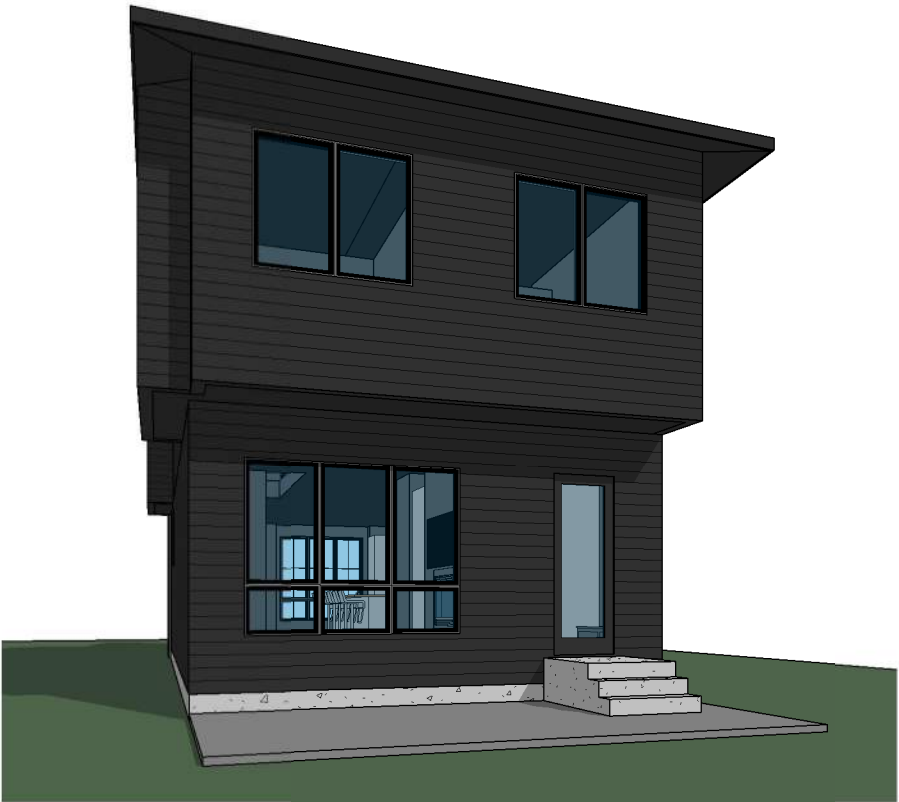




LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front & Rear Elevations
A-2.1	Right Elevation
A-2.2	Left Elevation
A-4.0	Garage Plan
A-4.1	Garage Elevation 1
A-4.2	Garage Elevation 2
A-4.3	Garage Section

FLOOR AREA	
BASEMENT	= 945.00 SQ.FT.
MAIN	= 955.00 SQ. FT.
UPPER	= 1085.19 SQ. FT.
TOTAL	= 2040.19 SQ. FT

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	16/07/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

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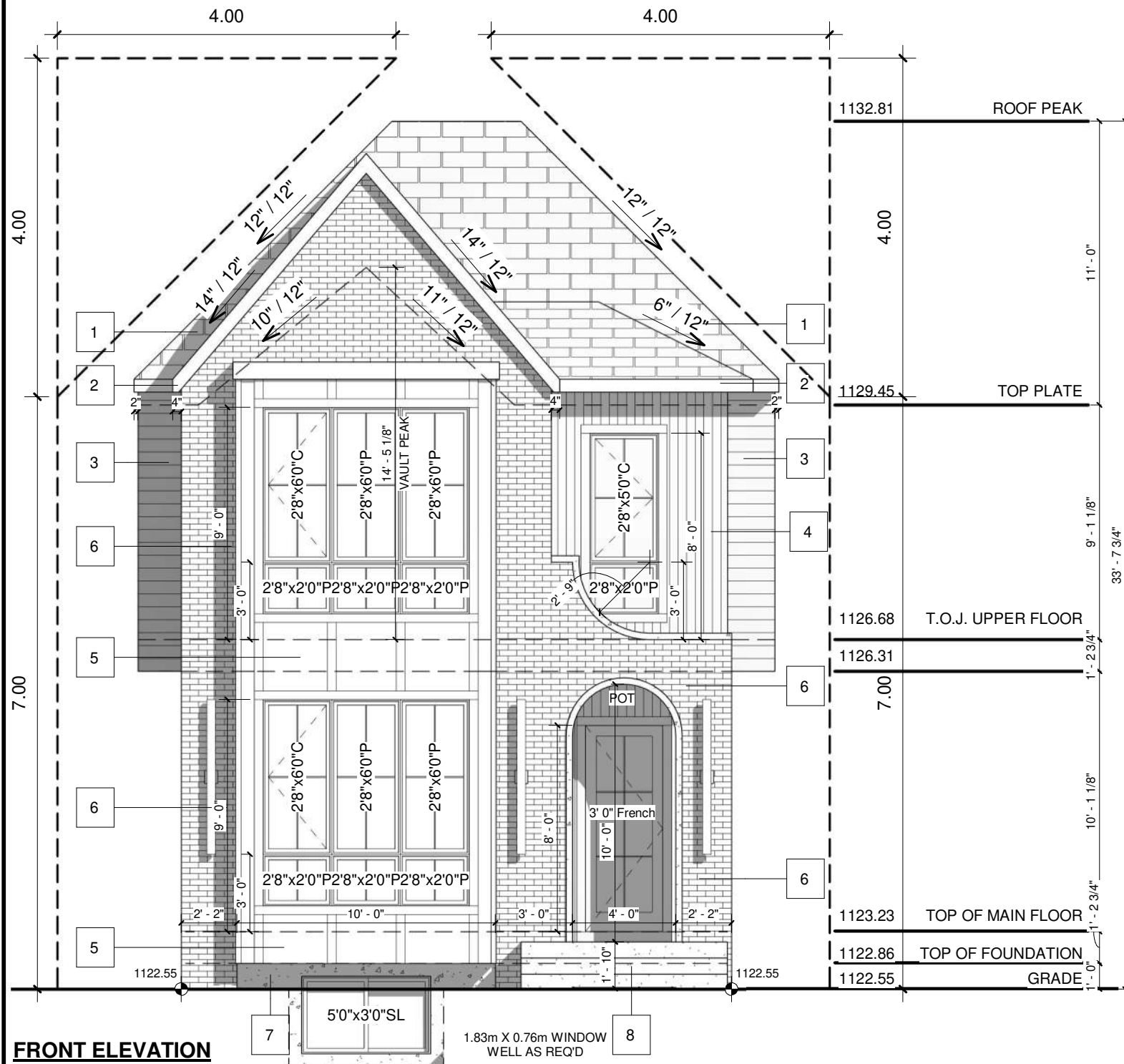
PROJECT NAME:
3023 - 13 Ave SW
CALGARY, AB (East)

DESIGNER: JT	JOB #: #305-26
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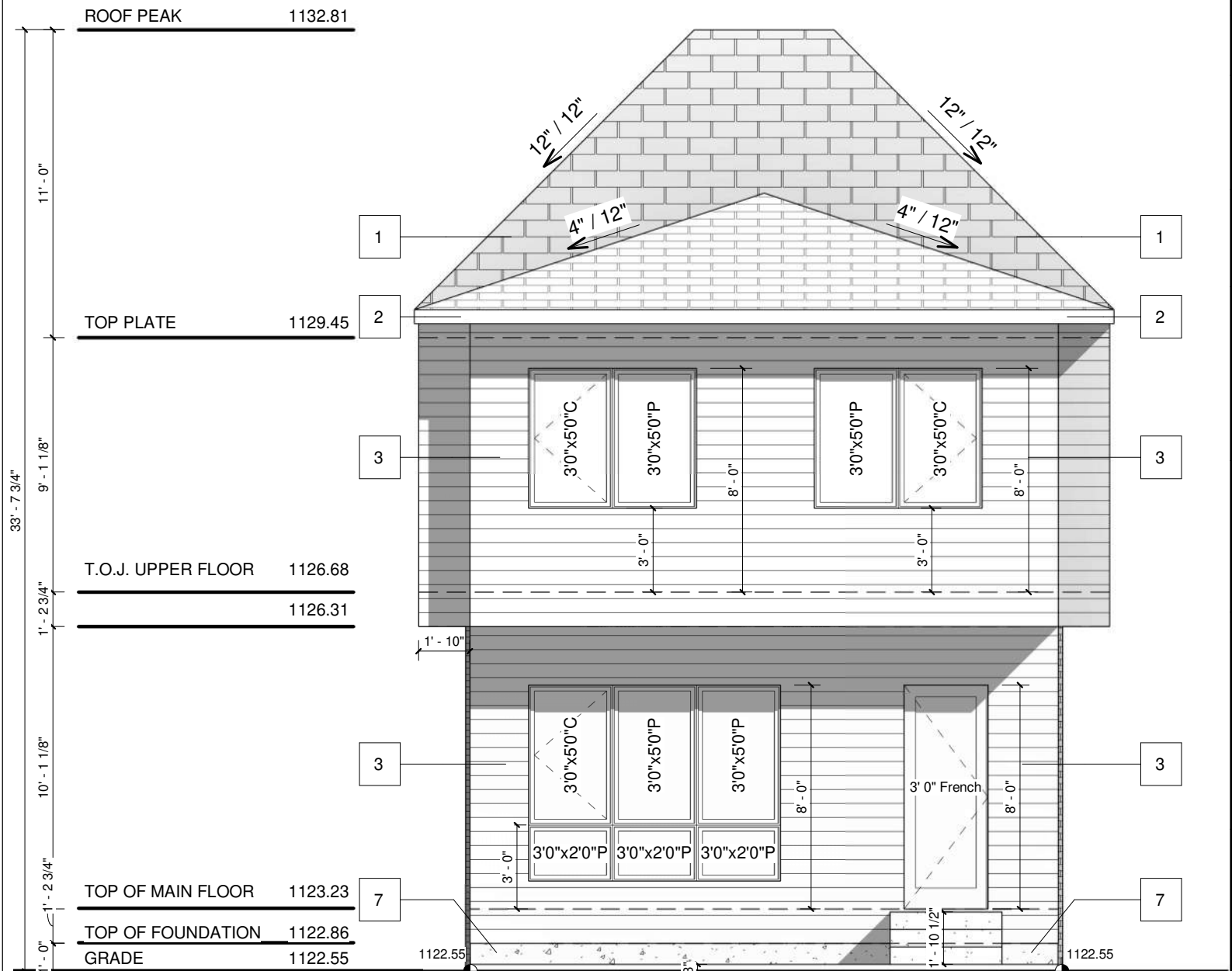
SCALE: AS SHOWN	SHEET: A-0.0
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1	ASPHALT SHINGLE	4	HARDIE FINISH - VERTICAL BLACK	7	CONCRETE PARGING
2	6" ALUMINUM FASCIA	5	SMART BOARD - BLACK	8	CAST-IN-PLACE CONCRETE
3	HARDIE FINISH - BLACK	6	STONE - WHITE		

VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION
SCALE: 3/16" = 1'-0"



REAR ELEVATION
SCALE: 3/16" = 1'-0"

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NO.	DATE(D/M/Y)	DETAIL	BY
01.	02/04/2025	DP PLANS	K.G
02.	18/06/2025	BP PLANS	M.C
03.	14/07/2025	ADDRESSING	M.C
04.	21/08/2025	REVISION	K.C
05.	--	--	--

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AS SHOWN

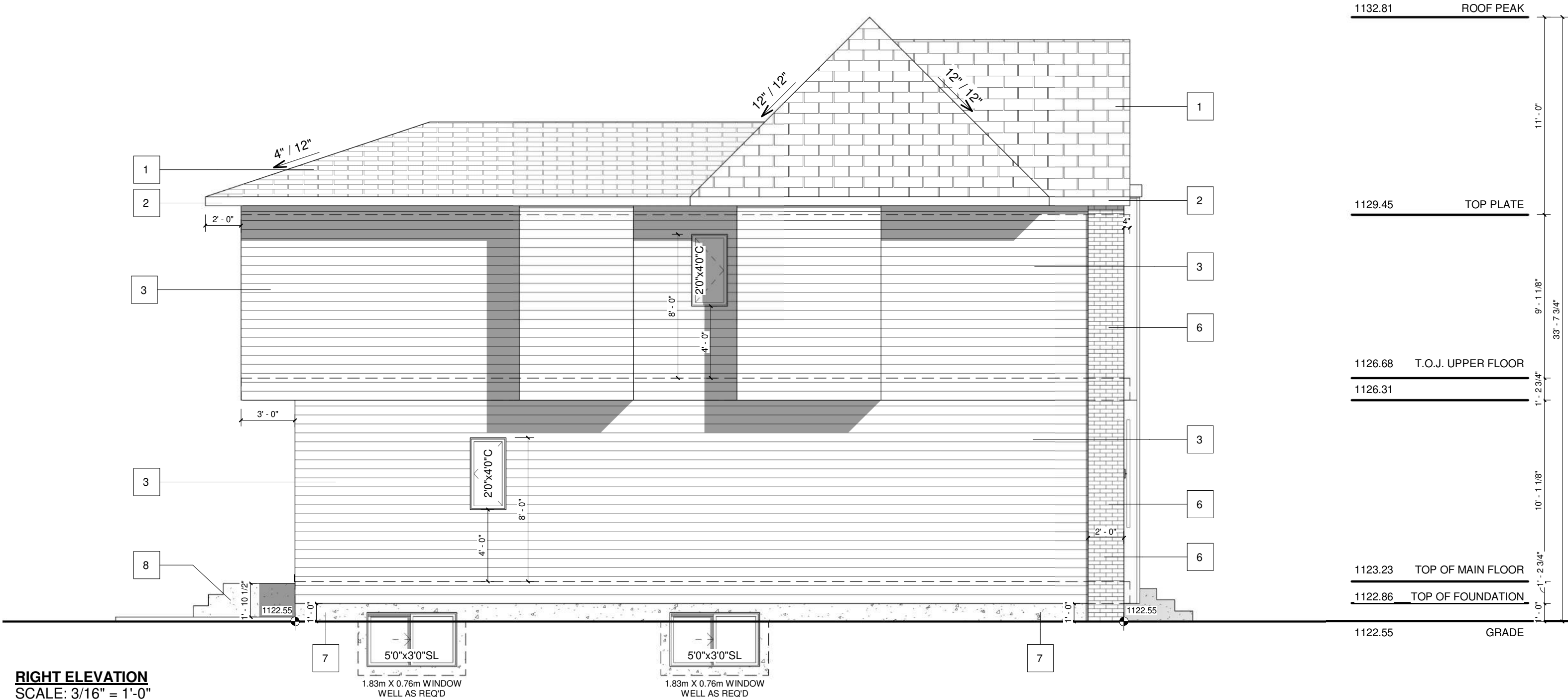
A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	4	HARDIE FINISH - VERTICAL BLACK	7	CONCRETE PARGING
2	6" ALUMINUM FASCIA	5	SMART BOARD - BLACK	8	CAST-IN-PLACE CONCRETE
3	HARDIE FINISH - BLACK	6	STONE - WHITE		

WINDOW CALCULATION
WALL AREA = 1084.24 SQ. FT.
WINDOW AREA = 22.52 SQ. FT.
TOTAL: 22.52/1084.24 = 2.08%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

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PROJECT NAME:

3023 - 13 Ave SW
CALGARY, AB (East)

DESIGNER:

JT

JOB #:

#305-26

SCALE:

AS SHOWN

SHEET:

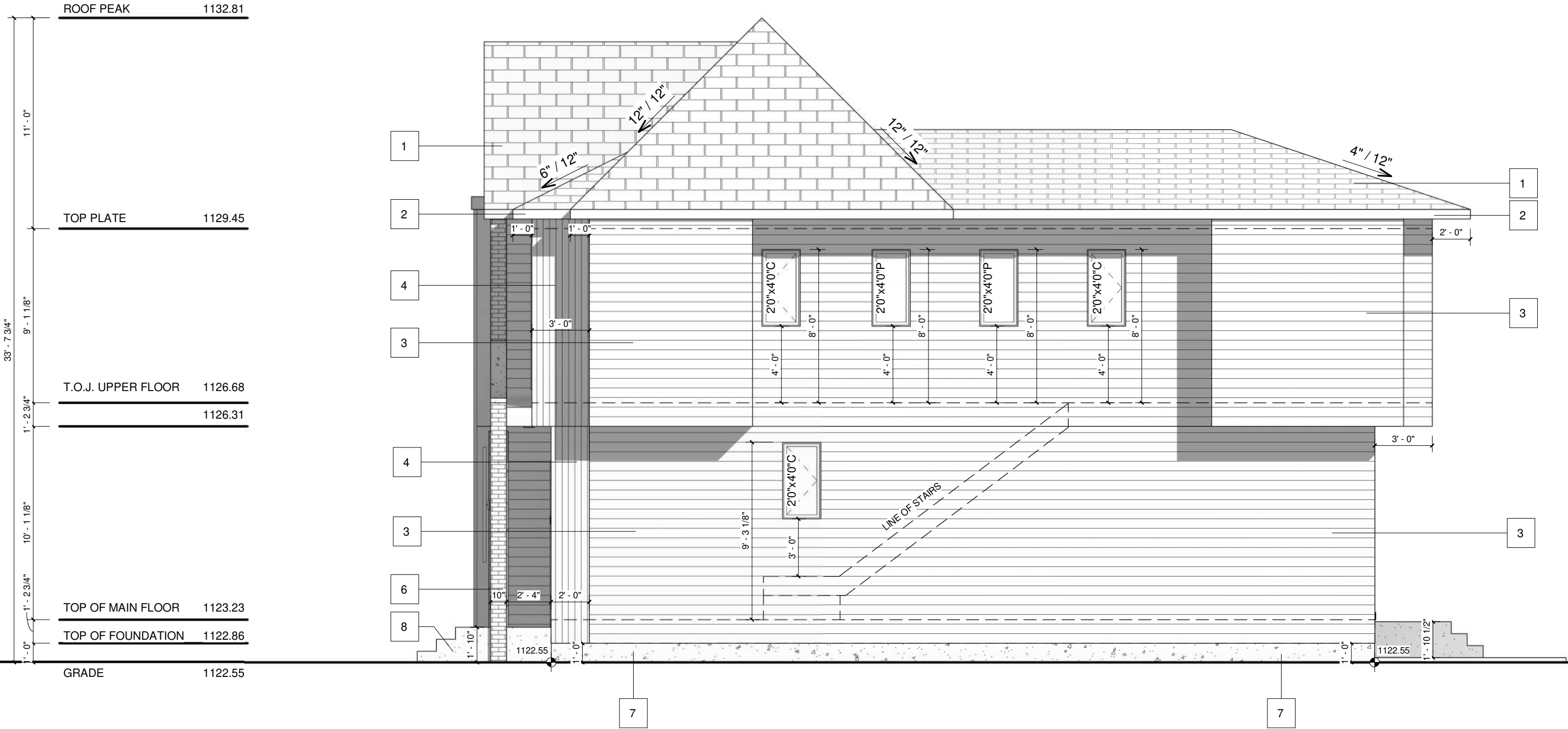
A-2.1

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	4	HARDIE FINISH - VERTICAL BLACK	7	CONCRETE PARGING
2	6" ALUMINUM FASCIA	5	SMART BOARD - BLACK	8	CAST-IN-PLACE CONCRETE
3	HARDIE FINISH - BLACK	6	STONE - WHITE		

WINDOW CALCULATION
WALL AREA = 1015.41 SQ. FT.
WINDOW AREA = 42.53 SQ. FT.
TOTAL: 42.53/1015.41 = 4.19%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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03.	14/07/2025	ADDRESSING	M.C.
04.	21/08/2025	REVISION	K.C.
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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

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PROJECT NAME:

3023 - 13 Ave SW
CALGARY, AB (East)

DESIGNER:

JT

JOB #:

#305-26

SCALE:

AS SHOWN

SHEET:

A-2.2

EXTERIOR FINISHES:

- 1

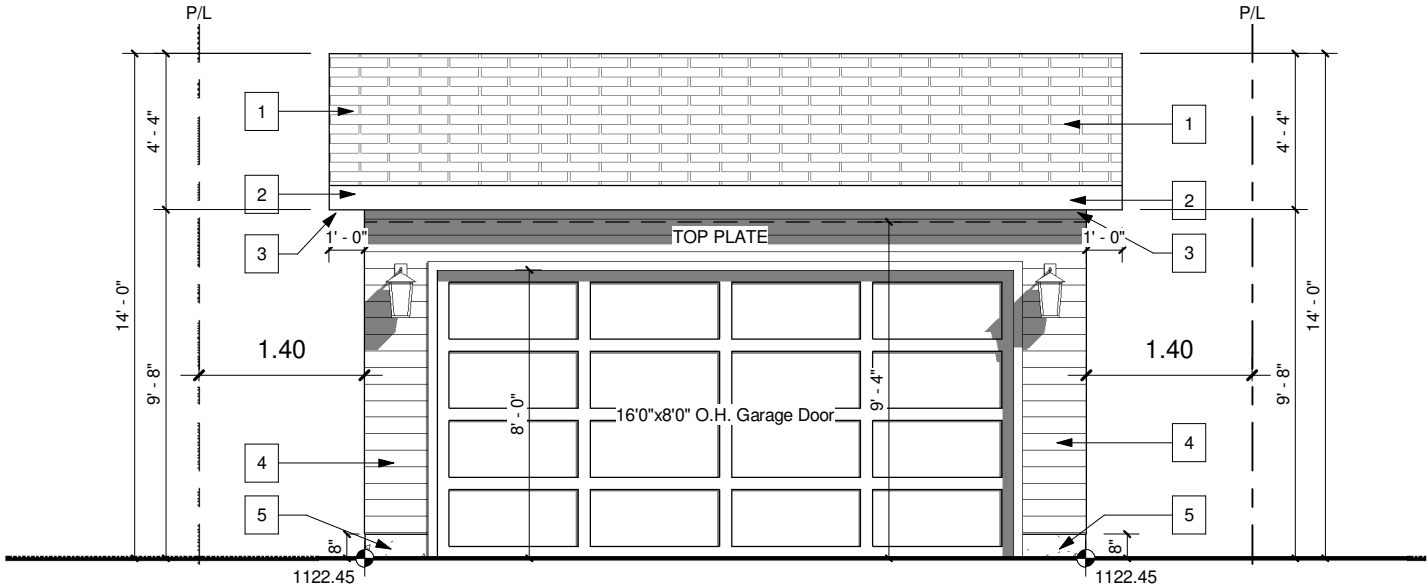
ASPHALT SHINGLES
- 2

8" ALUMINUM FASCIA
- 3

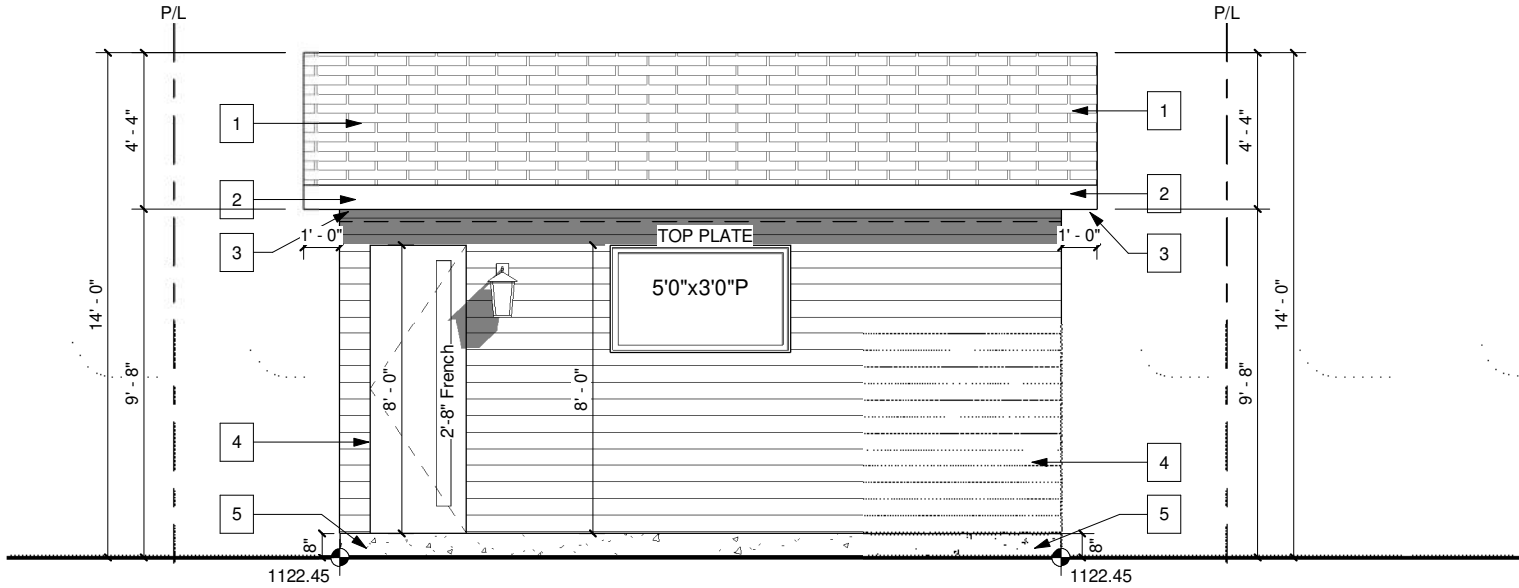
ALUMINUM SOFFIT
- 4

HARDIE FINISH
- 5

CONC. PARGING



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	16/07/2026	DP PLAN	S.W.
02.	--	--	--
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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

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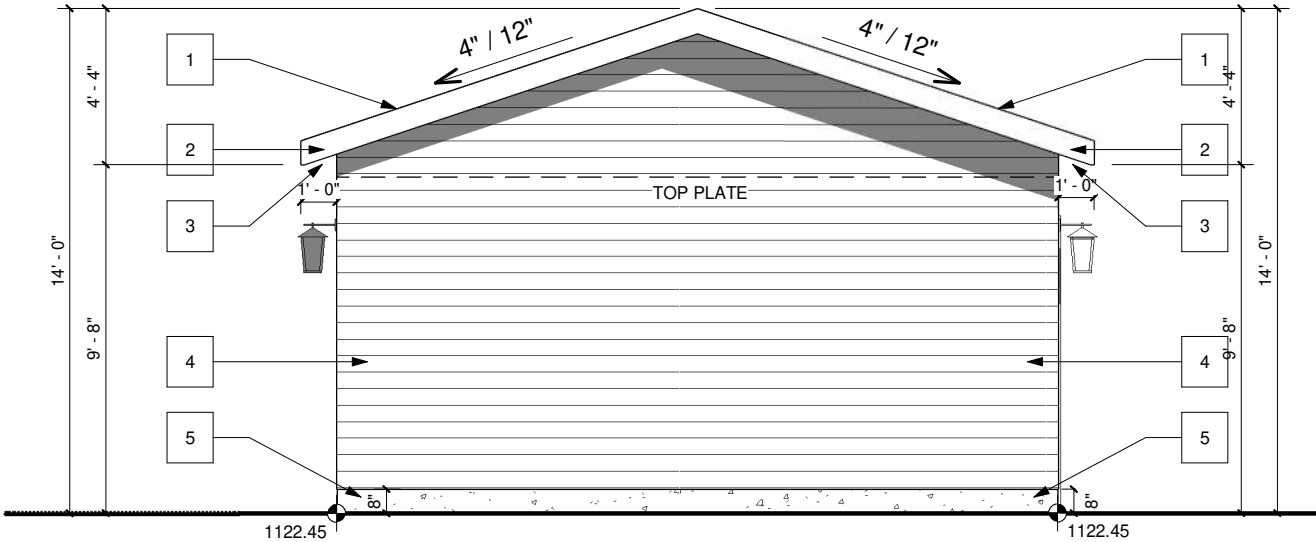
PROJECT NAME:
3023 - 13 Ave SW
CALGARY, AB (East)

DESIGNER: JT
JOB #: #305-26

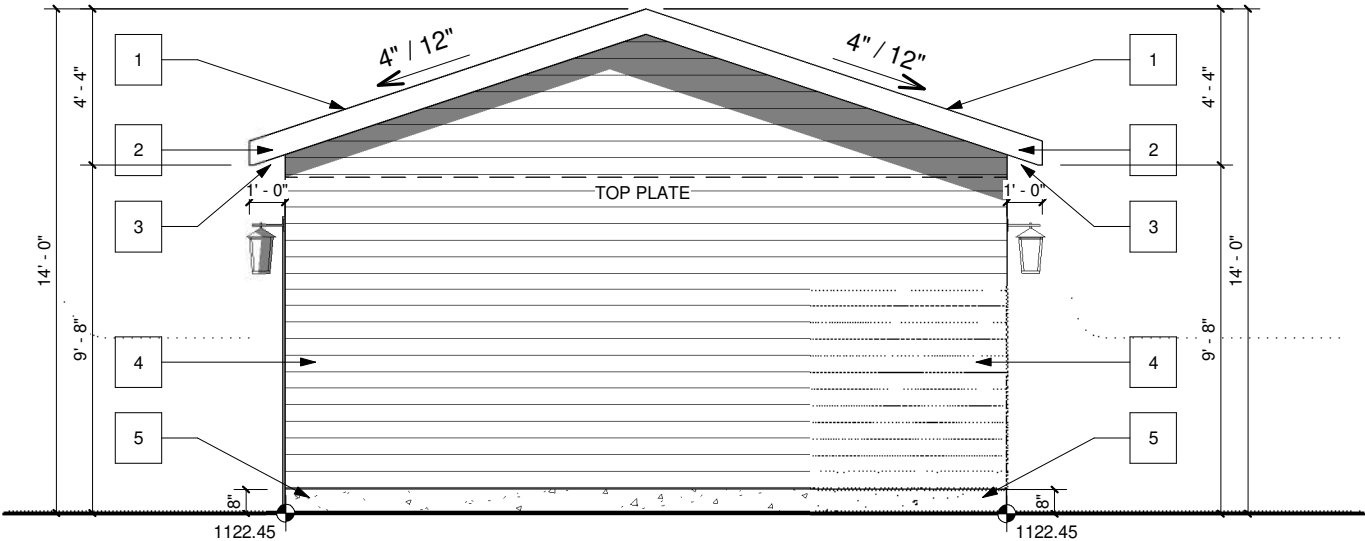
SCALE: AS SHOWN
SHEET: A-4.1

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" ALUMINUM FASCIA
- 3 ALUMINUM SOFFIT
- 4 HARDIE FINISH
- 5 CONC. PARGING



GARAGE RIGHT
SCALE: 3/16" = 1'-0"



GARAGE LEFT
SCALE: 3/16" = 1'-0"

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	16/07/2026	DP PLAN	S.W.
02.	--	--	--
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PROJECT:
NEW HOME

STATUS: -

SIGNATURES:
X _____

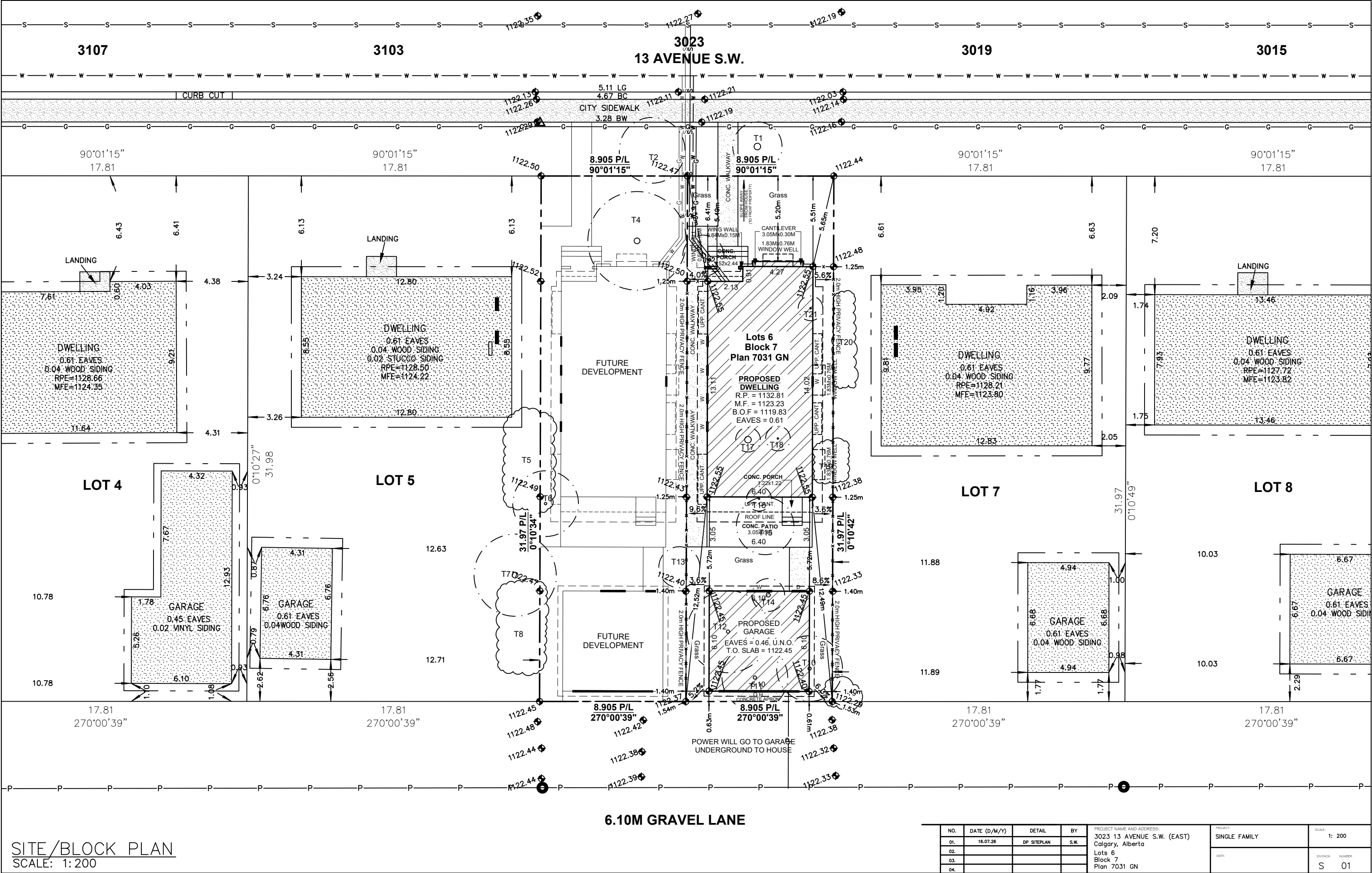
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PROJECT NAME:
3023 - 13 Ave SW
CALGARY, AB (East)

DESIGNER: JT	JOB #: #305-26
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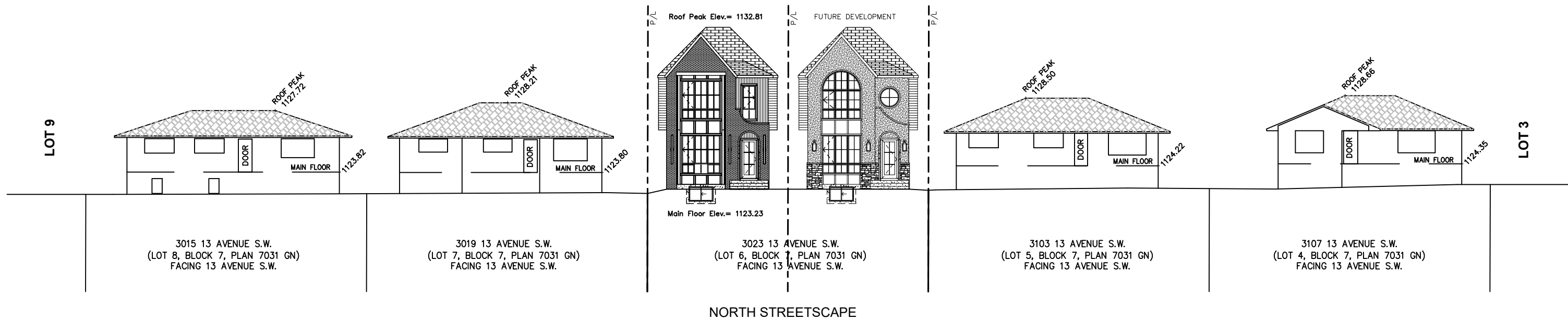
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SITE/BLOCK PLAN
SCALE: 1:200

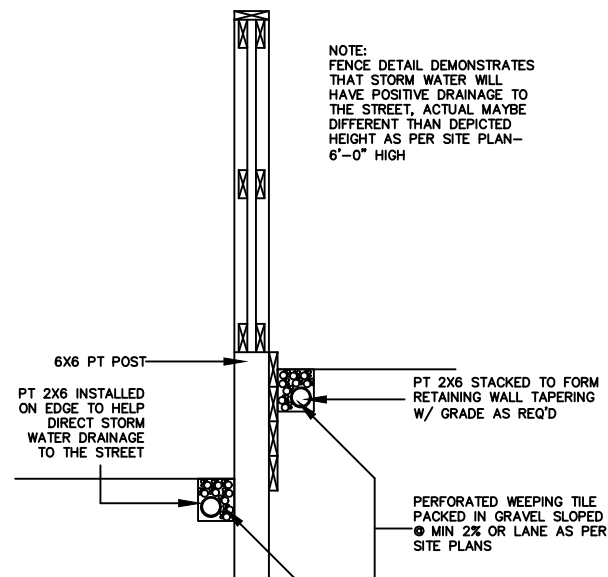


SITE/BLOCK PLAN
SCALE: 1:200

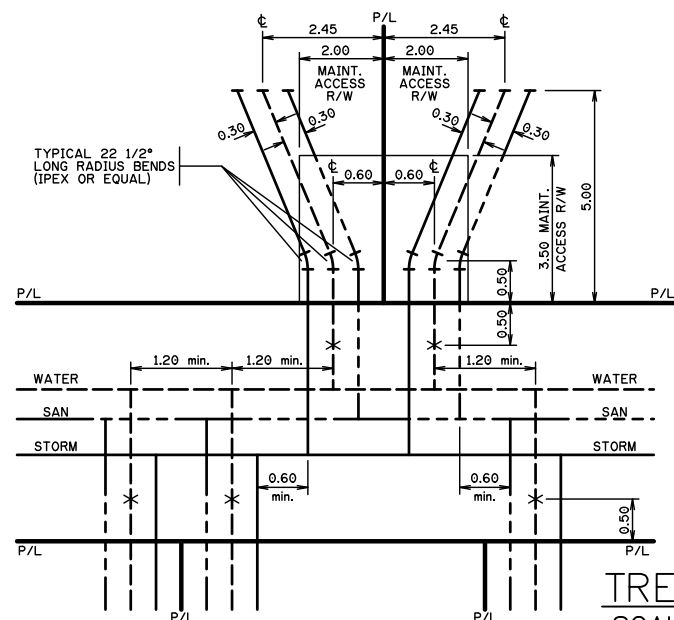
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02.				Lots 6 Block 7	DATE:	DIVISION NUMBER
03.				Plan 7031 GN		S 01
04.						



SINGLE FAMILY SQFT.



NOTES:



TREE SCHEDULE:

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS: 3023 13 AVENUE S.W. (EAST) Calgary, Alberta LOTS 6 BLOCK 7 PLAN 7031 GN	PROJECT:	SCALE:	
01.	16.07.26	DP SITEPLAN	S.W.		SINGLE FAMILY	AS SHOWN	
02.					DATE:	DIVISION	NUMBER
03.							
04.							