



LIST OF DRAWINGS

A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Floor Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-4.0	Garage Plan

PROJECT NOTES:

FLOOR AREA

BASEMENT= 1398.50 SQ. FT.

MAIN = 1398.50 SQ. FT.

UPPER = 1457.50 SQ. FT.

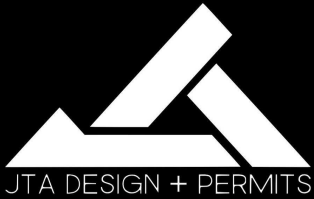
TOTAL = 2856.00 SQ. FT.

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RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
01.	13/07/2026	DP PLAN	S.W.
02.	--	--	--
03.	--	--	--
04.	--	--	--
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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X _____

PRINTED: 2026-07-14 2:53:43 PM

PROJECT NAME:

211 10 Ave N.E.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

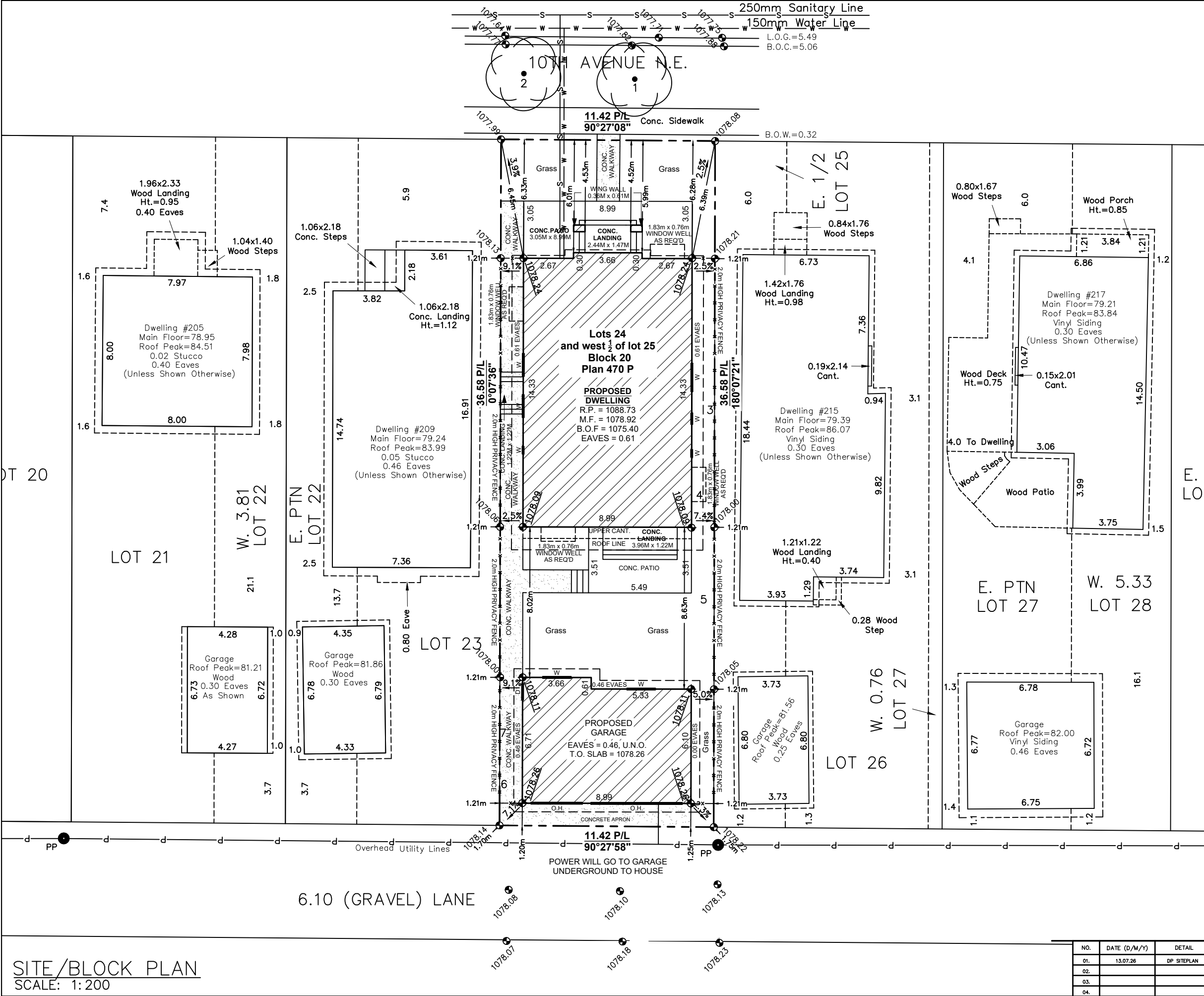
339-26

SCALE:

AS SHOWN

SHEET:

A-0.0



SITE PLAN

1000.00

LEGEND

ELEVATIONS ARE SHOWN THUS: $\blacksquare$ = 1000.00 METRES. (GEODETIC)
DISTANCES ARE IN METRES AND DECIMALS THEREOF.
ELEVATIONS ARE REFERRED TO GEODETIC DATUM
AND ARE DERIVED FROM ASCMS 55269 AND 179085
ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.

THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- $\blacksquare$ ----- denotes Calculation points
- $\boxtimes$ ----- denotes Water Valve
- $\blacklozenge$ ----- denotes Gas Valve
- $\bullet$ ----- denotes Manhole
- $\odot$ ----- denotes Tree
- $\bullet$ ----- denotes Power Pole
- $\triangle$ ----- denotes Sign
- $\odot$ ----- denotes Light Standard
- X-X- denotes Fence
- S- denotes Sanitary Line
- ST- denotes Storm Line
- W- denotes Water Line
- G- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T. Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cant.' denotes Cantilevers
'Enc.' denotes Encroach(es)
'BW' denotes Back of Walkway
'BOW' denotes Bottom of Wall

'Conc.' denotes Concrete
'Ret.' denotes Retaining
'BC' denotes Back of Curb
'TOW' denotes Top of Wall

Disclaimer
The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG Residential
Grade-Oriented Infill

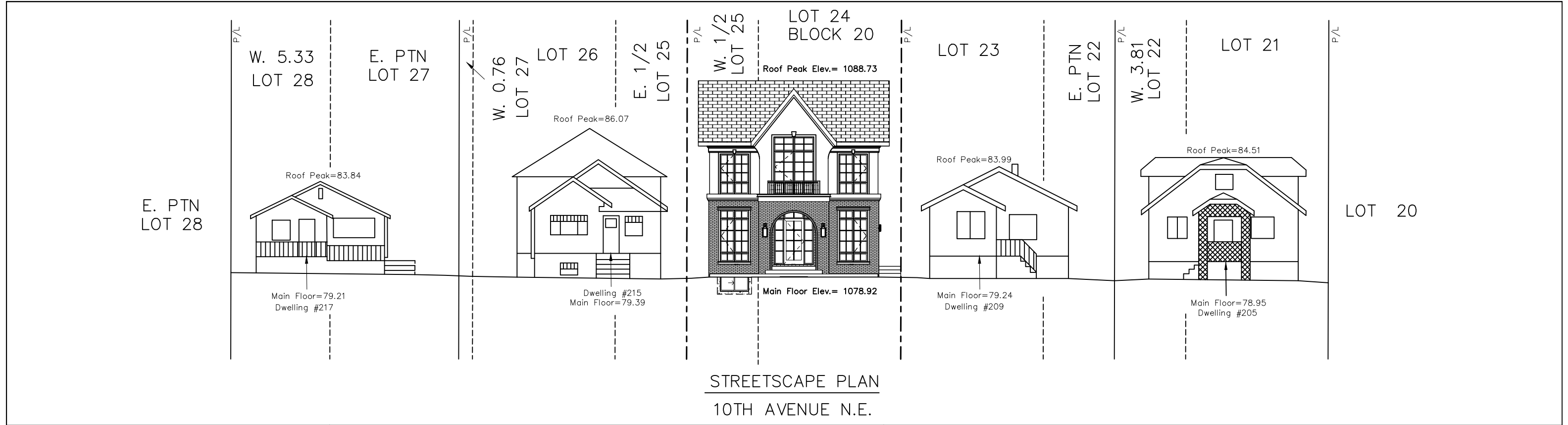
SCALE 1:200

LEGAL DESCRIPTION:
LOTS 24 AND WEST 1/2 OF LOT 25
Block 20
Plan 470 P
MUNICIPAL ADDRESS:
211 - 10TH AVENUE N.E.
Calgary, Alberta

LOT COVERAGE DETAIL:
(SINGLE LOT AND HOUSE)
LOT SIZE: 417.745 SQ M
HOUSE SIZE: 129.925 SQ M
COVERED PORCH: 0.000 SQ M
CANT.: 0.000 SQ M
GARAGE: 57.042 SQ M
WING WALL: 0.434 SQ M
TOTAL: 187.401/417.745
= 44.86%

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
01.	13.07.26	DP SITEPLAN	S.W.	211 - 10TH AVENUE N.E. Calgary, Alberta	SINGLE FAMILY	1: 200
02.				LOTS 24 AND WEST 1/2 OF LOT 25 BLOCK 20 PLAN 470 P	DATE:	DIVISION NUMBER
03.						S 01
04.						

SITE/BLOCK PLAN
SCALE: 1:200

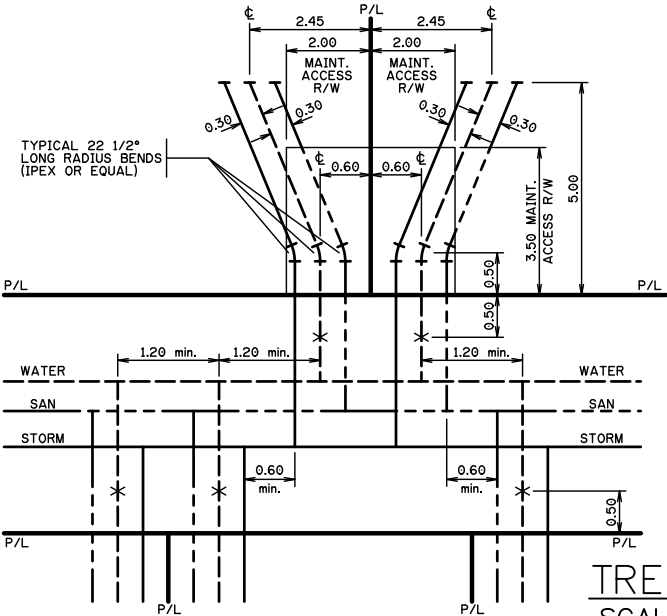


STREETSCAPE PLAN
10TH AVENUE N.E.

SINGLE FAMILY SQFT.

	NEW HOME
BASEMENT	1398.50 SQ FT
MAIN FLOOR	1398.50 SQ FT
UPPER FLOOR	1457.50 SQ FT
TOTAL AREA	2856.00 SQ FT

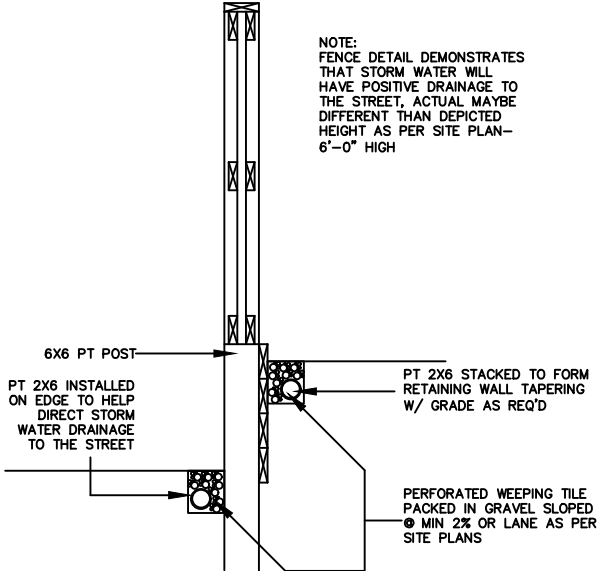
- NOTES:
1. A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
 2. DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
 3. SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
 4. THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
 5. DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
 6. WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
 7. THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
 8. WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



TRENCH DETAIL
SCALE: NTS

TREE DATA

TREE	Type	Canopy	Height	Diameter	Disposition
1	Deciduous	4	6	0.10	To Stay
2	Deciduous	4	3.5	0.25	To Stay
3	Deciduous	14	12	0.80	To be Removed
4	Deciduous	8	12	0.30	To be Removed
5	Deciduous	9	10	0.80	To be Removed
6	Deciduous	8	8	0.25	To be Removed
7	Deciduous	8	8	0.30	To be Removed



FENCE SECTION DETAIL
SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY	PROJECT NAME AND ADDRESS:	PROJECT	SCALE:
01.	13.07.26	DP SITEPLAN	S.W.	211 - 10TH AVENUE N.E. Calgary, Alberta	SINGLE FAMILY	AS SHOWN
02.				LOTS 24 AND WEST ½ OF LOT 25	DATE:	DIVISION NUMBER
03.				BLOCK 20		S 02
04.				PLAN 470 P		

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	3	SMOOTH STUCCO - WHITE	5	BRICK FINISH - COLOR AS SPEC'D	7	CAST IN PLACE CONCRETE
2	8" ALUMNIMUM FASCIA	4	STUCCO FINISH - WHITE	6	CONC. PARGING		

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

PRINTED: 2026-07-14 2:53:45 PM



PROJECT NAME:

211 10 Ave N.E.
CALGARY, ALBERTA

DESIGNER:
JT

JOB #:
339-26

SCALE:
AS SHOWN

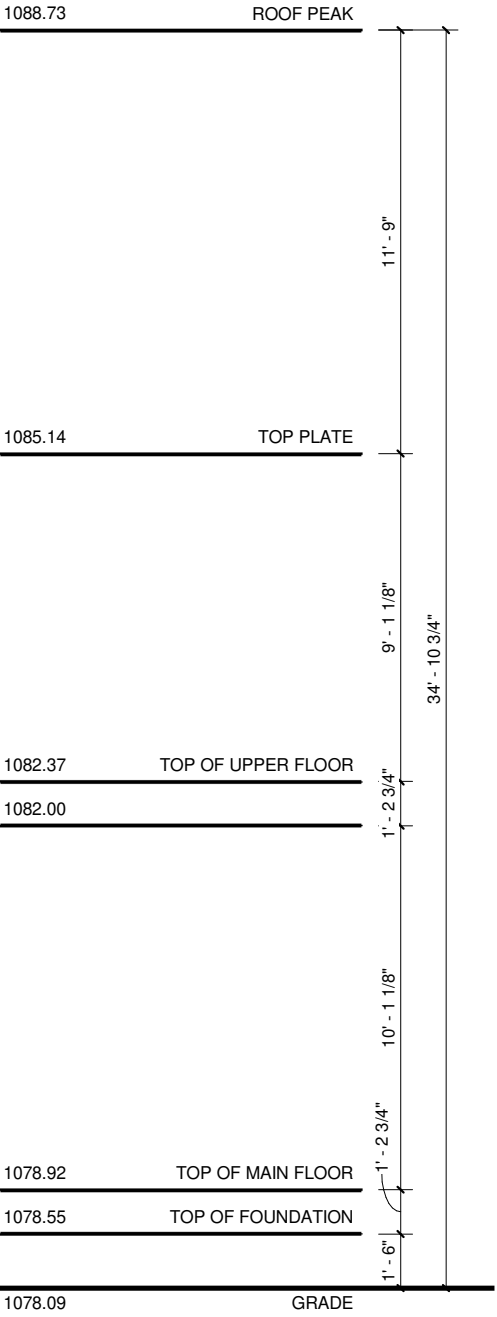
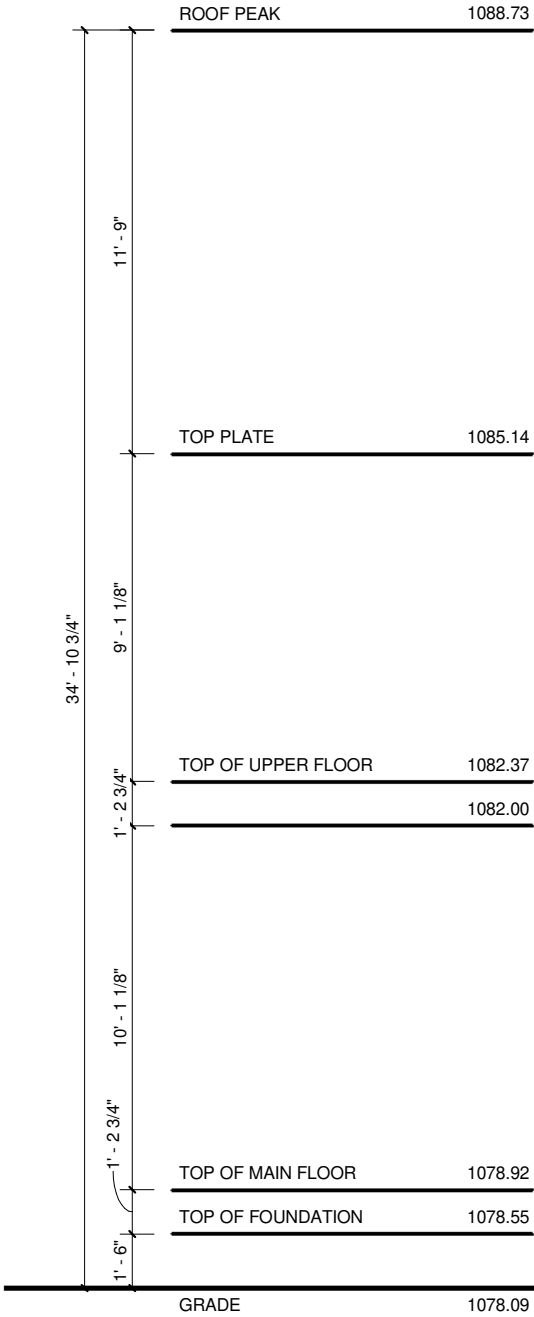
SHEET:
A-2.0

EXTERIOR FINISHES:

1	ASPHALT SHINGLE	3	SMOOTH STUCCO - WHITE	5	BRICK FINISH - COLOR AS SPEC'D	7	CAST IN PLACE CONCRETE
2	8" ALUMNIMUM FASCIA	4	STUCCO FINISH - WHITE	6	CONC. PARGING		

VENTED SOFFIT NOTES:

-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



REAR ELEVATION
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

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PROJECT NAME:

211 10 Ave N.E.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

339-26

SCALE:

AS SHOWN

SHEET:

A-2.1

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 3

SMOOTH STUCCO - WHITE
- 5

BRICK FINISH -
COLOR AS SPEC'D
- 7

CAST IN PLACE
CONCRETE
- 2

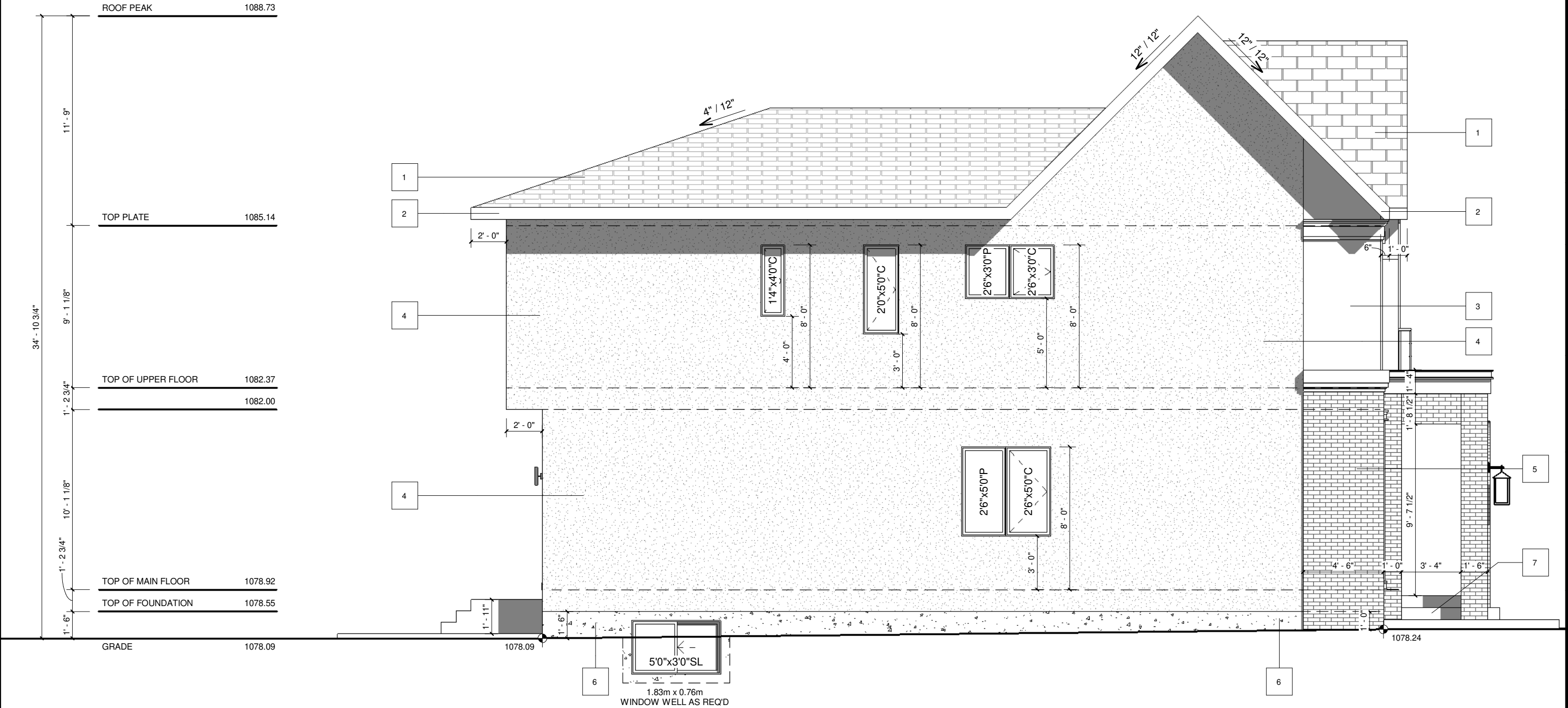
8" ALUMNIMUM FASCIA
- 4

STUCCO FINISH - WHITE
- 6

CONC. PARGING

WINDOW CALCULATION
WALL AREA = 1097.23 SQ. FT.
WINDOW AREA = 62.78 SQ. FT.
TOTAL: 62.78 / 1097.23 = 5.72%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m
(SOFFIT ARE PRE-FIN ALUM)



PROJECT NOTES:

LEFT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

-

SIGNATURES:

X

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PROJECT NAME:

211 10 Ave N.E.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

339-26

SCALE:

AS SHOWN

SHEET:

A-2.2

EXTERIOR FINISHES:

- 1

ASPHALT SHINGLE
- 3

SMOOTH STUCCO - WHITE
- 5

BRICK FINISH - COLOR AS SPEC'D
- 7

CAST IN PLACE CONCRETE
- 2

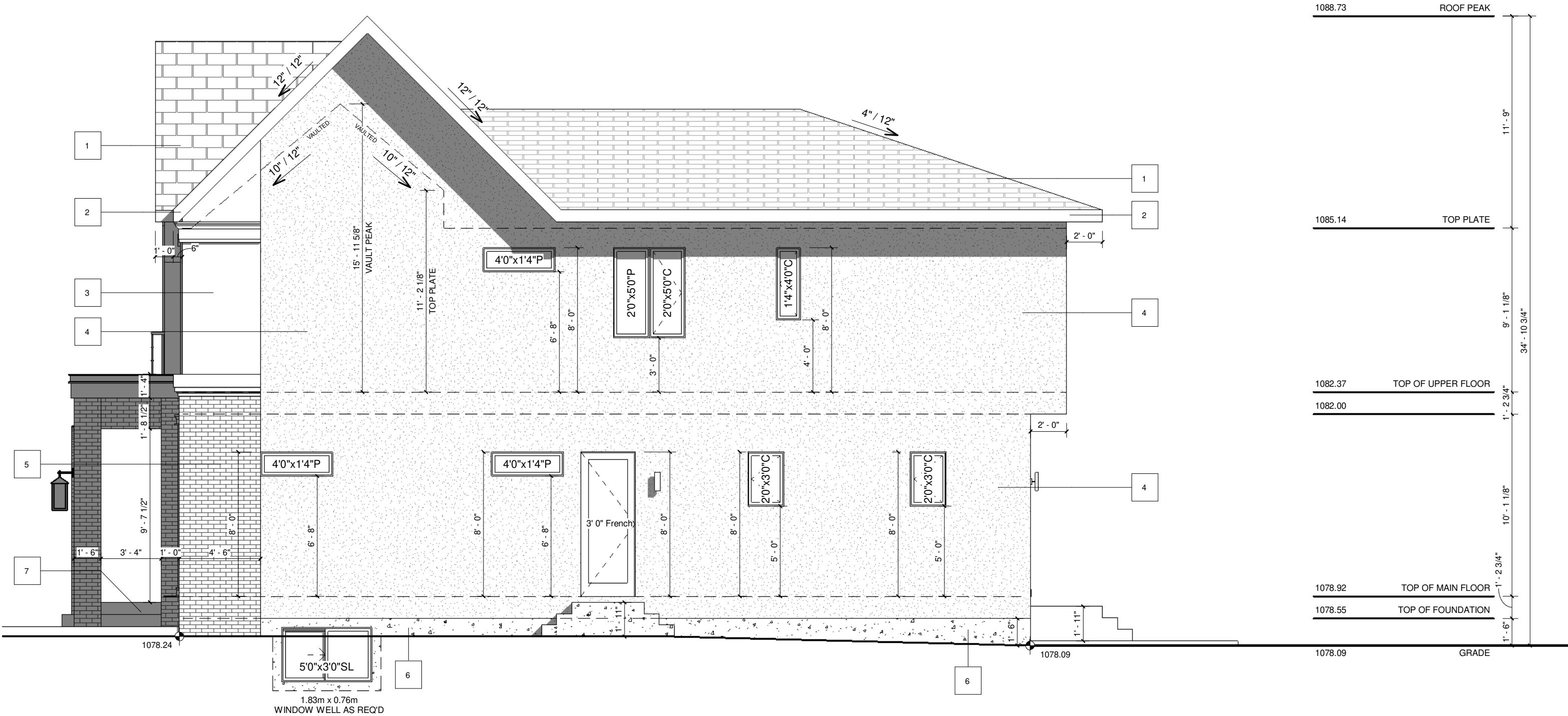
8" ALUMNIMUM FASCIA
- 4

STUCCO FINISH - WHITE
- 6

CONC. PARGING

WINDOW CALCULATION
WALL AREA = 1090.52 SQ. FT.
WINDOW AREA = 74.32 SQ. FT.
TOTAL: 74.32 / 1090.52 = 6.82%

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
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PROJECT NOTES:

RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

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PROJECT:

NEW HOME

STATUS:

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SIGNATURES:

X

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PROJECT NAME:

211 10 Ave N.E.
CALGARY, ALBERTA

DESIGNER:

JT

JOB #:

339-26

SCALE:

AS SHOWN

SHEET:

A-2.3

EXTERIOR FINISHES:

- 1

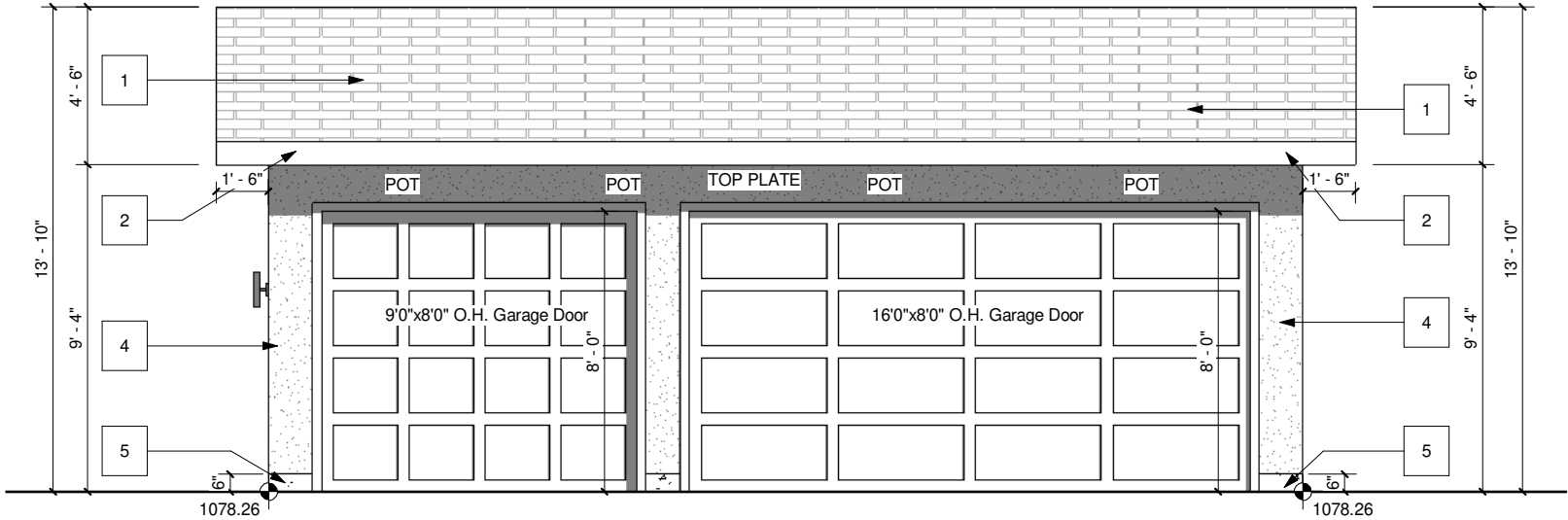
ASPHALT SHINGLES
- 2

8" ALUMNIMUM FASCIA
- 3

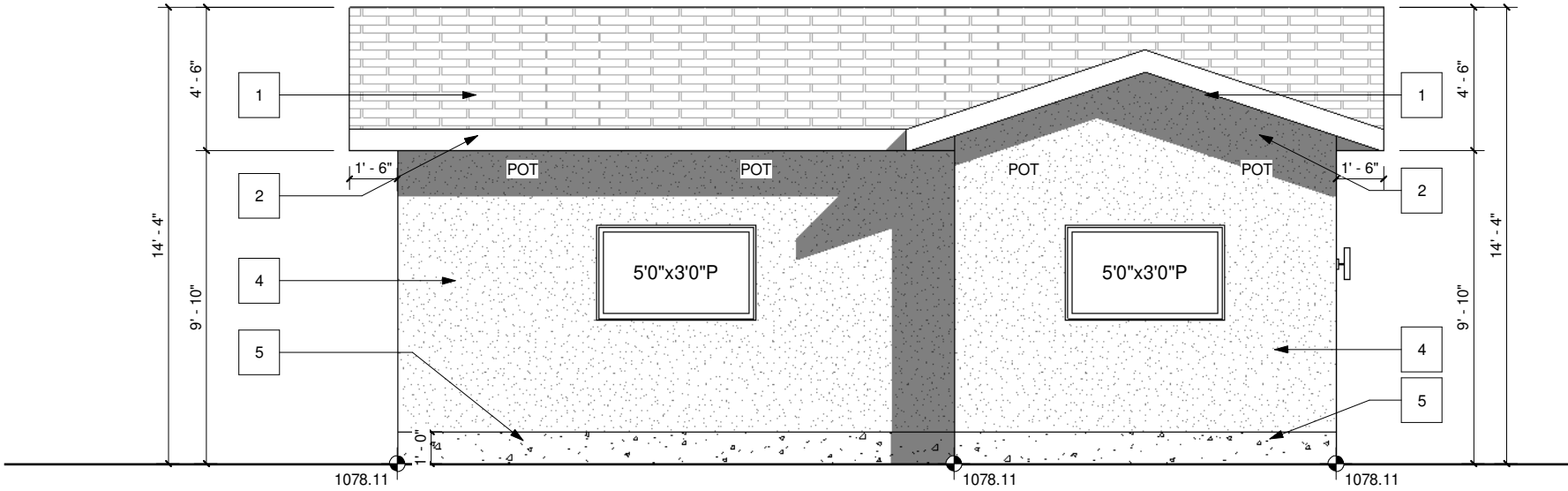
ALUMINUM EAVE'S
- 4

STUCCO FINISH - WHITE
- 5

CONC. PARGING



GARAGE FRONT - BACK LANE
SCALE: 3/16" = 1'-0"



GARAGE REAR
SCALE: 3/16" = 1'-0"

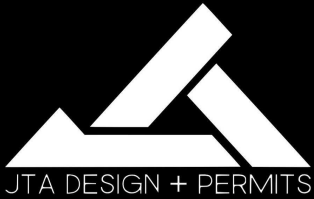
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PROJECT: NEW HOME

STATUS: -

SIGNATURES:
X _____

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PROJECT NAME:
211 10 Ave N.E.
CALGARY, ALBERTA

DESIGNER: JT JOB #: 339-26

SCALE: AS SHOWN SHEET: A-4.1

EXTERIOR FINISHES:

- 1

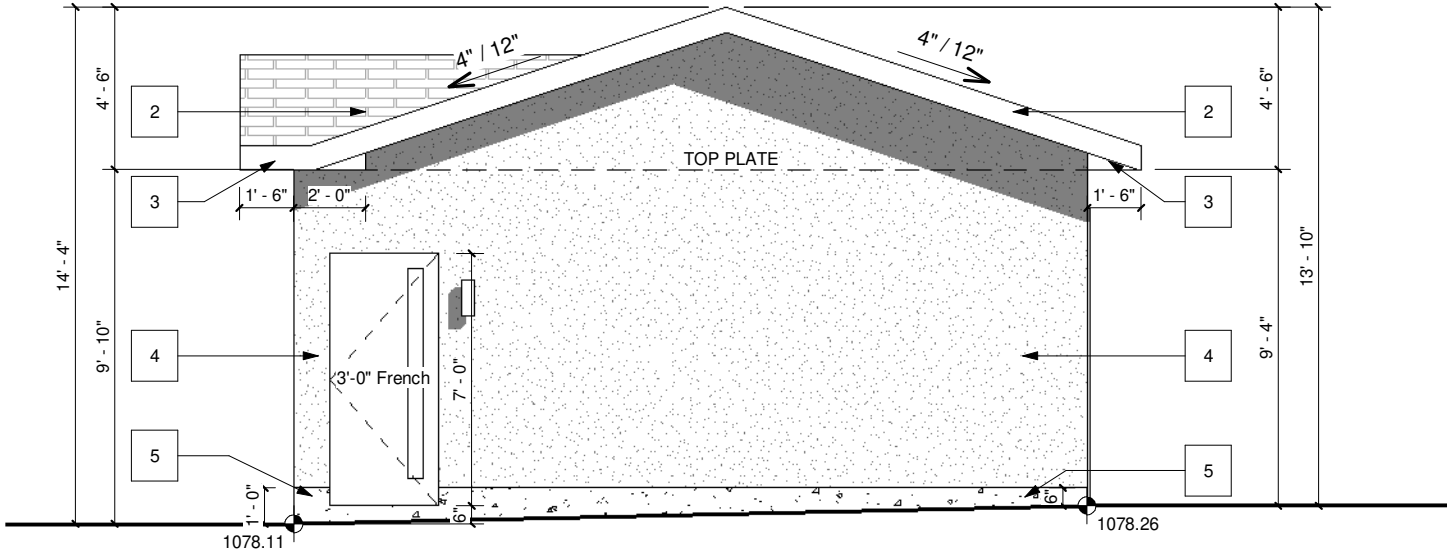
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- 2

8" ALUMNIMUM FASCIA
- 3

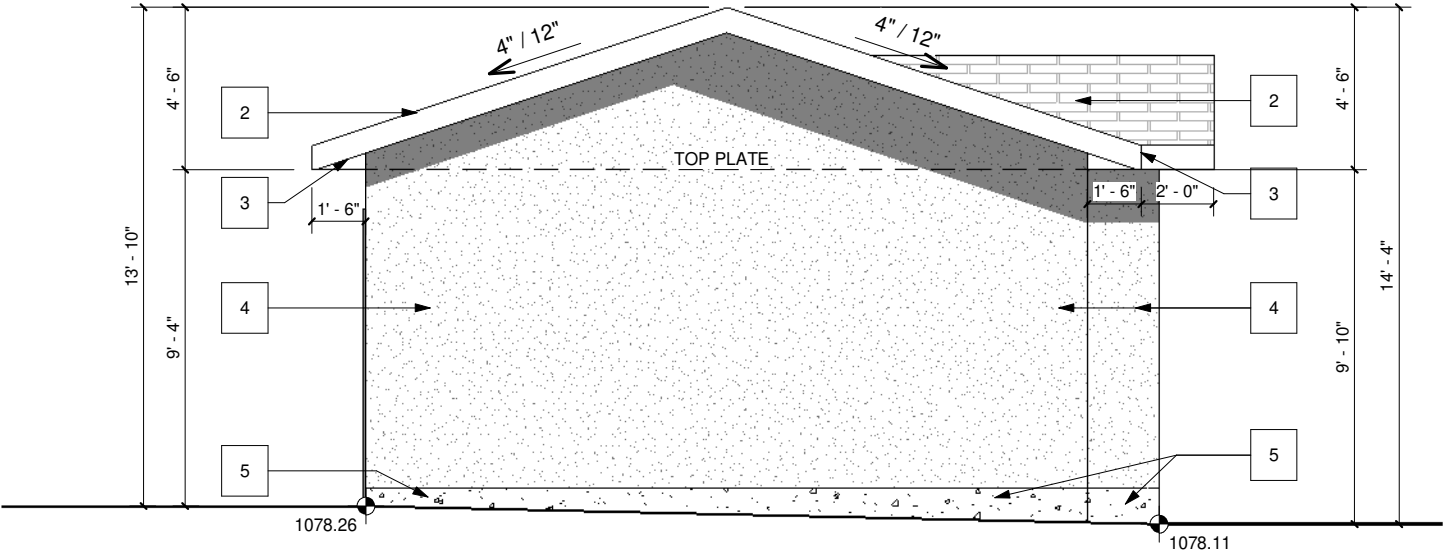
ALUMINUM EAVE'S
- 4

STUCCO FINISH - WHITE
- 5

CONC. PARGING



GARAGE LEFT
SCALE: 3/16" = 1'-0"



GARAGE RIGHT
SCALE: 3/16" = 1'-0"

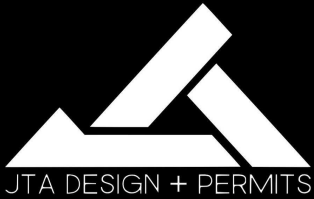
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STATUS: -

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211 10 Ave N.E.
CALGARY, ALBERTA

DESIGNER: JT
JOB #: 339-26

SCALE: AS SHOWN
SHEET: A-4.2