

PROJECT INFORMATION

- DRAWINGS ARE NOT TO BE SCALED
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE
- BUILDER IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS + INFORMATION ON DRAWINGS
- ANY DISCREPANCIES MUST BE REPORTED TO SDP FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- **ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED**
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK

LEGAL ADDRESS:

PLAN: 9311966
BLOCK: 34
LOT: 67

PROPERTY INFORMATION:

LAND-USE DISTRICT = R-CG
YEAR OF CONSTRUCTION = 1994
WALK-OUT = ☐ YES / ☒ NO
FLOOD FRINGE = ☐ YES / ☒ NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = ☐ YES / ☒ NO
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = ☐ YES / ☒ NO
LANLESS LOT = ☒ YES / ☐ NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = ☐ YES / ☒ NO
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING = ☐ YES / ☒ NO
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES = ☒ YES / ☐ NO
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT = ☐ YES / ☒ NO
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) = ☐ YES / ☒ NO
*IF YES: SHOW ON SITE W/ GEODETICS

Drawing List

- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 Project Specific Notes
- A1.0 Site Plan
- A1.1 Public Tree's
- A2.0 Floor Plan
- A2.4 Roof Plan
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A4.0 Sections
- S1.0 Louver Details
- S1.1 Louver Details
- S1.2 Louver (Misc. Details)
- S1.3 Pergola (Solid Roof)



Email: rob@sevendaypermits.ca
Web: www.sevendaypermits.ca

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EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS
CONTACT SEVEN DAY PERMITS FOR ANY QUESTIONS.

GENERAL CONTRACTOR

SUNCOAST



ENCLOSURES™

ENGINEER

PROJECT SCOPE

- ATTACHED PERGOLA
- -
- -

RELAXATIONS

- REAR SETBACK
- -
- -

178 RIVER ROCK CR SE
CALGARY, AB

ATTACHED PERGOLA

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Cover Sheet

Project : 2026-352DP

Scale:

Drawn By: RFC

A0.0



Stair Type	Rectangular Treads, Tapered Treads and Winders	
	Rise, mm	
	Max.	Min.
Private ⁽¹⁾	200	125
Public ⁽²⁾	180	125

Stair Type	Rectangular Treads	
	Run, mm	
	Max.	Min.
Private ⁽¹⁾	355	255
Public ⁽²⁾	No limit	280

NOTE:
ARCHITECTURAL PLANS INCLUDE COLOR SPECIFIC
NOTES/LEGENDS/HATCHES **PLANS MUST BE PLOTTED IN COLOR**



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SITE PLAN HATCH

EXISTING STRUCTURES

CANTILEVER (MAIN)

CANTILEVER (2nd)

EXISTING DECK

EXISTING BALCONY

EXISTING PORCH

DRIVEWAY / SIDEWALK

PROPOSED (PRIMARY)

PROPOSED (SECONDARY)

PROPOSED NEW OPENING

WALL LEGENDS

EXTERIOR WALL LEGEND:

EXISTING WALL

PROPOSED WALL

RATED WALL

GARAGE COMMON WALL

BACKYARD SUITE COMMON WALL

TALL WALL

SPRAY FOAM WALL

INTERIOR WALL LEGEND:

EXISTING WALL

PROPOSED WALL

BARING WALL

PLUMBING WALL

SUITE SEPARATION WALL

WALL + DOOR TAGS

DOOR TAG

(EXISTING)

32.00"

WIDTH

HEIGHT

(PROPOSED)

2'-8"
6'-8"

WIDTH

HEIGHT

WINDOW TAG

(EXISTING)

48.00"
30.00"

WIDTH

HEIGHT

(PROPOSED)

4'-0"
2'-6"

WIDTH

HEIGHT

LINE STYLES

PROPERTY LINE

SITE SETBACKS

EAVES

ELECTRICAL PLAN

BEAM

FURNITURE

DEMO

ROW'S

REVISIONS

1

PROJECT SCOPE

CALLOUT LEGEND

W1

CONCRETE WALL ASSEMBLY

W2

EXTERIOR WALL ASSEMBLY

W3

INTERIOR WALL ASSEMBLY

W4

DETACHED GARAGE ASSEMBLY

F1

CONCRETE FLOOR ASSEMBLY

F2

ENGINEERED FLOOR ASSEMBLY

F3

BALCONY FLOOR ASSEMBLY

F4

DIMENSIONAL FLOOR ASSEMBLY

F5

SUITE FLOOR ASSEMBLY

R1

ENGINEERED ROOF ASSEMBLY

R2

ENGINEERED FLAT-ROOF ASSEMBLY

R3

DIMENSIONAL FLAT-ROOF ASSEMBLY

R4

ROOF ASSEMBLY (NON 9.36)

TEXT STYLES

TYPICAL NOTES

NEW CHANGES

STRUCTURAL NOTES

P.ENG COMMENTS

DEMOLITION NOTES

ELEVATION CALLOUT

ROOM DESIGNATION

EXISTING GEO

PROPOSED GEO

EXISTING / AS-BUILT NOTES

DIMENSION STYLES

0' - 2"

INTERIOR (EXISTING)

0' - 2"

INTERIOR (PROPOSED)

0.17 m

AS-BUILT MEASUREMENTS

0' - 2"

STRUCTURE

0' - 2"

DEMOLITION

0' - 2"

(0.05m)

SITE (EXISTING)

0' - 2"

(0.05m)

SITE (PROPOSED)

0' - 2"

(0.05m)

SITE (SPATIAL SEPARATION)

0' - 2"

(0.05m)

SITE (BYLAW)

Drawing Legends

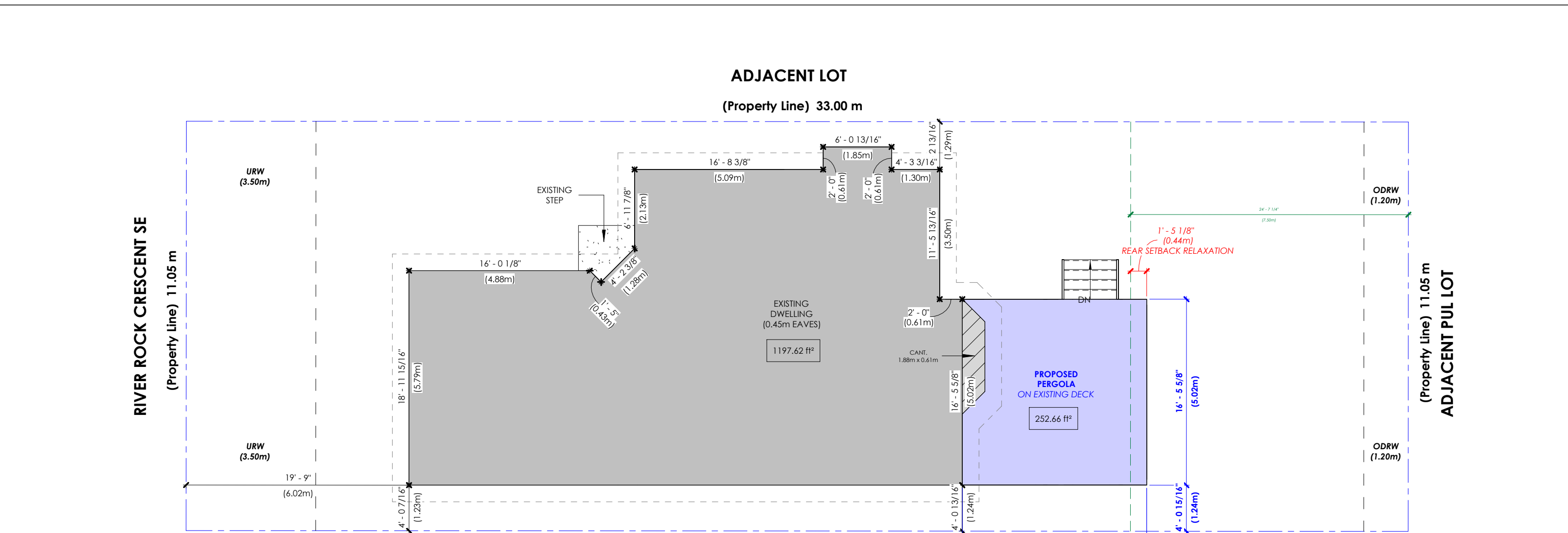
Project : 2026-352DP

Scale: As indicated

Drawn By: RFC

A0.1

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PARCEL COVERAGE:

PARCEL AREA	=	3925.06 ft²
EXISTING:		
DWELLING	=	1197.62 ft²
GARAGE	=	0.00 ft²
ACCESSORY	=	0.00 ft²
COVERED DECK	=	0.00 ft²
PORCH	=	0.00 ft²
BALCONY	=	0.00 ft²
PARKING STALLS	=	#0
EX. TOTAL	=	1197.62 ft²
EX. COVERAGE	=	30.51 %
BYLAW MAX (%)	=	45 %
REMAINING PERMITTED	=	568.66 ft²

PROPOSED:

NEW AREA	=	252.66 ft²
NEW PARKING STALLS	=	#0
NEW PARKING AREA	=	0 ft²
NEW TOTAL AREA	=	1450.28 ft²
NEW REMAINING	=	316.00 ft²
RELAXATION (%)	=	-17.89 %
PARCEL COVERAGE	=	36.95 %

NOTE:
• ALL MATERIAL STORAGE ON SITE
• SITE ACCESS FROM ROAD OR LANE AS APPLICABLE
• ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED
• BUILDER TO CONFIRM ALL MEASUREMENTS PRIOR TO CONSTRUCTION
• BUILDER TO CONFIRM ROOF SLOPE AND HEEL HEIGHT PRIOR TO CONSTRUCTION (IF APPLICABLE)

NOTE:
PROPERTY LINE VALUES AND EXISTING SITE INFORMATION TO BE CONFIRMED PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS PLAN ACQUIRED FROM SUPPLIED RPR/SURVEY

1 Site
1 : 100



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ENGINEER



GENERAL CONTRACTOR

178 RIVER ROCK CR SE
CALGARY, AB

ATTACHED PERGOLA

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Site Plan
Project : 2026-352DP
Scale: 1 : 100
Drawn By: RFC
A1.0

RIVER ROCK CRESCENT SE

ADJACENT LOT

(Property Line) 33.00 m

(Property Line) 11.05 m

ADJACENT PUL LOT

(Property Line) 33.00 m

ADJACENT LOT

Trunk Diameter (CM): 15
Scientific Name: PRUNUS VIRGINIANA
Size at Maturity: SMALL
Maintained by: CALGARY PARKS
Tree ID #: T-32009884

PUBLIC TREE PROTECTION
1.20m HIGH FENCE &
4.00m FROM TRUNK

PROPOSED
PERGOLA
ON EXISTING DECK

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1 Public Trees
1 : 100



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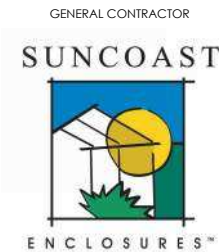
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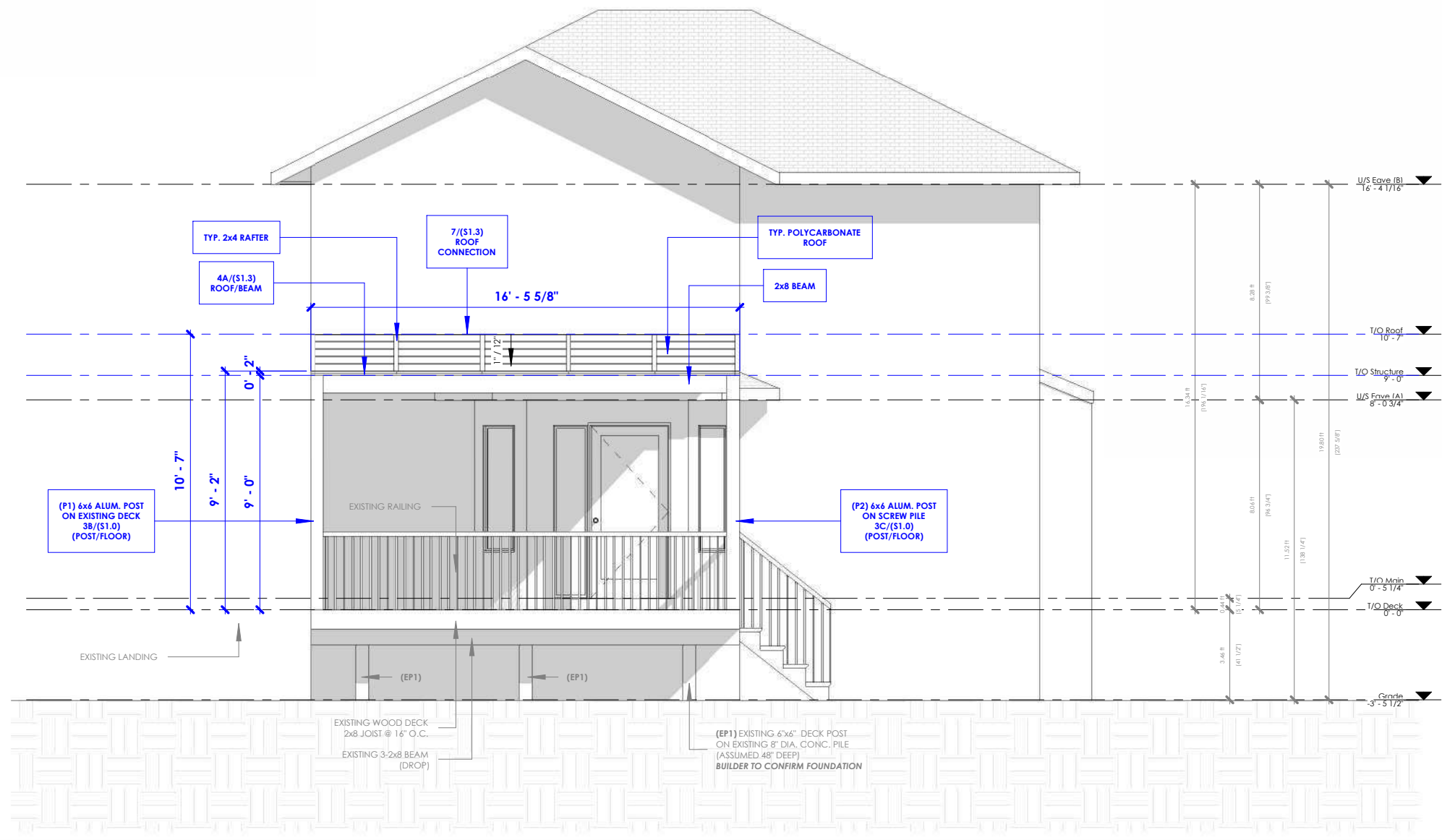
Public Tree's

Project : 2026-352DP

Scale: 1 : 100

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A1.1



1 Rear Elevation
3/16" = 1'-0"



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ENGINEER



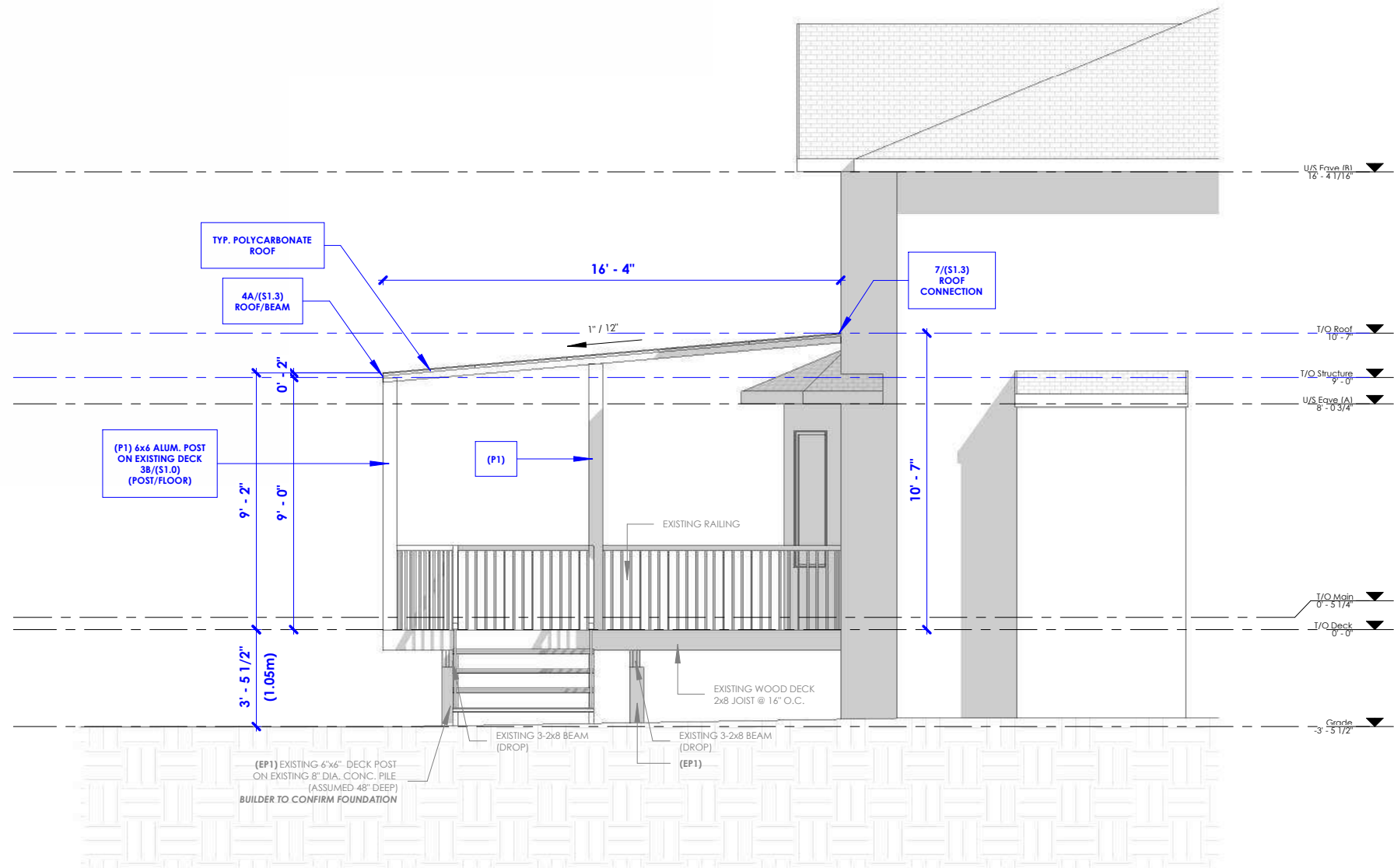
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Elevations	
Project :	2026-352DP
Scale:	3/16" = 1'-0"
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A3.0	



1 Left Elevation
3/16" = 1'-0"



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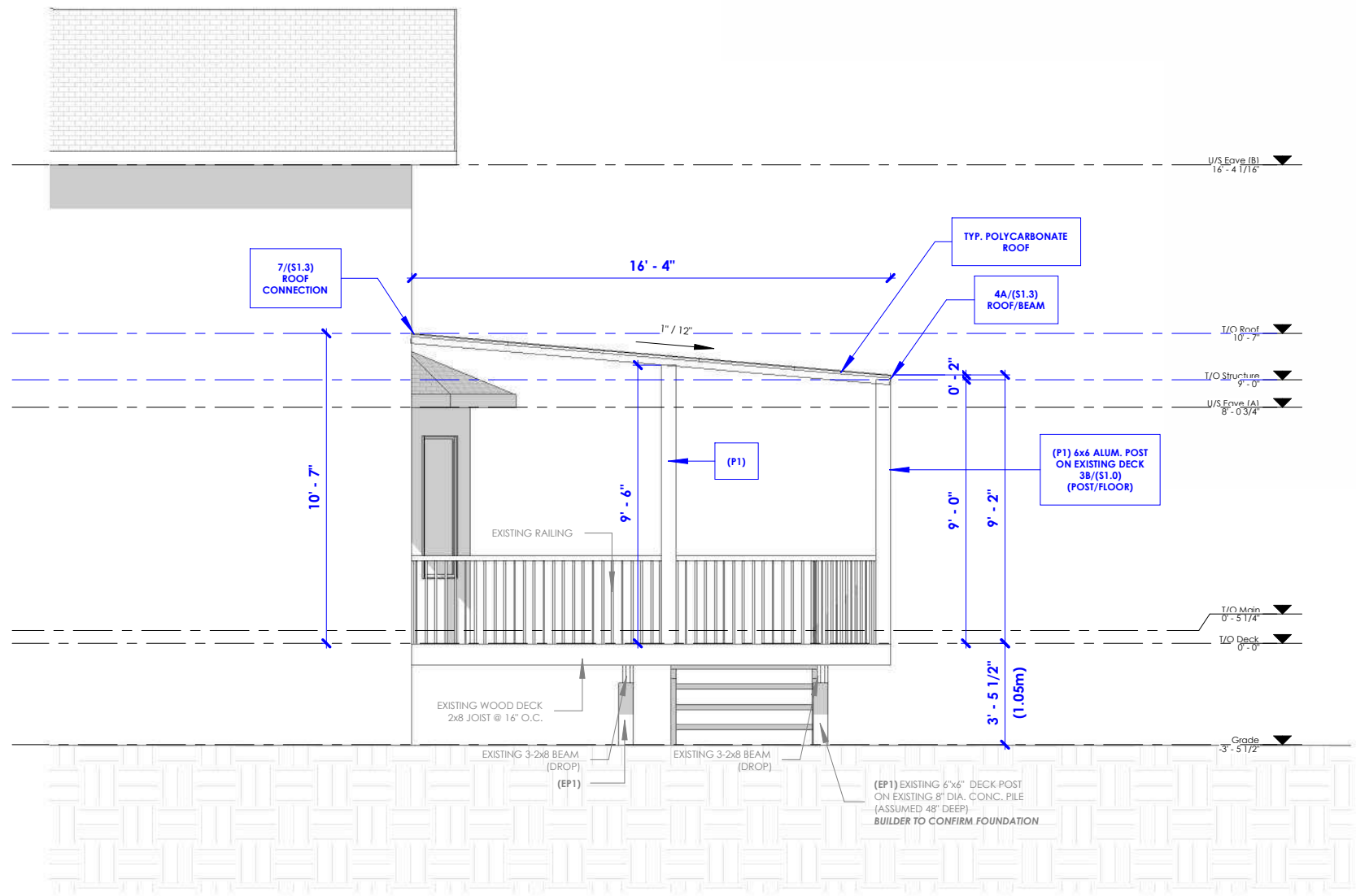
Elevations

Project : 2026-352DP

Scale: 3/16" = 1'-0"

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A3.1



1 Right Elevation
3/16" = 1'-0"



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Elevations	
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A3.2