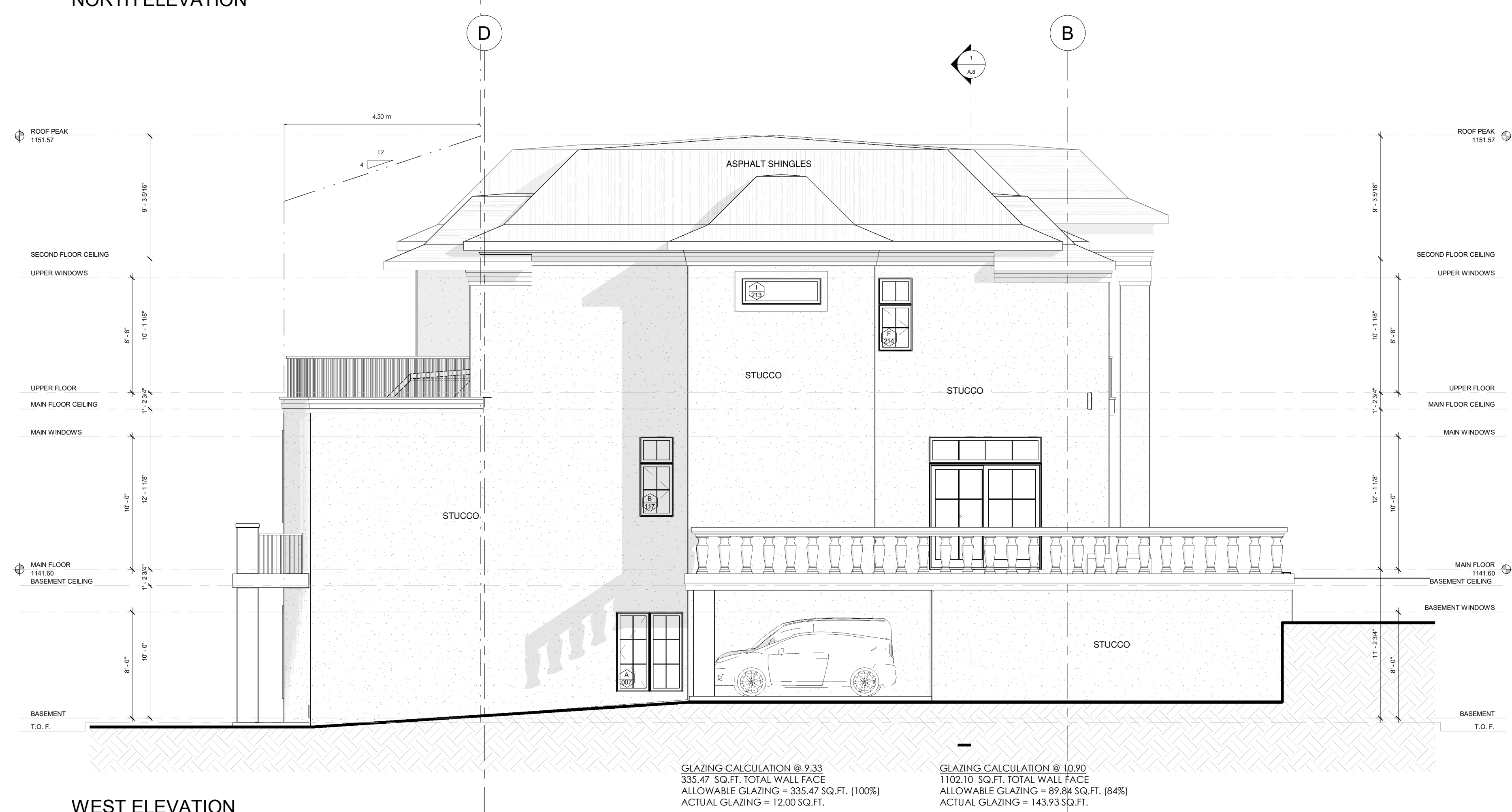
|            |        |               |
|------------|--------|---------------|
| DESIGN BY: | CA     | SCALE:        |
| DRAWN BY:  | Author | 3/16" = 1'-0" |

**NORTH &  
WEST  
ELEVATION**

|                |            |
|----------------|------------|
| PROJECT NUMBER | PAGE       |
| <b>SD582</b>   | <b>A.2</b> |



**NORTH ELEVATION**



**WEST ELEVATION**

1.DRAWINGS ARE NOT TO BE SCALED.

2. CONTRACTOR TO COMPLY TO ALL CURRENT ALBERTA BUILDING CO.

4 IT IS THE CONTRACTORS RESPONSIBILITY TO BRING ALL OMISSIONS

5. ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION & REPAIR

TO MATCH SAME AND SHALL REQUIRE FIRE RATINGS.

7. PRE-DRILLED INSERTS ARE TO BE USED WHEN ATTACHING OR

8.REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR

9. PROVIDE SOLID BLOCKING (2"x6") IN STUD PARTITIONS BEHIND ALL

10. IT IS THE CONTRACTORS RESPONSIBILITY TO COORDINATE HIS OWN FORCES & HIS SUB TRADES TO ENSURE THAT HOLES CUT FOR

BETWEEN THE PENETRATION OPENING AND THE PENETRATION MATERIALS SHALL BE COMPLETELY SEALED TO ENSURE THE INTEGRITY OF THE PENETRATION.

11. WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL INSTALLATIONS PENETRATE WALL AND/OR FLOOR ASSEMBLIES SEAL

12.THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCT

COFFEEY, W. AND J. H. FORRENS. 1979.

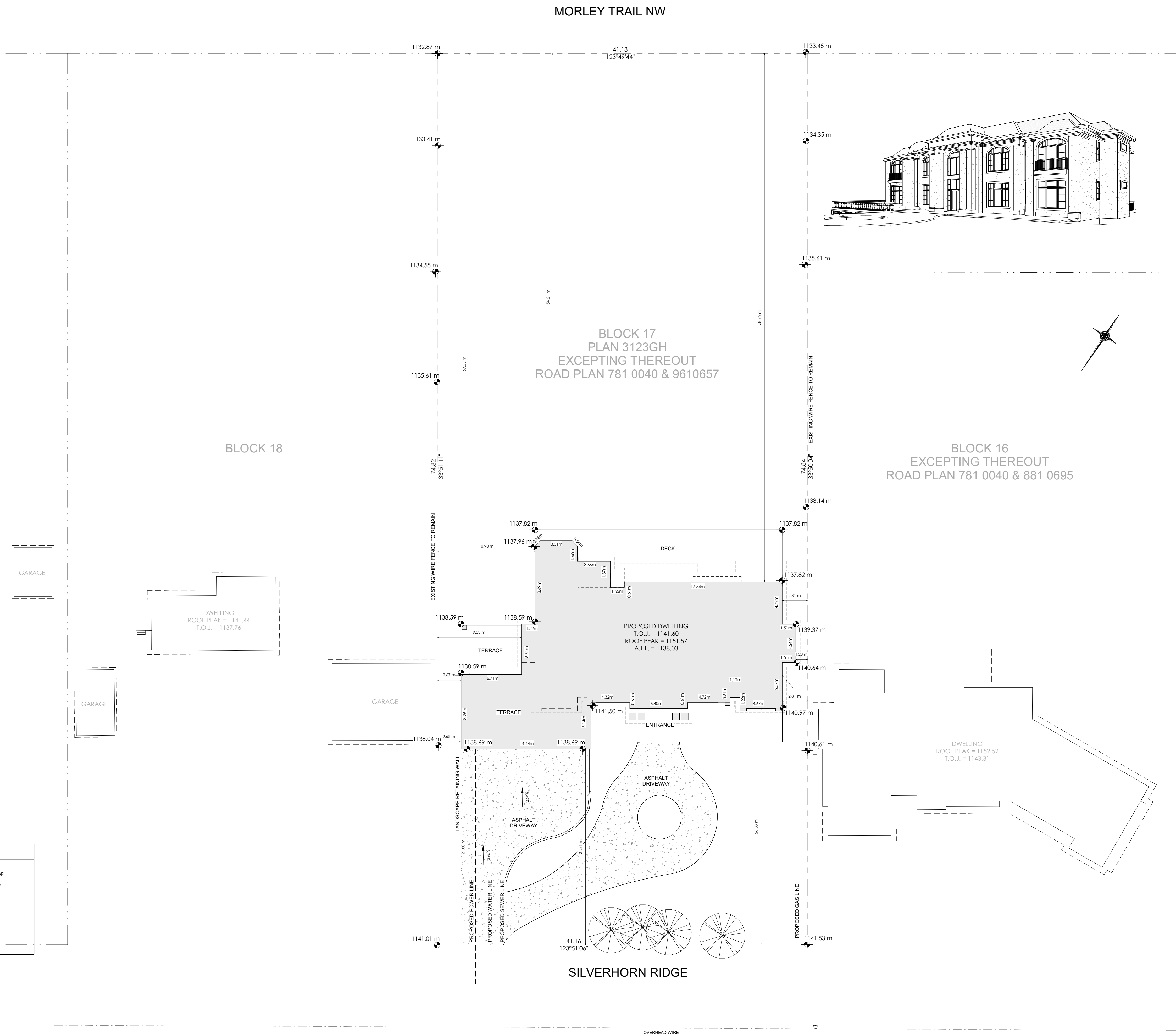
15. ALL SECRETIVE ELEVATIONS PROVIDED TO MAXVA REGIONAL HQ ARE:

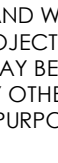
BETWEEN SITE CONDITIONS AND THE PROVIDED TOPOGRAPHIC SURV

| ANNOTATION SYMBOLS |                                                                                     |
|--------------------|-------------------------------------------------------------------------------------|
| PROPOSED GRADE     |  |
| EXISTING GRADE     |  |
| ROOM / ROOM SIZE   | Room name<br>Room Width x Room Length                                               |
| DETAIL TAG         |  |
| WINDOW TAG         |  |
| DOOR TAG           |  |
| GRID LINE          |  |
| SECTION MARKER     |  |

| SHEET LIST 24 X 26 |                          |        |
|--------------------|--------------------------|--------|
| Sheet Number       | Sheet Name               | ISSUED |
| 24 X 26            | DETAILS                  |        |
| 24X 36             | DETAILS                  |        |
| A.6                | UPPER FLOOR              |        |
| A.5                | MAIN FLOOR PLAN          |        |
| A.7                | LOWER FLOOR PLAN         |        |
| A.1                | SOUTH + EAST ELEVATION   |        |
| A.2                | NORTH + WEST ELEVATION   |        |
| A.9                | WINDOWS SCHEDULE         |        |
| A.10               | WINDOWS + DOORS SCHEDULE |        |
| S.0                | SITE                     |        |
| S.1                | LANDSCAPE                |        |
| S.2                | STREETSCAPE              |        |
| A.8                | SECTION                  |        |

| PARCEL COVERAGE                      |                          |            |
|--------------------------------------|--------------------------|------------|
| LOT AREA:                            | 43894.29 FT <sup>2</sup> | 4077.91 MP |
| FOOTPRINT INCLUDING ATTACHED GARAGE: | 5831 FT <sup>2</sup>     | 541.71 MP  |
| DECK                                 | 1106 FT <sup>2</sup>     | 102.75MP   |
| COVERED OUTSIDE GARAGE:              | 406 FT <sup>2</sup>      | 37.71 MP   |
| TOTAL AREA:                          | 7343 FT <sup>2</sup>     | 682.18 MP  |
| COVERAGE:                            | 16.72%                   |            |



|                                                                                                                                                                                                                                                                                                                              |              |                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|-----------------|
|  <b>AMAYA</b><br>DESIGN                                                                                                                                                                                                                   |              |                 |
| [587]-449-4002<br>  INFO@AMAYADESIGN.CA<br>UNIT 207, 7710 5 STREET SE<br>CALGARY, AB CANADA T2N 2L9<br>WWW.AMAYADESIGN.CA                                                                                                                                                                                                    |              |                 |
| DISCLAIMER:<br>ALL IDEAS AND DESIGNS REPRESENTED ON THESE DRAWINGS ARE OWNED BY AMAYA DESIGN INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED, DUPLICATED OR DISCLOSED TO ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION BY AMAYA DESIGN INC. |              |                 |
| REVISION SCHEDULE<br>REV NUMBER    REV DATE    DESCRIPTION                                                                                                                                                                                                                                                                   |              |                 |
| EXTERIOR MATERIAL FINISHES                                                                                                                                                                                                                                                                                                   |              |                 |
| ABOVE GRADE FLOOR AREAS (SQ. FT.)                                                                                                                                                                                                                                                                                            |              |                 |
| SECONDARY SUITE AREAS (SQ. FT.)                                                                                                                                                                                                                                                                                              |              |                 |
| COMMON STAIR WELL (SQ. FT.)                                                                                                                                                                                                                                                                                                  |              |                 |
| OTHER STRUCTURES (SQ. FT.)                                                                                                                                                                                                                                                                                                   |              |                 |
| ISSUE DATE:<br><br>7/23/2026<br>11:57:19 AM                                                                                                                                                                                                                                                                                  |              |                 |
| PROJECT LOCATION:<br>5820 MORLEY TR. NW<br>CALGARY, AB                                                                                                                                                                                                                                                                       |              |                 |
| LOT:<br>-                                                                                                                                                                                                                                                                                                                    | BLOCK:<br>17 | PLAN:<br>3123GH |
| DESIGN BY:<br>CA                                                                                                                                                                                                                                                                                                             | SCALE:       |                 |
| DRAWN BY:<br>AA                                                                                                                                                                                                                                                                                                              | As indicated |                 |
| SITE                                                                                                                                                                                                                                                                                                                         |              |                 |
| PROJECT NUMBER<br>SD582                                                                                                                                                                                                                                                                                                      |              | PAGE<br>S.0     |

The landscape plan for Silverhorn Ridge shows a proposed dwelling with a T.O.J. of 1141.60, a roof peak of 1151.57, and an A.T.F. of 1138.03. The plan includes a deck, terrace, and various landscape features such as trees, paths, and a garage. The plan is oriented with North at the top. The site is bounded by Silverhorn Ridge to the north and Silverhorn Ridge to the south. The plan shows a proposed dwelling with a T.O.J. of 1141.60, a roof peak of 1151.57, and an A.T.F. of 1138.03. The plan includes a deck, terrace, and various landscape features such as trees, paths, and a garage. The plan is oriented with North at the top. The site is bounded by Silverhorn Ridge to the north and Silverhorn Ridge to the south.

| TREE NUMBER | VARIETY    | TRUNK | CANOPY | HEIGHT | LOCATION         | DECISION      |
|-------------|------------|-------|--------|--------|------------------|---------------|
| T1          | CONIFEROUS | 0.40  | 4.0    | 9.0    | ON PROPERTY LINE | TO BE REMOVED |
| T2          | DECIDUOUS  | 0.60  | 6.0    | 9.0    | ON PROPERTY LINE | TO REMAIN     |
| T3          | DECIDUOUS  | 0.40  | 5.00   | 9.00   | ON PROPERTY LINE | TO REMAIN     |
| T4          | DECIDUOUS  | 0.35  | 5.0    | 9.00   | ON PROPERTY LINE | TO REMAIN     |
| T5          | DECIDUOUS  | 0.30  | 5.00   | 8.00   | ON PROPERTY LINE | TO REMAIN     |
| T6          | DECIDUOUS  | 0.36  | 6.00   | 8.00   | ON PROPERTY LINE | TO BE REMOVED |
| T7          | DECIDUOUS  | 0.20  | 4.00   | 5.00   | ON PROPERTY LINE | TO BE REMOVED |
| T8          | BUSH       | -     | 3.0    | 3.00   | ON PROPERTY LINE | TO BE REMOVED |
| T9          | BUSH       | -     | 3.00   | 3.50   | ON PROPERTY LINE | TO BE REMOVED |
| T10         | CONIFERUS  | 0.40  | 4.00   | 8.00   | ON PROPERTY LINE | TO BE REMOVED |
| T11         | BUSH       | -     | 3.00   | 3.00   | ON PROPERTY LINE | TO BE REMOVED |
| T12         | DECIDUOUS  | 0.20  | 3.00   | 8.00   | ON PROPERTY LINE | TO BE REMOVED |
| T13         | DECIDUOUS  | 0.20  | 3.00   | 5.00   | ON PROPERTY LINE | TO BE REMOVED |
| T14         | CONIFERUS  | 0.20  | 2.00   | 7.00   | ON PROPERTY LINE | TO BE REMOVED |
| T15         | BUSH       | -     | 3.00   | 3.50   | ON PROPERTY LINE | TO BE REMOVED |
| T16         | BUSH       | -     | 2.70   | 3.00   | ON PROPERTY LINE | TO BE REMOVED |
| T17         | BUSH       | -     | 2.00   | 2.00   | ON PROPERTY LINE | TO BE REMOVED |
| T18         | DECIDUOUS  | 0.10  | 3.00   | 4.00   | ON PROPERTY LINE | TO BE REMOVED |
| T19         | DECIDUOUS  | 0.10  | 1.00   | 1.70   | ON PROPERTY LINE | TO BE REMOVED |
| T20         | BUSH       | -     | 2.50   | 3.00   | ON PROPERTY LINE | TO BE REMOVED |
| T21         | BUSH       | -     | 1.70   | 2.00   | ON PROPERTY LINE | TO BE REMOVED |
| T22         | DECIDUOUS  | 0.10  | 2.00   | 3.50   | ON PROPERTY LINE | TO BE REMOVED |
| T23         | DECIDUOUS  | 0.15  | 4.00   | 4.00   | ON PROPERTY LINE | TO BE REMOVED |
| T24         | DECIDUOUS  | 0.10  | 3.00   | 4.00   | ON PROPERTY LINE | TO BE REMOVED |
| T25         | BUSH       | -     | 1.50   | 2.00   | ON PROPERTY LINE | TO BE REMOVED |

NEW LANDSCAPE PLAN

|                |      |
|----------------|------|
| PROJECT NUMBER | PAGE |
| SD582          | S.1  |



STREETSCAPE



(587)-449-4002

INFO@AMAYADESIGN.CA

UNIT 207, 7710 S STREET SE

CALGARY, AB CANADA T2H 2L9

WWW.AMAYADESIGN.CA

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REVISION SCHEDULE

| REV NUMBER | REV DATE | DESCRIPTION |
|------------|----------|-------------|
|------------|----------|-------------|

EXTERIOR MATERIAL FINISHES

ABOVE GRADE FLOOR AREAS (SQ. FT.)

SECONDARY SUITE AREAS (SQ. FT.)

COMMON STAIR WELL (SQ. FT.)

OTHER STRUCTURES (SQ. FT.)

ISSUE DATE:

7/23/2026

11:57:25 AM

PROJECT LOCATION:

5820 MORLEY TR. NW

CALGARY, AB

|      |        |        |
|------|--------|--------|
| LOT: | BLOCK: | PLAN:  |
| -    | 17     | 3123GH |

|            |    |               |
|------------|----|---------------|
| DESIGN BY: | CA | SCALE:        |
| DRAWN BY:  | AA | 1/16" = 1'-0" |

STREETSCAPE

|                |      |
|----------------|------|
| PROJECT NUMBER | PAGE |
| SD582          | S.2  |