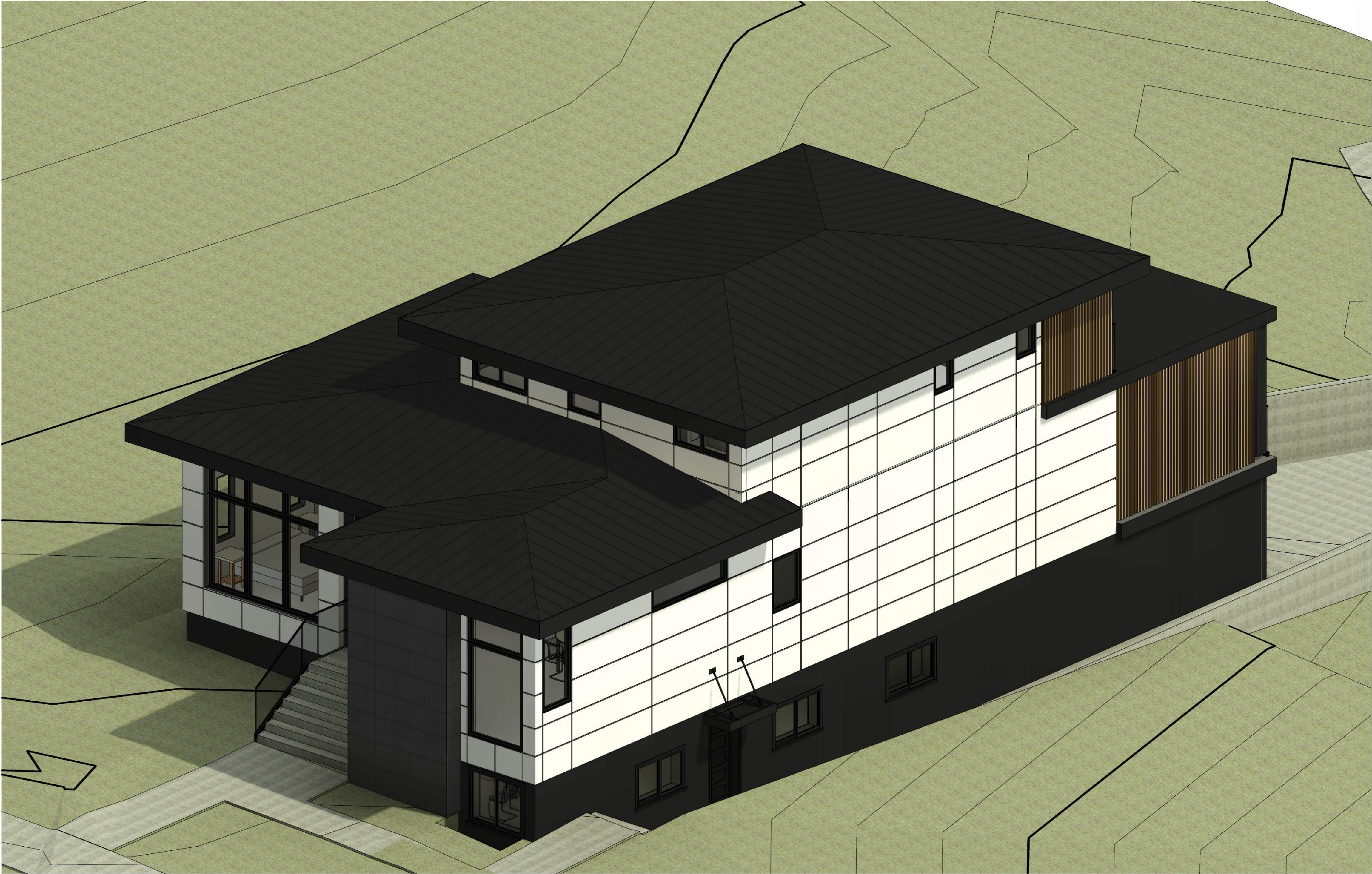




PROPOSED 2 STOREY DWELLING
412 46 AVE S.W.
CALGARY, AB
ISSUED FOR DEVELOPMENT PERMIT
2026-07-17



T: +1.403.681.2365
T: +1.403.970.7417
WWW.PRIMEDESIGNSYYC.COM
INFO@PRIMEDESIGNSYYC.COM
720 28 ST. N.E. UNIT #128 CALGARY, AB
CONSULTANT

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PROPOSED 2 STOREY
DWELLING

PROJECT NO. 0001

REVISIONS

No. Description YY-MM-DD

Cover page

SCALE:

A0.0

DATE: 2024-09-09

DRAWN BY: Author



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PROPOSED 2 STOREY DWELLING
412 46 AVE S.W.
CALGARY, AB

PROJECT NO.

REVISION	DATE
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3d Views

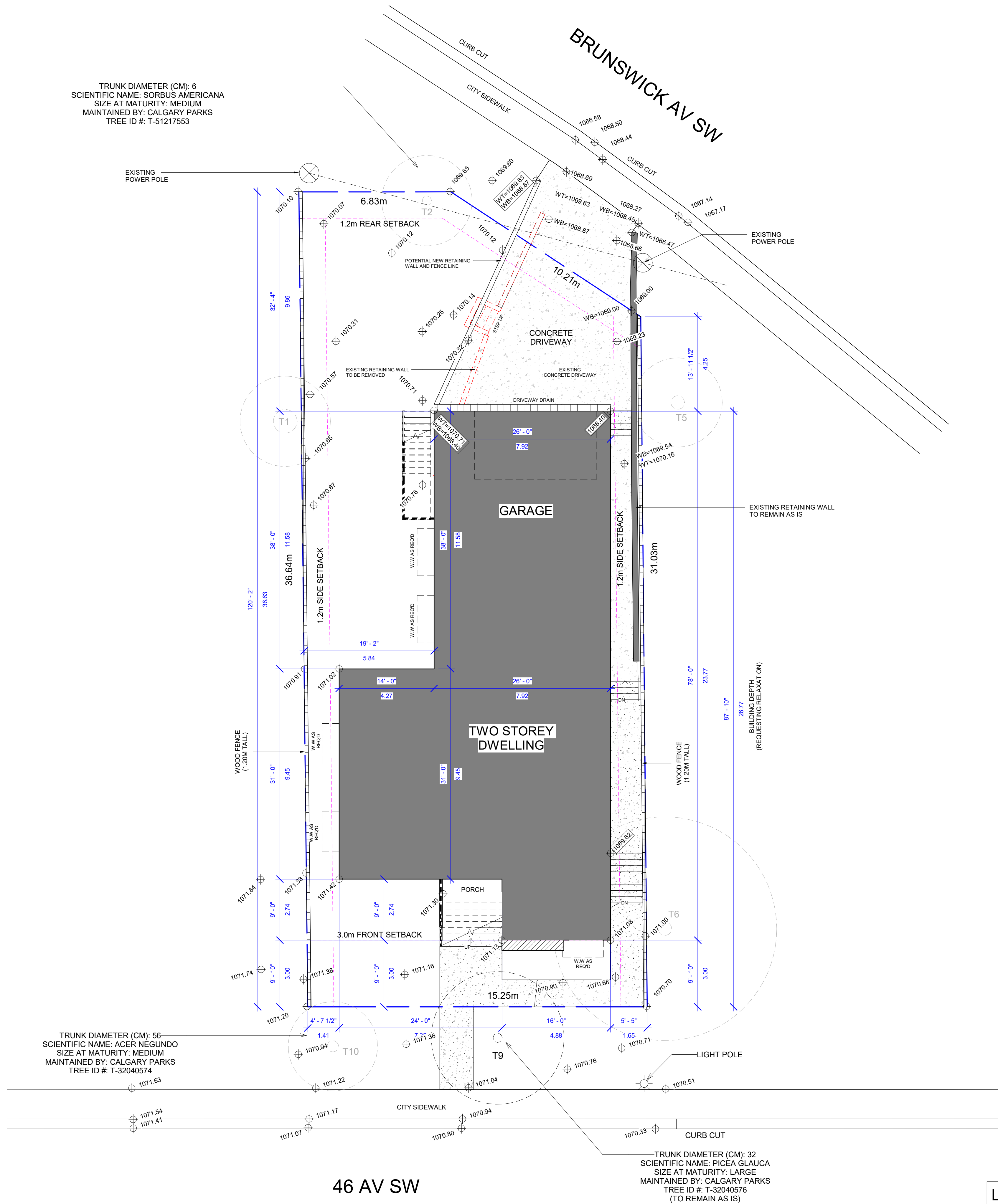
SCALE:

A0.1

DATE: 2026-07-20 1:14:13 PM

DRAWN BY: Author

1 SITE PLAN
A1.0 1:100



LEGEND	
	EXISTING GRADE
	PROPOSED GRADE

LOT AREA: +/- 5,769 SQ.FT. (536 SQ.M.)
PROPOSED DWELLING: 2,372 SQ.FT. (220 SQ.M.)
LOT COVERAGE: 41 %

NOT FOR CONSTRUCTION - PRELIMINARY REVIEW ONLY

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PROPOSED 2 STOREY DWELLING
412 46 AVE S.W.
CALGARY, AB

PROJECT NO.	
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Site Plan
SCALE: As indicated

A1.0
DATE: 2025-07-20 1:14:14 PM
DRAWN BY: Author

SITE PLAN

MUNICIPAL ADDRESS:
412 46 AVENUE S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:
LOT 4
BLOCK 27
PLAN 7887 GH

PREPARED FOR: Prime Design Solutions Ltd.

DATE OF SURVEY: September 23rd, 2025

SCALE: 1:200

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
- Gas Line
- Overhead Wire
- A.G.T. Line
- Door
- Second Floor Window
- Main Floor Window
- Basement Floor Window
- Calculation points
- Power Pole
- Power Anchor
- Light Pole
- Manhole
- Catch Basin
- Water Valve
- Gas Valve
- Sign
- Fire Hydrant
- Tree
- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

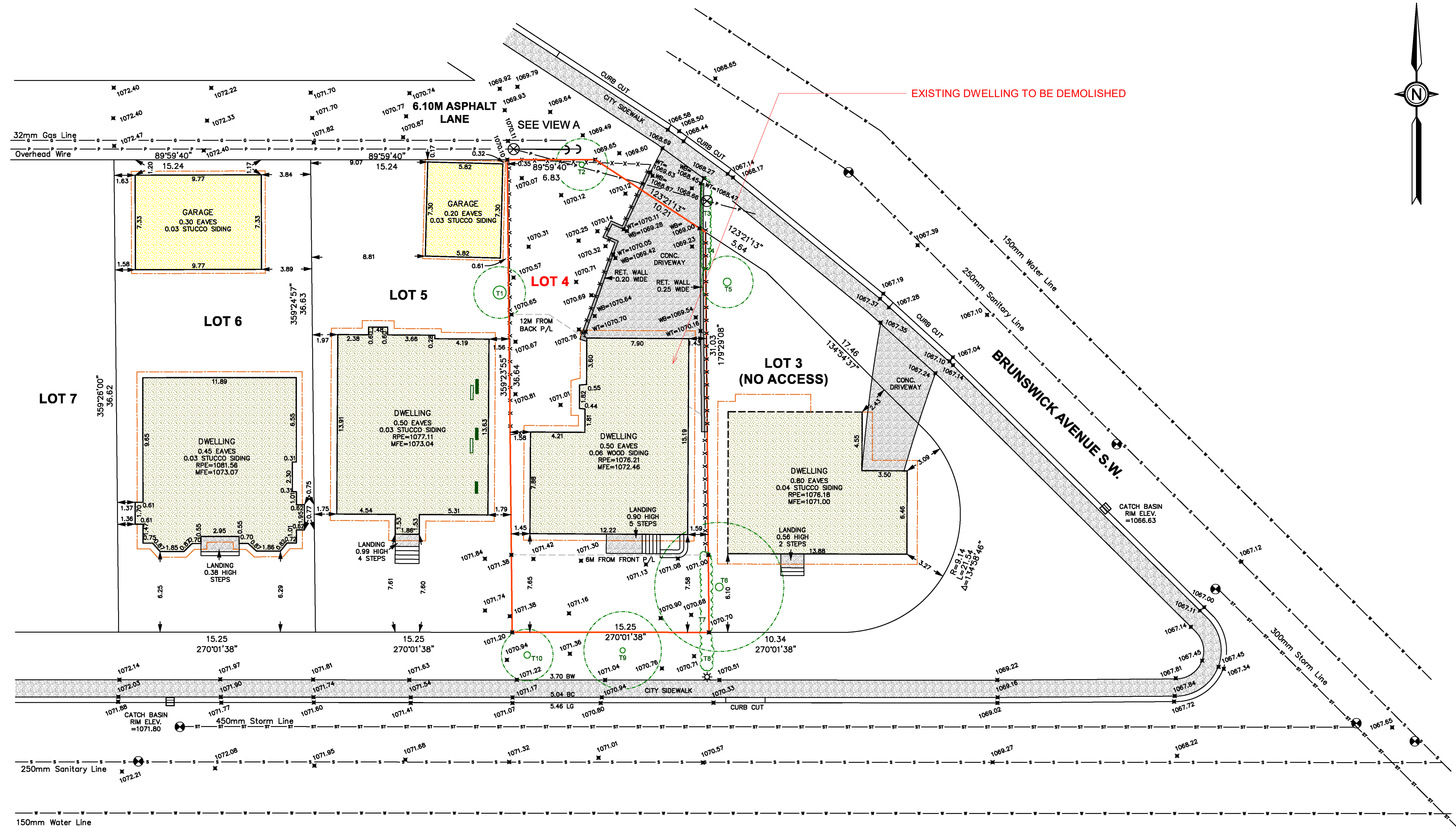
'2F.'-Second Floor
'BC'-Back of Curb
'BW'-Back of Walkway
'Cant.'-Cantilever
'Conc.'-Concrete
'Elev.'-Elevation
'Enc.'-Encroachment
'L'-Length of Arc
'LG'-Lip of Gutter
'M.F.'-Main Floor
'MFE'-Main Floor Elevation
'R'-Radius
'R/W'-Right of Way
'Ret.'-Retaining
'RPE'-Roof Peak Elevation
'WB'-Bottom of Wall
'WT'-Top of Wall

NOTE:

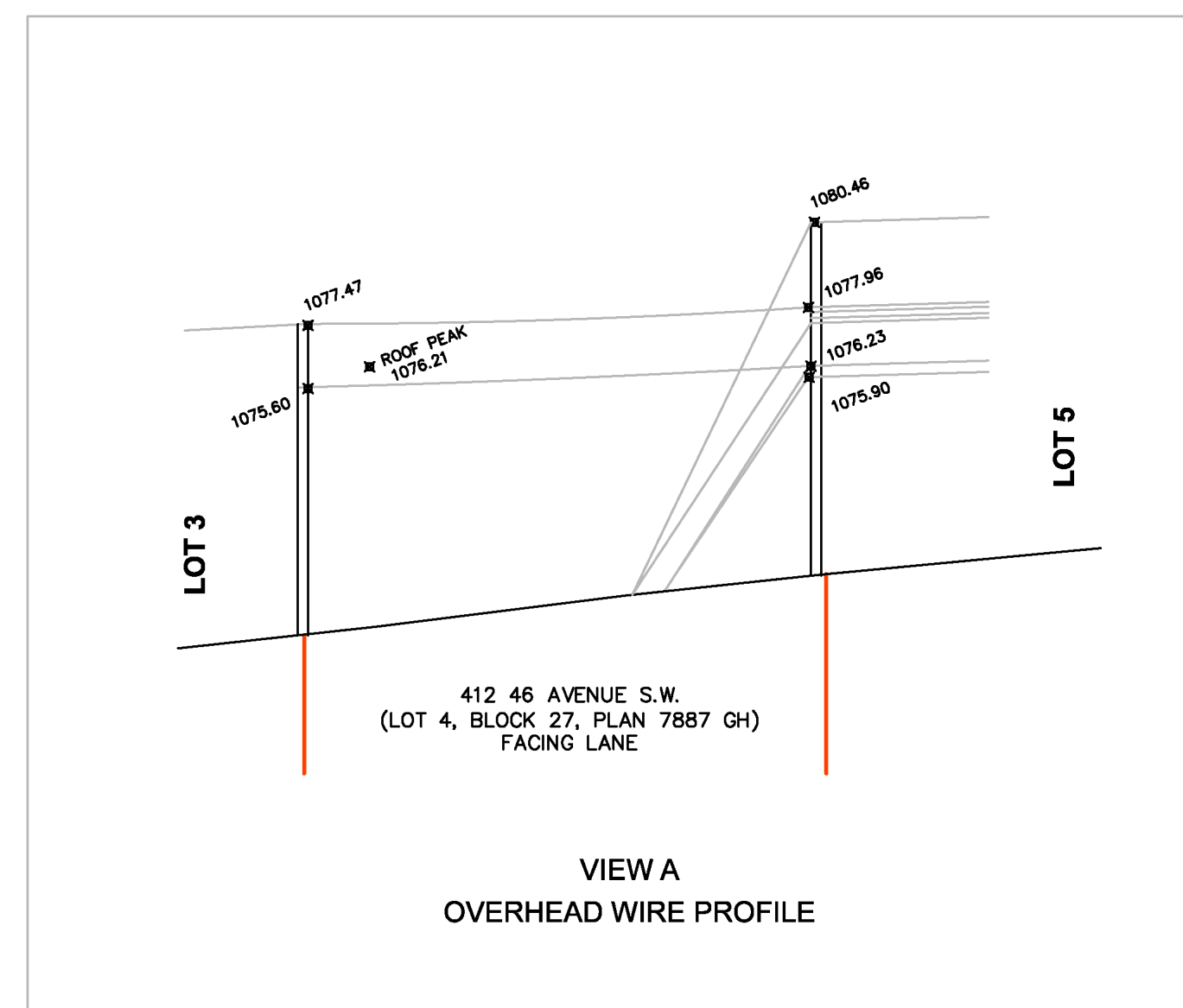
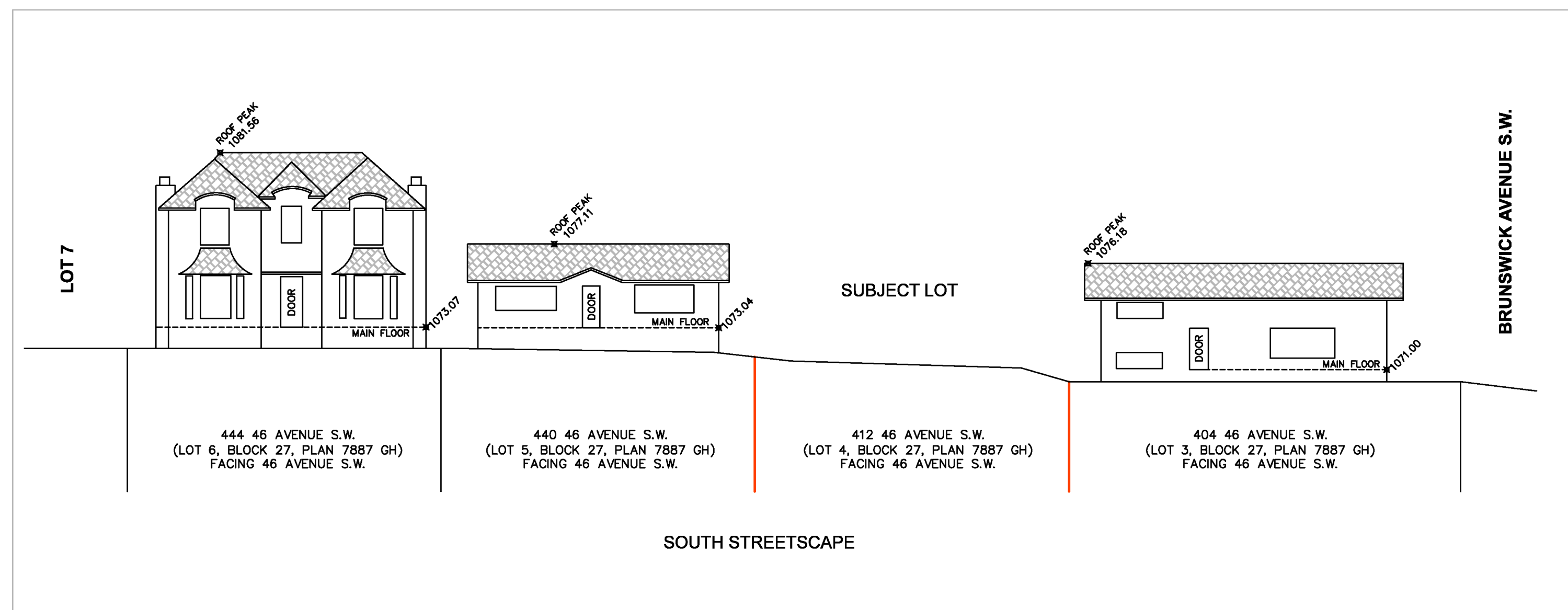
- The basis of this plan is as follows:
Datum: North American Datum 1983 (original)
Projection: 3° Transverse Mercator
Reference Meridian: 114° west longitude
Combined Scale Factor: 0.999735
- Distances are in ground and are shown in metres and decimals thereof.
- Distances along curves are arc distances.
- Elevations are derived from ASCM 75135.
- Existing spot elevations are shown thus: 1000.00
- The Certificate of Title 181,252,200, which was Searched on the 09th day of September, 2025, and includes the following instruments:
Restrictive Covenant No. 7824 GK
Mortgage No. 221 037 320
- The utilities information is acquired from 'The City of Calgary Engineering Department' Drawing No. 102, 104, 105 & 106 in Sec.04-Twp.24-Rge.1-W.5M. (Horizon Land Surveys Inc. accepts no responsibility for its accuracy. It is the responsibility of the developer and excavator to have all utilities located by Alberta One Call prior to conducting any excavation or ground disturbance.)

TREE SCHEDULE:

Tree No.	Variety	Trunk (#2)	Canopy (#2)	Height (±)	Location
T1	Deciduous	1.00	4.00	10.00	On Property Line
T2	Deciduous	0.40	4.00	10.00	In Subject Property
T3	Bush	-	0.80	1.50	In City Property
T4	Bush	-	0.80	1.50	On Property Line
T5	Deciduous	0.60	4.00	10.00	In Adjacent Property
T6	Coniferous	0.60	10.00	15.00	On Property Line
T7	Bush	-	1.00	1.20	On Property Line
T8	Bush	-	1.00	1.20	In City Property
T9	Coniferous	0.40	6.00	13.00	In City Property
T10	Deciduous	0.60	4.00	10.00	In City Property



444 440 412 404
46 AVENUE S.W.



SITE PLAN

MUNICIPAL ADDRESS:

412 46 AVENUE S.W.
CALGARY, ALBERTA

LEGAL DESCRIPTION:

LOT 4
BLOCK 27
PLAN 7887 GH

PREPARED FOR: Prime Design Solutions Ltd.

DATE OF SURVEY: September 23rd, 2025

SCALE: 1:200

LEGEND:

- Subject Property Line
- Right of Way Line
- Eave Line
- Fence Line
- Sanitary Line
- Storm Line
- Water Line
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- A.G.T. Line
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- Second Floor Window
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- Basement Floor Window
- Calculation points
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- Power Anchor
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- Gas Valve
- Sign
- Fire Hydrant
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- Main Building Hatch
- Detached Garage Hatch
- Shed Hatch
- Concrete and Asphalt Hatch
- Wood Hatch
- Roof Hatch

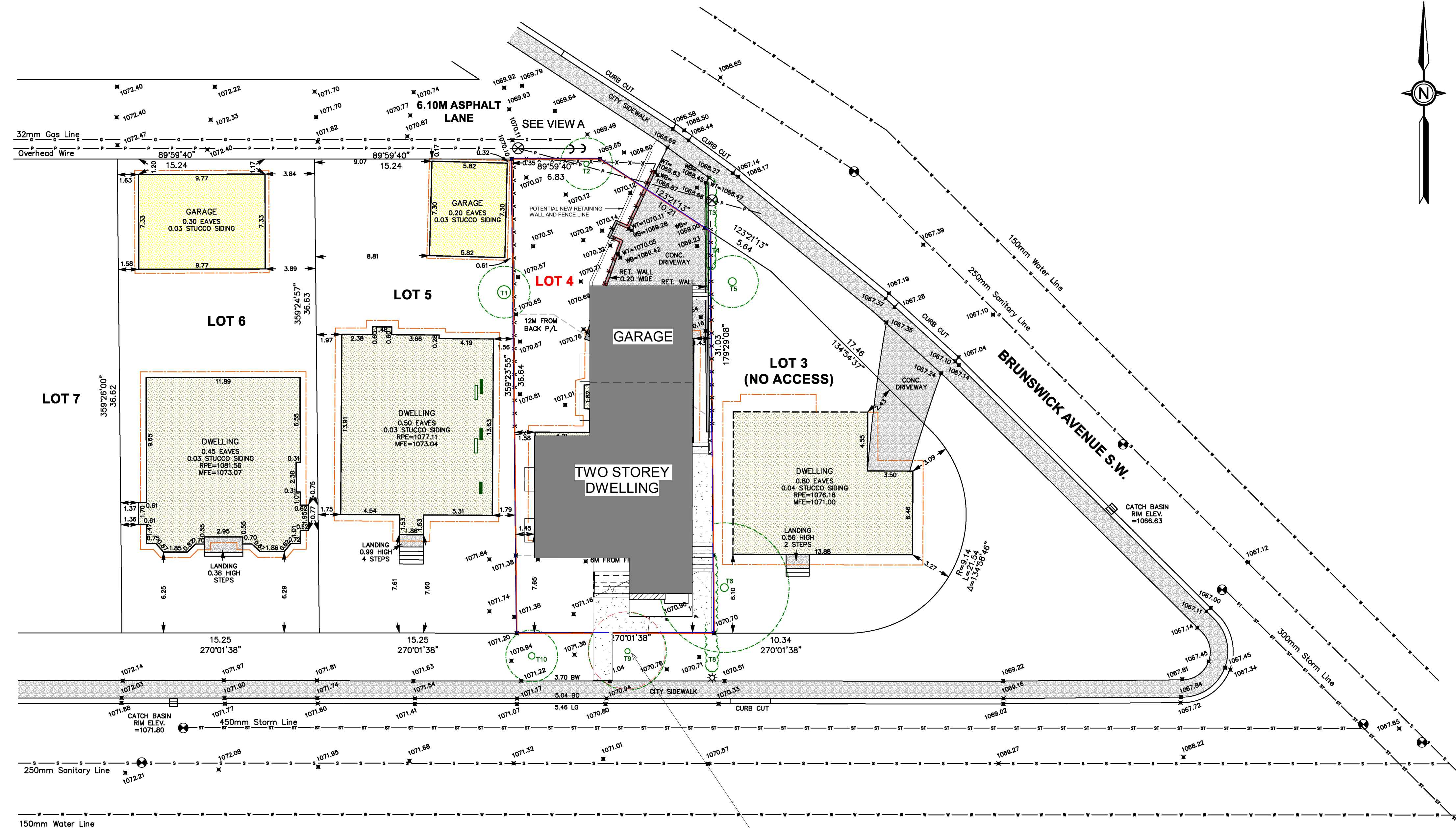
'2F'—Second Floor
'BC'—Back of Curb
'BW'—Back of Walkway
'Cant.'—Cantilever
'Conc.'—Concrete
'Elev.'—Elevation
'Enc.'—Encroach(es)
'L'—Length of Arc
'LG'—Lip of Gutter
'M.F.'—Main Floor
'MFE'—Main Floor Elevation
'R'—Radius
'R/W'—Right of Way
'Ret.'—Retaining
'RPE'—Roof Peak Elevation
'WB'—Bottom of Wall
'WT'—Top of Wall

NOTE:

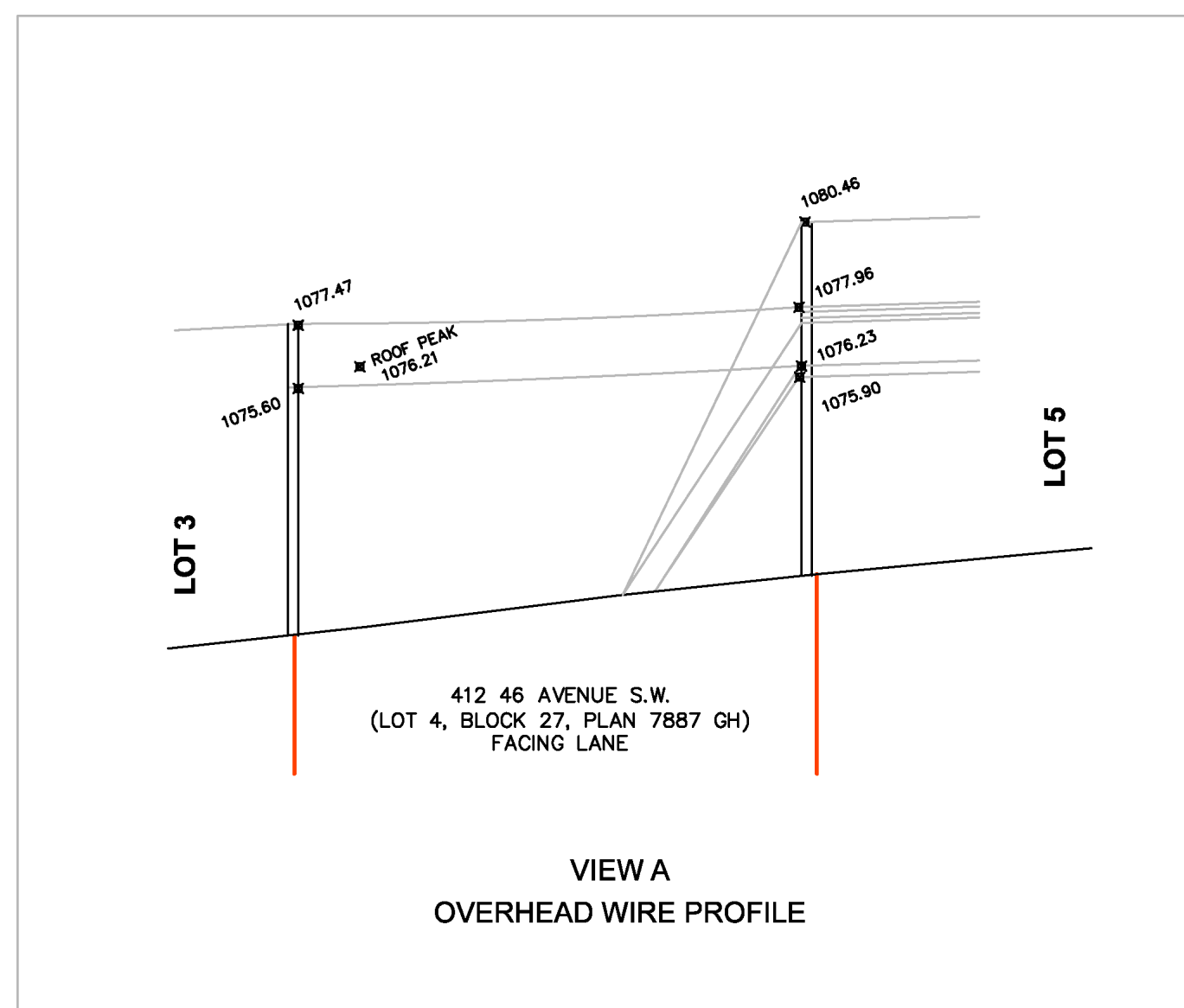
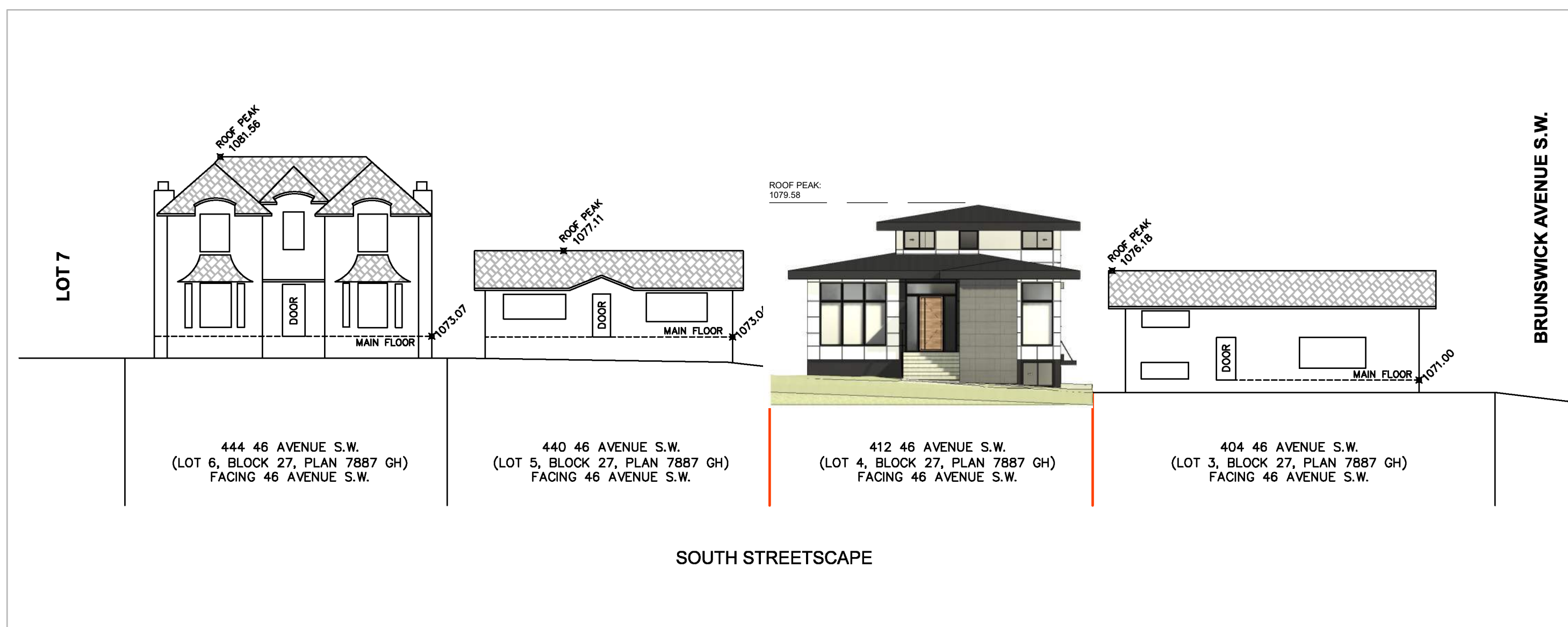
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TREE SCHEDULE:

Tree No.	Variety	Trunk (#)	Canopy (#)	Height (ft)	Location
T1	Deciduous	1.00	4.00	10.00	On Property Line
T2	Deciduous	0.40	4.00	10.00	In Subject Property
T3	Bush	—	0.80	1.50	In City Property
T4	Bush	—	0.80	1.50	On Property Line
T5	Deciduous	0.60	4.00	10.00	In Adjacent Property
T6	Coniferous	0.60	10.00	15.00	On Property Line
T7	Bush	—	1.00	1.20	On Property Line
T8	Bush	—	1.00	1.20	In City Property
T9	Coniferous	0.40	6.00	13.00	In City Property
T10	Deciduous	0.60	4.00	10.00	In City Property



TRUNK DIAMETER (CM): 32
SCIENTIFIC NAME: PICEA GLAUCA
SIZE AT MATURITY: LARGE
MAINTAINED BY: CALGARY PARKS
TREE ID #: T-32040576
(TO REMAIN AS IS)

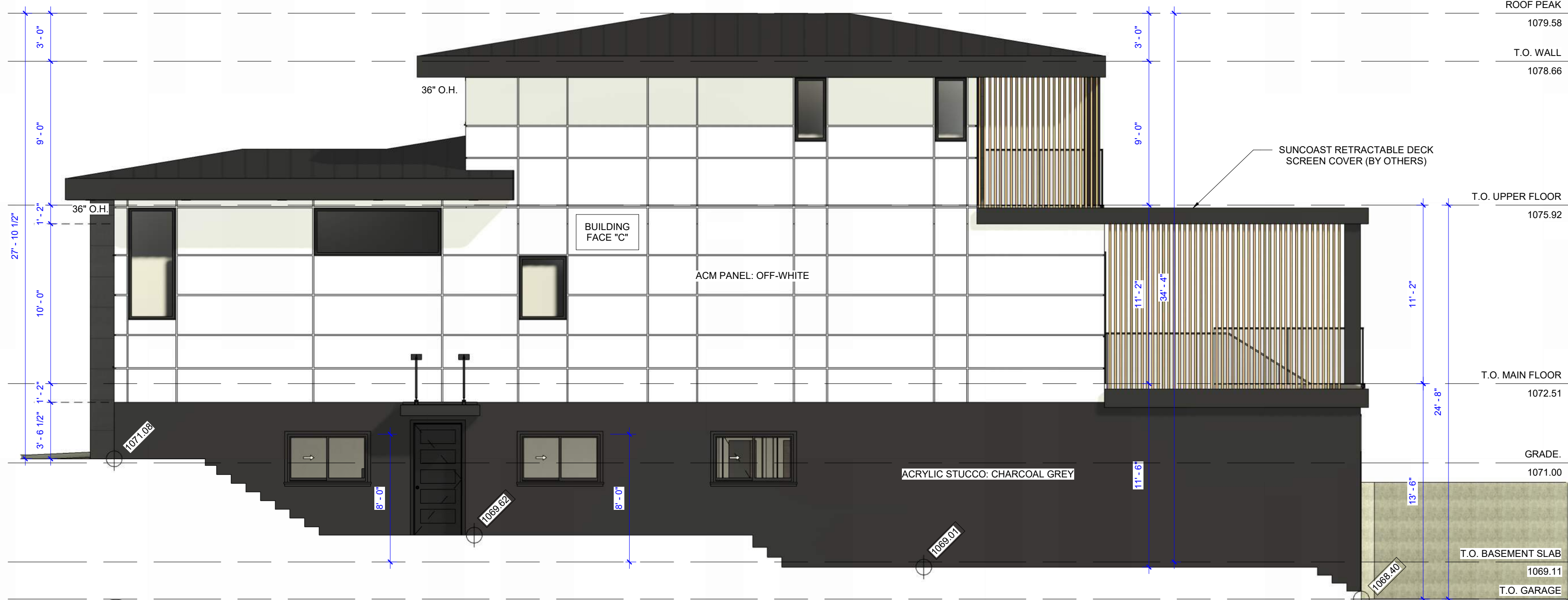




1 FRONT ELEVATION
A3.0 3/16" = 1'-0"



3 REAR ELEVATION
A3.0 3/16" = 1'-0"



2 EAST ELEVATION
A3.0 3/16" = 1'-0"



4 WEST ELEVATION
A3.0 3/16" = 1'-0"

LIMITING DISTANCE: 1.38m
BUILDING FACE: 1,704 SQ.FT.
GLAZED OPENINGS: 118 SQ.FT. (7%)
MAX. ALLOWED: 7%

BUILDING FACE "B"
LIMITING DISTANCE: 5.84m
BUILDING FACE: 515 SQ.FT.
GLAZED OPENINGS: 75 SQ.FT. (14.5%)
MAX. ALLOWED: 28%

BUILDING FACE "A"
LIMITING DISTANCE: 1.41m
BUILDING FACE: 488 SQ.FT.
GLAZED OPENINGS: 35 SQ.FT. (7%)
MAX. ALLOWED: 7%

- NOTES:
- GRADES SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY.
 - CONTRACTOR TO VERIFY ALL SITE CONDITIONS PRIOR TO EXCAVATION.
 - ALL VERTICALLY EXPOSED SURFACES OF THE DECK TO BE PAINTED TO MATCH FASCIA
 - UNDERSIDE OF THE DECK MUST BE FINISHED WITH ALUMINUM, WOOD OR COMPOSITE SOFFIT.