



The City of Calgary Corporate Properties Group
ENCROACHMENT ADVISORY

An encroachment(s) has been identified on this Real Property Report. Encroachments into City of Calgary property may require authorization to be permitted to remain. Please contact the City of Calgary, Corporate Properties Group at 311 for more information.

- ① Wall encroaches into City of Calgary Road Allowance by 3.17
- ② Wall encroaches into City of Calgary Road Allowance by 0.20

The City of Calgary Development & Building Approvals
CERTIFICATE OF COMPLIANCE

Provided that all of the information shown on this survey plan is accurate the location of the building as shown complies with The City of Calgary Land Use Bylaw 1P2007. This Certificate of Compliance relates only to the building location requirements of the Land Use Bylaw 1P2007 and does not relate to the requirements of any federal, provincial or other municipal legislation nor to the terms or conditions of any easement, covenant, building scheme, agreement or other document affecting the building or land.

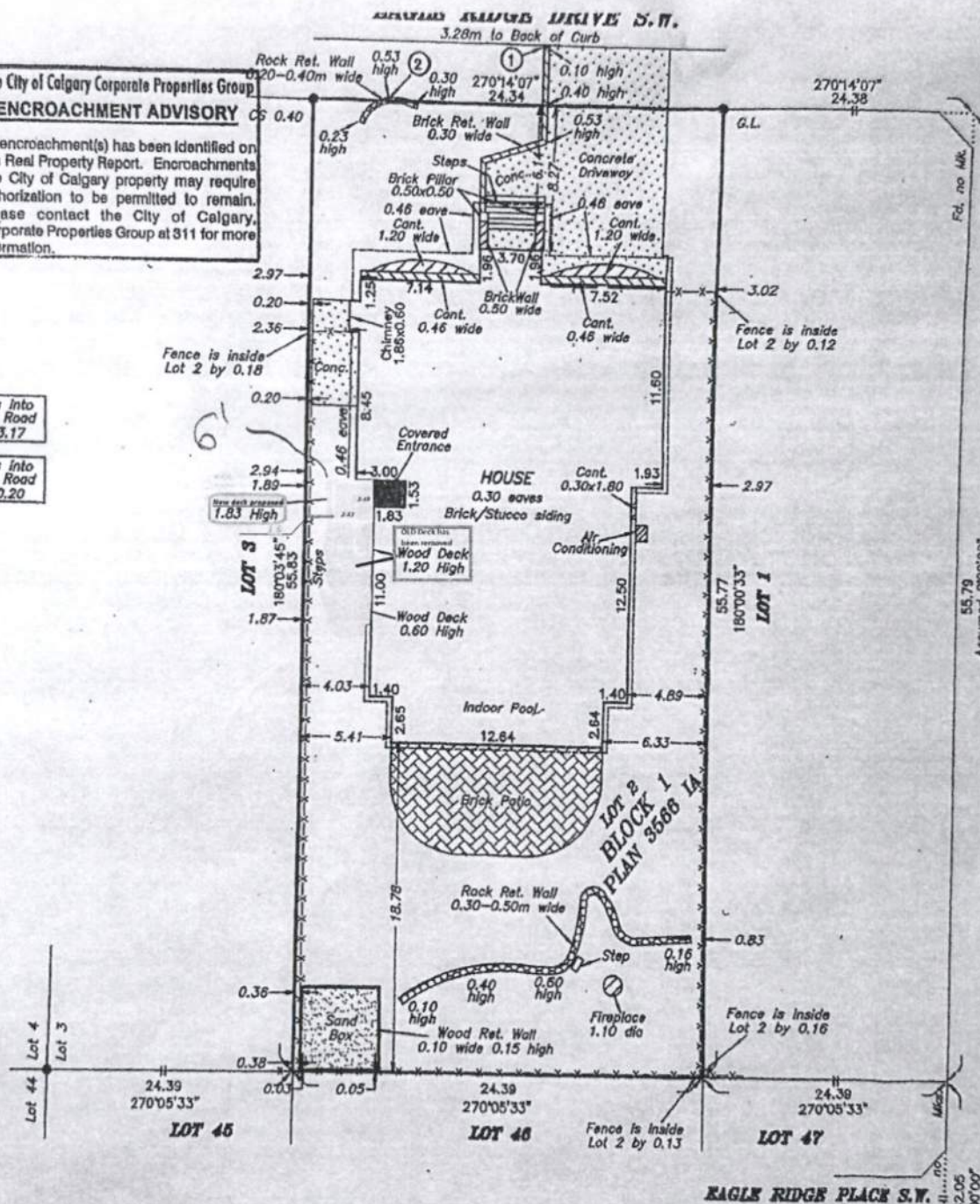
Date: **OCT 15 2008**

Approving Authority: *[Signature]*

LEGEND

ABBREVIATIONS AND SYMBOLS THAT MAY APPEAR ON THIS PLAN

Dist. Hole found shown thus $\times$
Iron Bar found shown thus $\bullet$
Statutory Iron Post found shown thus $\odot$
Delle (Central) angle of arc shown thus $\angle$
Core Facies are shown thus $\cdots$
Fences are shown thus $\cdots$
Line not to scale shown thus $\cdots$
Utility Right-of-Way are shown thus $\cdots$
Building Foundation shown thus $\cdots$
Property line shown thus $\cdots$
A denotes length of arc
B.L. denotes Block
Cont. denotes contour
Cone. denotes concrete
C. denotes east
F.L. denotes found
G.L. denotes ground level
M. denotes metre
M.L. denotes mark
M.A. denotes maintenance Access
M.L. denotes mark
N. denotes north
O.D. denotes Overland Drainage
R. denotes radius of arc
Reg. No. denotes registration number
Rel. Wall denotes retaining wall
R.W. denotes Right-of-Way
S. denotes south
U. denotes Utility
W. denotes west
Fences are within 0.10m of property line unless otherwise noted
Line dimensions to fence



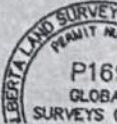
DESCRIPTION

**Lot(s)
Block
Plan**

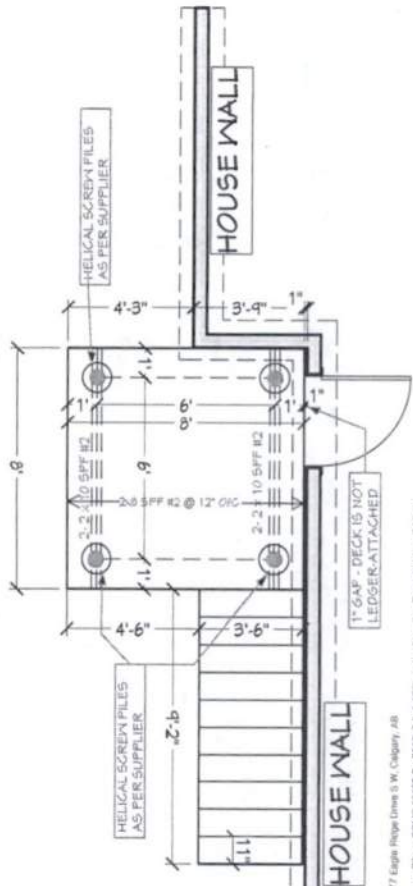
1. Robert M. this Report supervision of the Albi Accordingly I am of the
1. The Plan I Improver Land Survey easements to the pros
2. The Improv property un
3. No viable any improv otherwise n
4. No visible rights-of-w otherwise n
5. Title Inform September
6. Date of Sur
7. Unless othe distances fr of survey.
8. Distances a
9. This docum (in blue ink)
10. Purpose: T Property own for the purp only for the easements a property hav property corr for this repo due to the r user. The inf status of thi encouraged t requirements.
11. Walls on St Road Allow.

EAGLE RIDGE DRIVE S.W.

55.79
Assumed 00'00"



**P161
GLOBAL
SURVEYS**

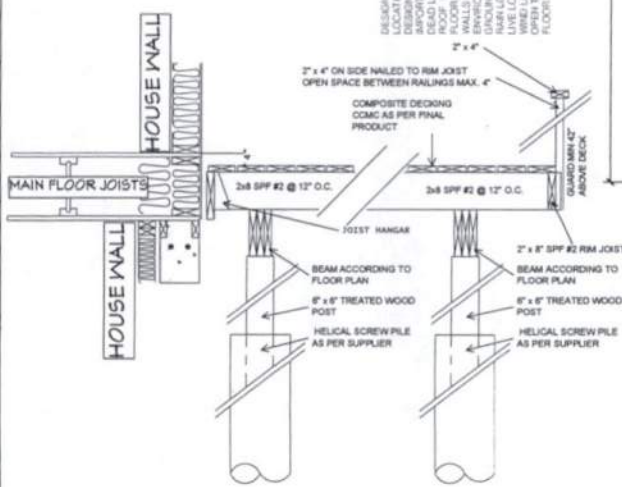


DECK PLAN
Scale 1/4"=1'-0"

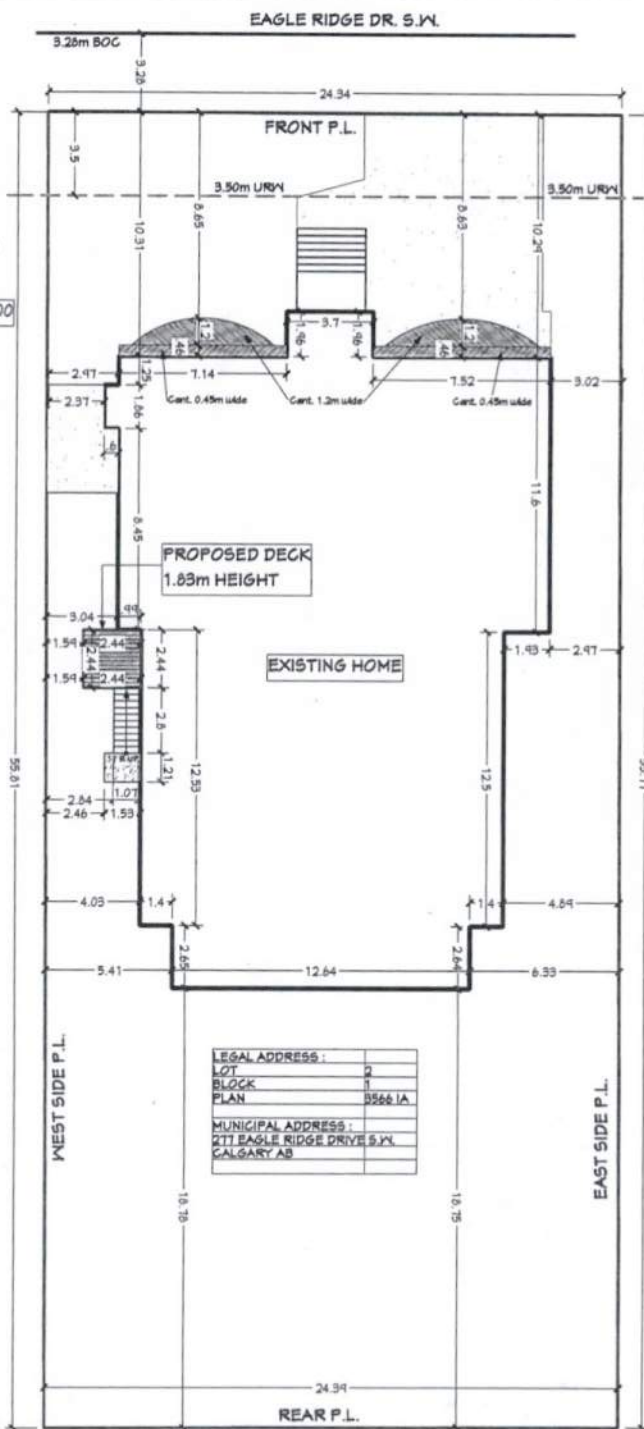


PERMIT TO PRACTISE
S. J. Smith
Date: 2020-11-13
Permit Number: P13334
The Association of Professional Engineers and Geoscientists of Alberta

DESIGN LOADS
LOCATION: AB - Calgary
DESIGN CODE: 2015 National Building Code of Canada
IMPORTANCE CATEGORY: 1 (NORMAL)
DEAD LOADS: 10 PSF
FLOOR LOADS: 40 PSF
WALLS: 0.50 kPa
ENVIRONMENTAL LOADS: 1.1 kPa
RAIL LOADS: 0.1 kPa
LIVE LOADS: 1.1 kPa
WIND LOADS: 1.1 kPa
FLOOR LIVE LOAD: 1.1 kPa



D1 ab' h= ol pp=pb' qll k
SCALE 1/2" = 1'-0"



LEGAL ADDRESS:	
LOT	2
BLOCK	1
PLAN	3566 1A
MUNICIPAL ADDRESS:	
277 EAGLE RIDGE DRIVE S.W.	
CALGARY AB	