



LIST OF DRAWINGS	
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A-1.2	Main Floor Plan
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A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
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A-3.3	Garage Section

PROJECT NOTES:

FLOOR AREA - UNIT #1	
BASEMENT	= 934.50 SQ. FT.
MAIN	= 920.50 SQ. FT.
UPPER	= 1032.33 SQ. FT.
TOTAL	= 1952.83 SQ. FT.
FLOOR AREA - UNIT #2	
BASEMENT	= 934.50 SQ. FT.
MAIN	= 920.50 SQ. FT.
UPPER	= 1032.33 SQ. FT.
TOTAL	= 1952.83 SQ. FT.

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ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	11/06/2026	CONCEPT	D.J.
02.	06/07/2026	DP PLANS	D.J.
03.	--	--	--
04.	--	--	--
05.	--	--	--



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PROJECT: **DUPLEX + SUITES**

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-10 3:20:34 PM

PROJECT NAME:
7421 21A ST SE
CALGARY, ALBERTA

DESIGNER:	JT	JOB #:	316-26
SCALE:	AS SHOWN	SHEET:	A-0.0



EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	SMOOTH STUCCO FINISH - WHITE	9	CONC. PARGING
2	8" ALUMNIMUM FASCIA	6	WOOD SLATS - BLACK		
3	WOOD SOFFIT	7	SMOOTH STUCCO FINISH - BLACK		
4	STUCCO FINISH - WHITE	8	CAST IN PLACE CONCRETE		

NOTE*

-SEMI-FLUSH WINDOW HEADERS TO BE DESIGNED
TO ACCOMMODATE CUSTOM WINDOWS

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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PROJECT:

DUPLEX + SUITES

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-07-10 3:20:39 PM

PROJECT NAME:

7421 21A ST SE
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

316-26

SCALE:

AS SHOWN

SHEET:

A-2.0

FRONT ELEVATION

SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	SMOOTH STUCCO FINISH - WHITE	9	CONC. PARGING
2	8" ALUMNIMUM FASCIA	6	WOOD SLATS - BLACK		
3	WOOD SOFFIT	7	SMOOTH STUCCO FINISH - BLACK		
4	STUCCO FINISH - WHITE	8	CAST IN PLACE CONCRETE		

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
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PROJECT:

DUPLEX + SUITES

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-07-10 3:20:40 PM

PROJECT NAME:

7421 21A ST SE
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

316-26

SCALE:

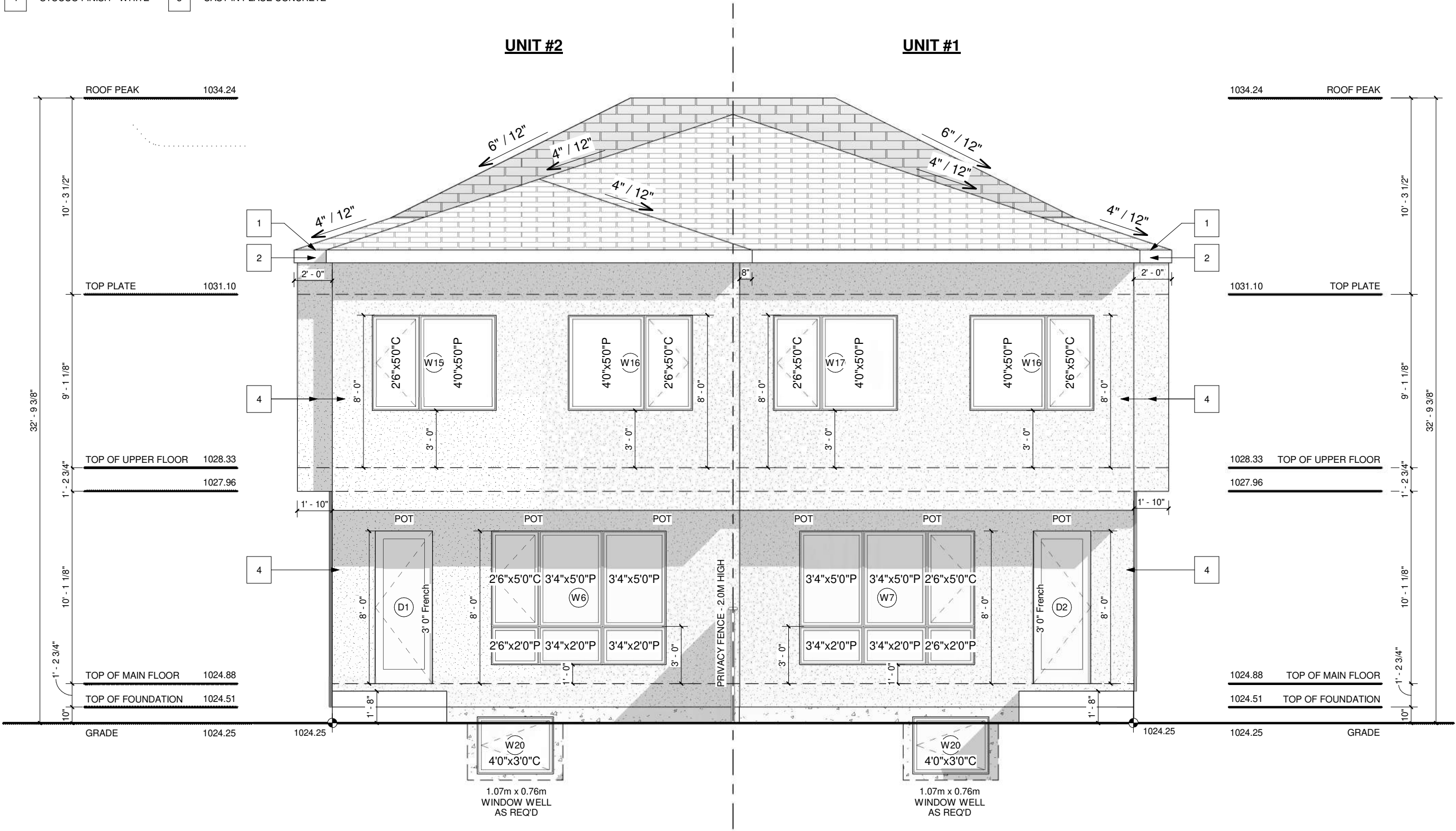
AS SHOWN

SHEET:

A-2.1

REAR ELEVATION

SCALE: 3/16" = 1'-0"



EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	SMOOTH STUCCO FINISH - WHITE	9	CONC. PARGING
2	8" ALUMNIMUM FASCIA	6	WOOD SLATS - BLACK		
3	WOOD SOFFIT	7	SMOOTH STUCCO FINISH - BLACK		
4	STUCCO FINISH - WHITE	8	CAST IN PLACE CONCRETE		

WINDOW CALCULATION
WALL AREA = 1036.57 SQ. FT.
WINDOW AREA = 28.13 SQ. FT.
TOTAL: 28.13 / 1036.57 = 2.71%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

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PROJECT:
DUPLEX + SUITES

STATUS: -

SIGNATURES:
X _____

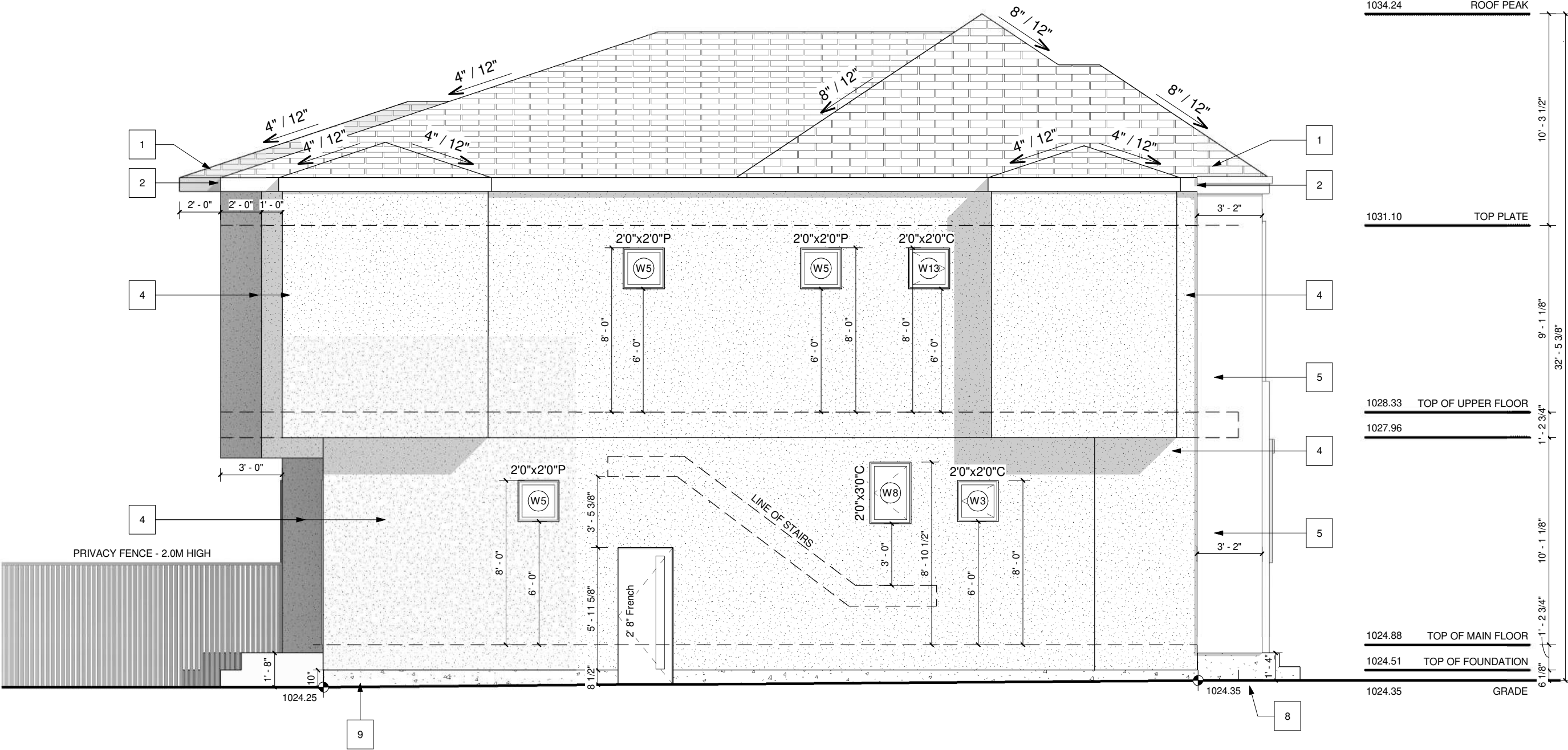
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PROJECT NAME:
7421 21A ST SE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 316-26

SCALE: AS SHOWN SHEET: A-2.2

UNIT #1



LEFT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

1	ASPHALT SHINGLES	5	SMOOTH STUCCO FINISH - WHITE	9	CONC. PARGING
2	8" ALUMNIMUM FASCIA	6	WOOD SLATS - BLACK		
3	WOOD SOFFIT	7	SMOOTH STUCCO FINISH - BLACK		
4	STUCCO FINISH - WHITE	8	CAST IN PLACE CONCRETE		

WINDOW CALCULATION
WALL AREA = 1001.06 SQ. FT.
WINDOW AREA = 28.13 SQ. FT.
TOTAL: 28.13 / 1001.06 = 2.81%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

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PROJECT:
DUPLEX + SUITES

STATUS: -

SIGNATURES:
X _____

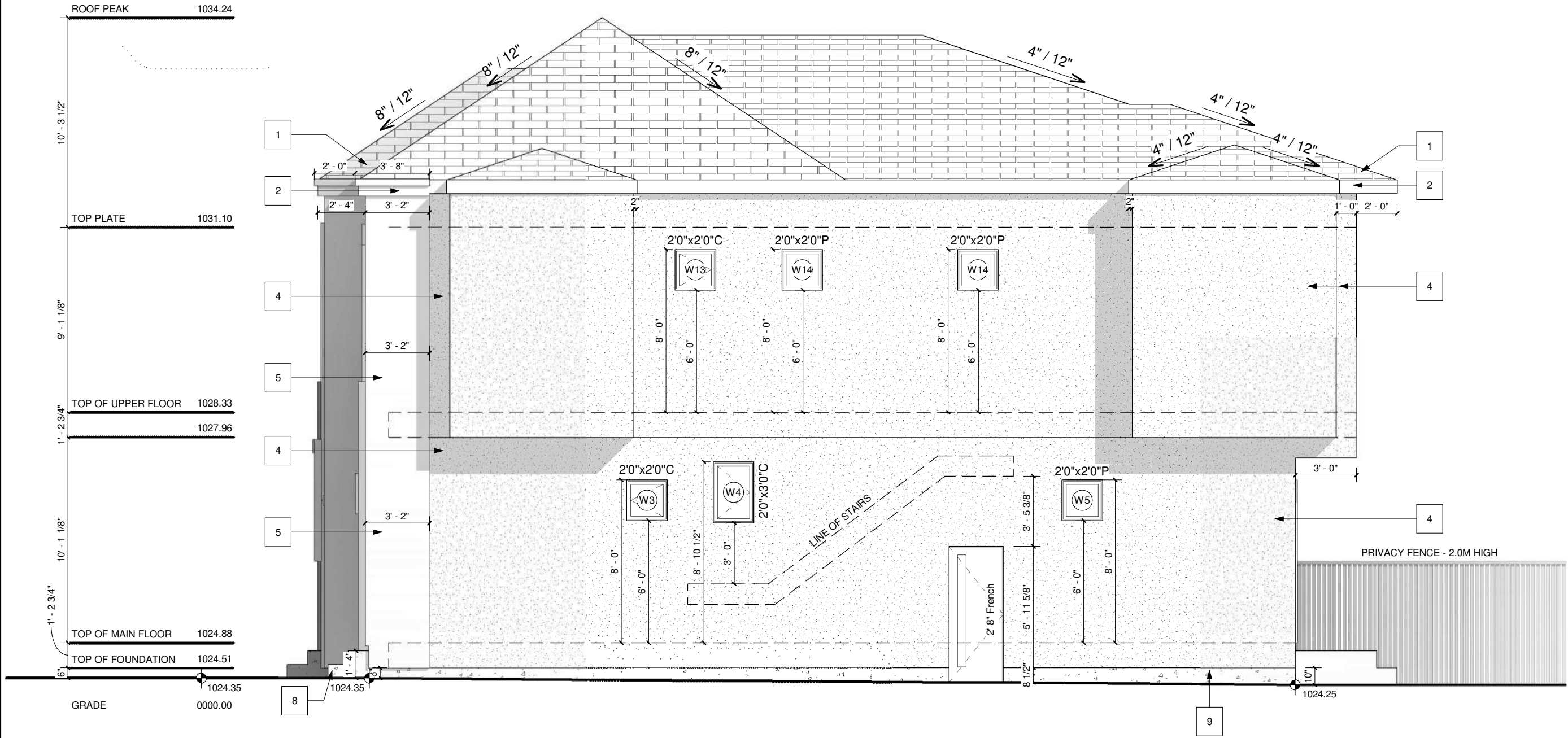
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PROJECT NAME:
7421 21A ST SE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 316-26

SCALE: AS SHOWN SHEET: A-2.3

UNIT #2



RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

EXTERIOR FINISHES:

- 1

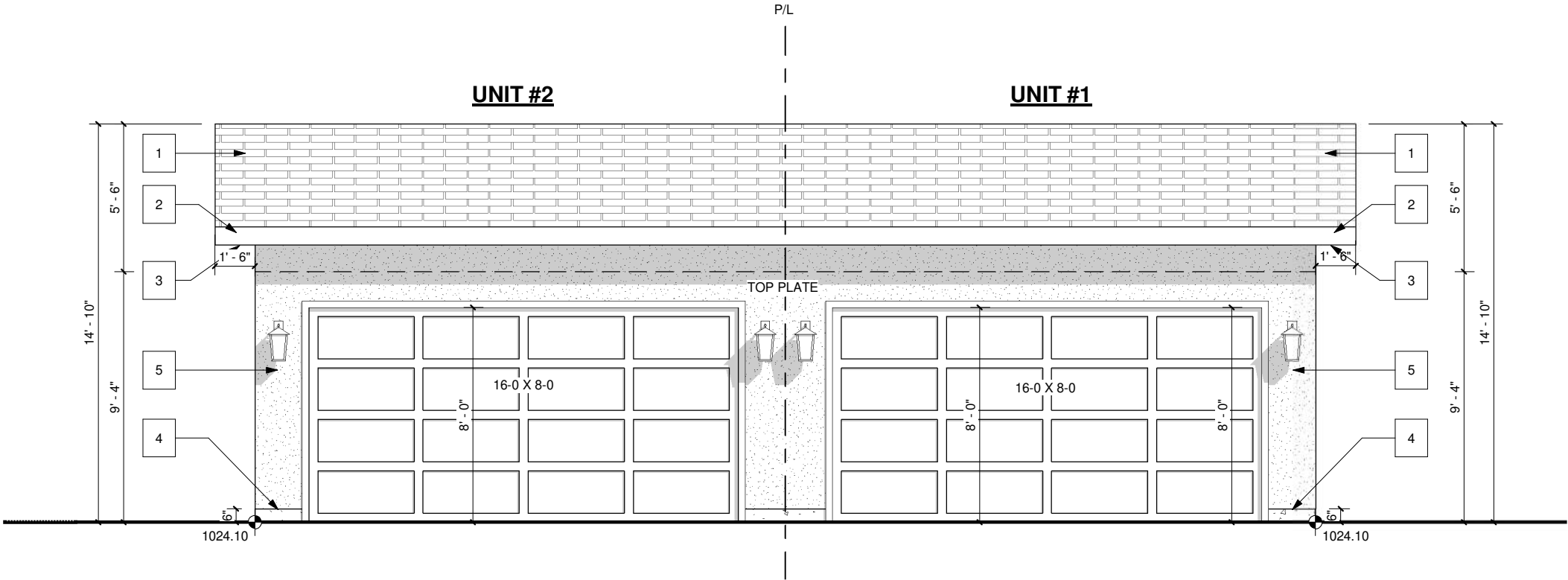
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

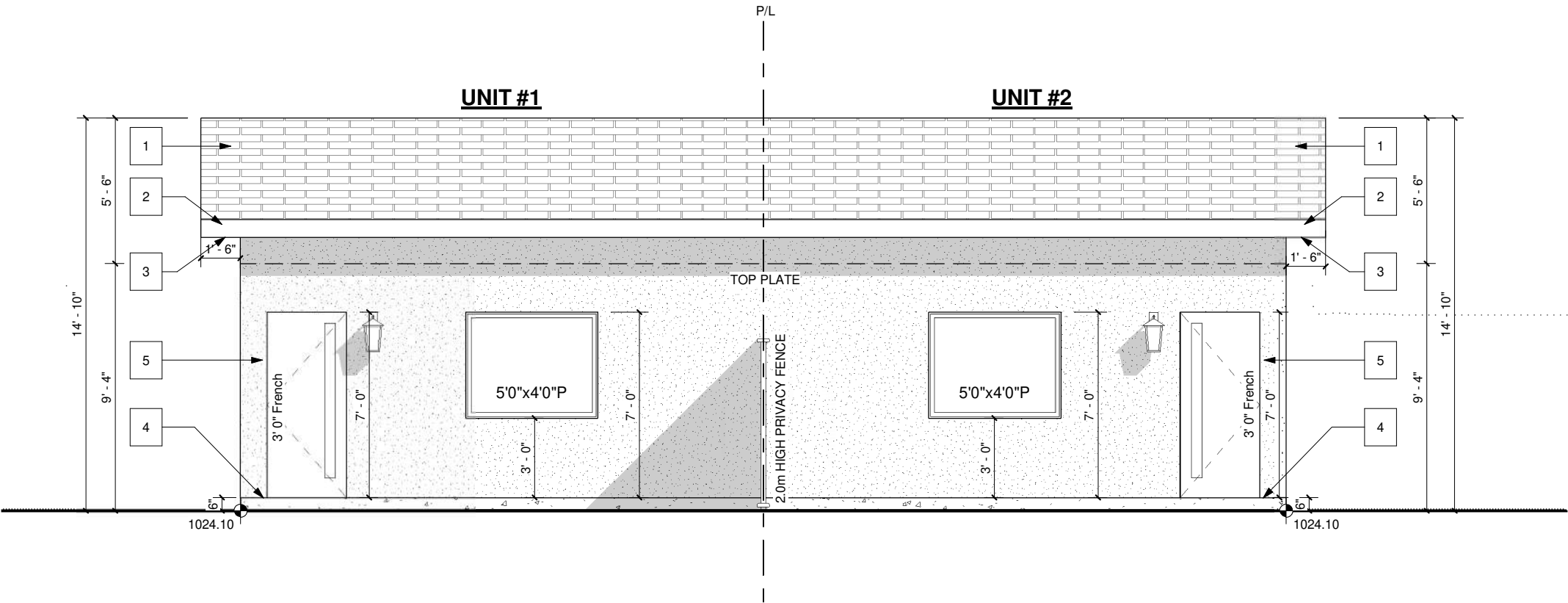
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

SIDING FINISH



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

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ISSUES:

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PROJECT:
DUPLEX + SUITES

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-10 3:20:44 PM

PROJECT NAME:
7421 21A ST SE
CALGARY, ALBERTA

DESIGNER: JT JOB #: 316-26

SCALE: AS SHOWN SHEET: A-3.1

EXTERIOR FINISHES:

- 1

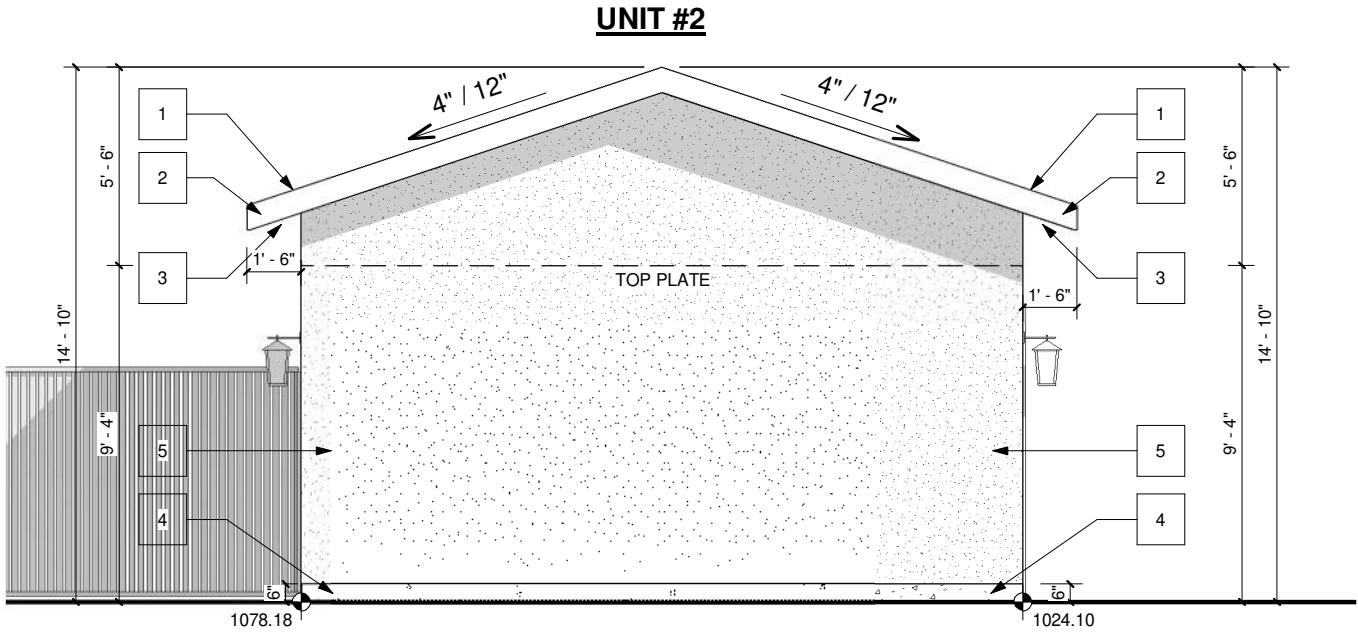
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

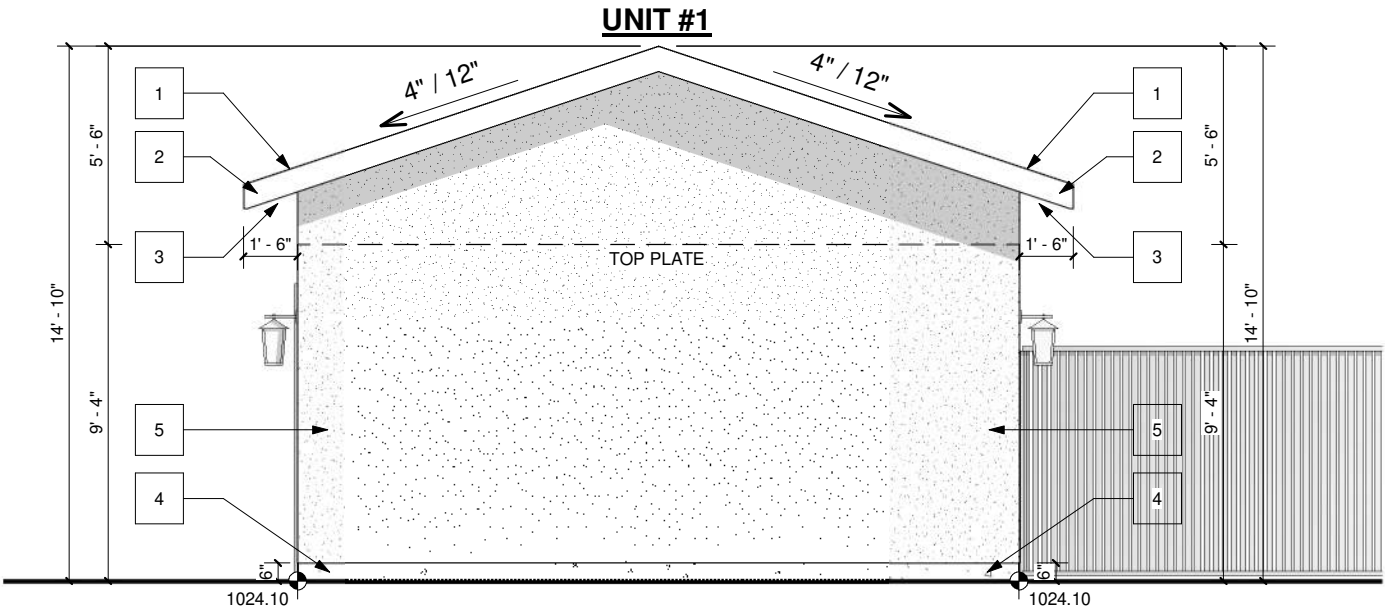
ALUMINUM EAVE'S
- 4

CONC. PARGING
- 5

SIDING FINISH



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

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PROJECT:
DUPLEX + SUITES

STATUS: -

SIGNATURES:
X _____

PRINTED: 2026-07-10 3:20:45 PM

PROJECT NAME:
7421 21A ST SE
CALGARY, ALBERTA

DESIGNER: JT	JOB #: 316-26
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SCALE: AS SHOWN	SHEET: A-3.2
--------------------	-----------------

SITE PLAN

LEGEND

ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\blacksquare$ ----- denotes Calculation points
- $\boxtimes$ ----- denotes Water Valve
- $\blacklozenge$ ----- denotes Gas Valve
- $\odot$ ----- denotes Manhole
- $\odot$ ----- denotes Tree
- $\bullet$ ----- denotes Power Pole
- $\triangle$ ----- denotes Sign
- $\odot$ ----- denotes Light Standard
- X--- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- E--- denotes Electrical Line
- A.G.T--- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows

- $\square$ ----- denotes Shed Hatch
- $\square$ ----- denotes Detached Garage Hatch
- $\square$ ----- denotes Main Building Hatch
- $\square$ ----- denotes Concrete and Asphalt Hatch
- $\square$ ----- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall
'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade Oriented Infill

SCALE 1:200

LEGAL DESCRIPTION:

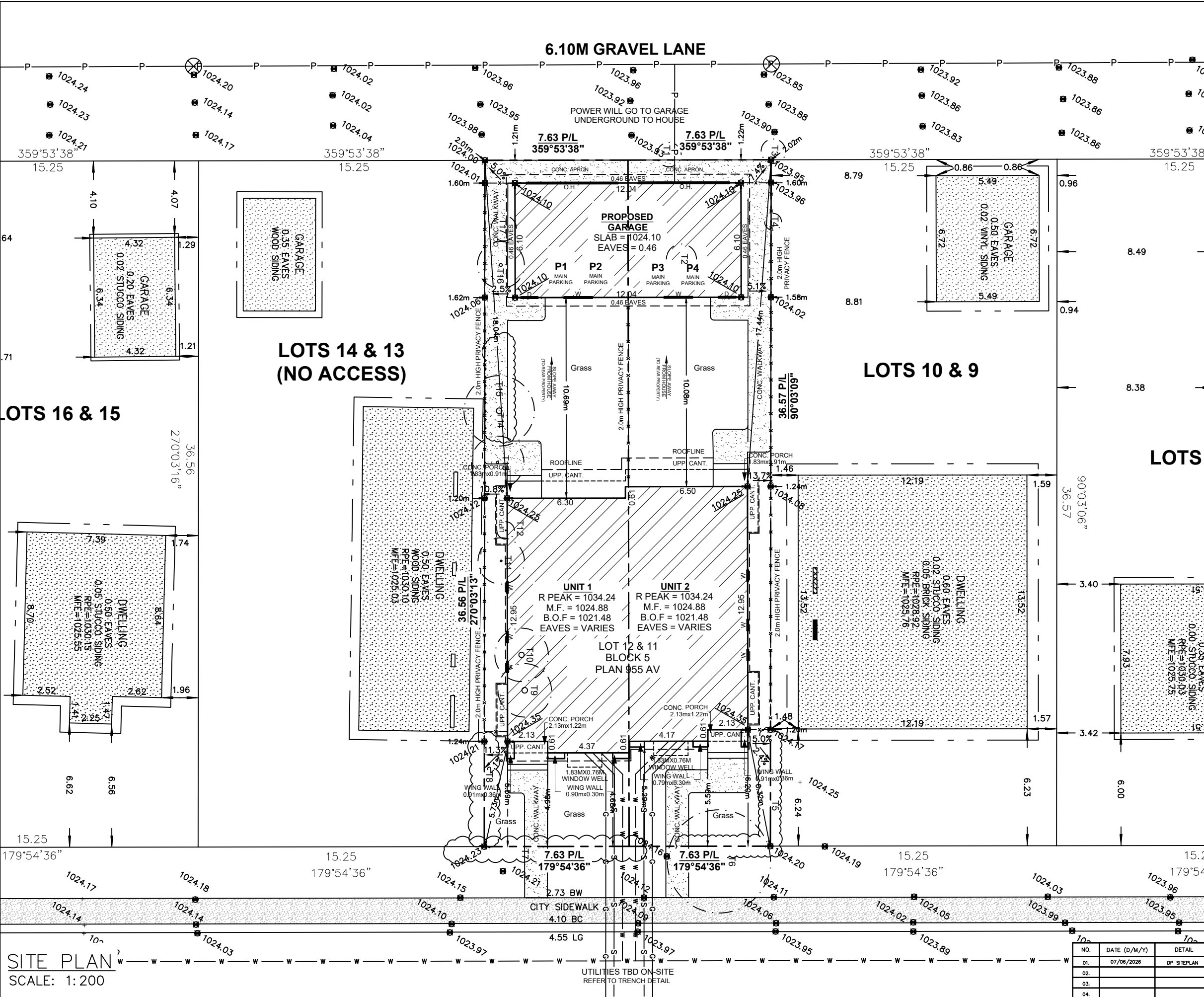
Lot 12 & 11
Block 5
Plan 955 AV

MUNICIPAL ADDRESS:

7421 21A STREET S.E.
Calgary, Alberta

LOT COVERAGE DETAIL: (SINGLE LOT AND HOUSE)	LOT COVERAGE DETAIL: (UNIT #1)	LOT COVERAGE DETAIL: (UNIT #2)
LOT SIZE: 557.146 SQ M HOUSE SIZE: 171.158 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M GARAGE: 73.393 SQ M WING WALL: 1.680 SQ M	LOT SIZE: 278.573 SQ M HOUSE SIZE: 85.579 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M GARAGE: 36.697 SQ M WING WALL: 0.84 SQ M	LOT SIZE: 278.573 SQ M HOUSE SIZE: 85.579 SQ M COVERED PORCH: 0.000 SQ M CANT.: 0.000 SQ M GARAGE: 36.697 SQ M WING WALL: 0.84 SQ M
= 246.231/557.146 = 44.20%	= 123.116/278.573 = 44.20%	= 123.116/278.573 = 44.20%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	07/06/2026	DP SITEPLAN	D.J.	7421 21A STREET S.E. Calgary, Alberta	NEW HOME	1: 200
02.				Lot 12 & 11 Block 5 Plan 955 AV	DATE:	DIVISION NUMBER
03.					JULY 6th 2026	S 01
04.						



SITE PLAN
SCALE: 1:200

