

NOTE



EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

FASCIA
SOFFIT
RAINWARE

ASPHALT - DUAL GREY-IKO
STUCCO 1 - WHITE
STUCCO 2 - GREY
ALUMINUM - BLACK
ALUMINUM - BLACK
ALUMINUM - BLACK

BATTENS
SIDING
WINDOWS
MANU. STONE
FRONT DOOR
RAILING

SMARTBOARD - N/A
SMARTBOARD - N/A
ALUMINUM - BLACK
COBLE FIELD - N/A
METAL CLAD - BLACK
ALUMINUM - BLACK

SCALE: 3/16" = 1'-0"

HIGHEST AVERAGE GRADE FRONT = 1079.03
HIGHEST AVERAGE GRADE REAR = 1078.67
HIGHEST AVERAGE GRADE +1.00 = 1079.35
HIGHEST AVERAGE GRADE +1.00 + 8.60 = 1080.03
MAXIMUM HEIGHT = 1088.63
DIFFERENCE IN SLOPE FRONT TO BACK = 0.36m

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
MIN. PERFORMANCE GRADE (PG) ^B :	25
MIN. POSITIVE DESIGN PRESSURE:	1 200Pa
MIN. NEGATIVE DESIGN PRESSURE:	1 200Pa
MIN. WATER PENETRATION TEST PRESSURE:	260Pa
MIN. CANADIAN AIR INFILTRATION/EXFILTRATION ^C :	A2
MAX. 'U' VALUES W/(M2xK)	
WINDOWS & DOORS:	1.6
(MIN. ENERGY RATING)	25
SKYLIGHTS:	2.7

CONTRACTOR TO
VERIFY ALL
DIMENSIONS PRIOR
TO START AND
REPORT ERRORS TO
DESIGNER FOR
CORRECTION.

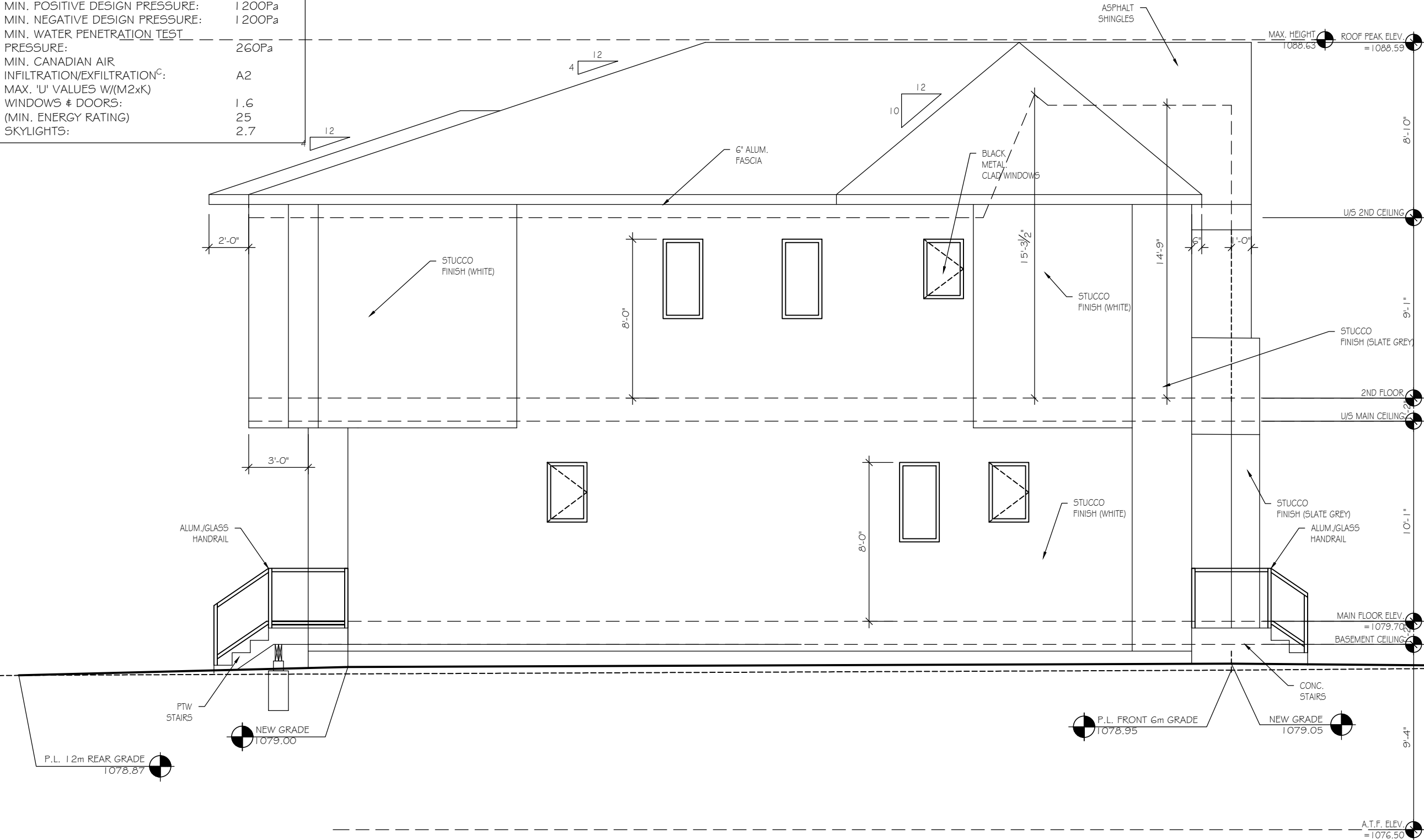
DRAWN BY:	MEA	SPECIFICATION:	CUSTOM
DATE:	JULY/26	MAIN AREA:	1842 SQ.FT.
SCALE:	3/16"=1'-0"	SECOND AREA:	2040 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1530 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3880 SQ.FT.

MODEL: CUSTOM SEMI-DETACHED DWELLING
CLIENT: PRIVATE RESIDENCE
LOT: 3 BLOCK: 7 PLAN: 2660AP
ADDRESS: 7937 & 7939 47 N.W.



WINDOW, DOOR & SKYLIGHT REQUIREMENTS

PERFORMANCE CLASS:	R
TERRAIN:	ROUGH
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(MIN. ENERGY RATING)	2.7
SKYLIGHTS:	2.7



RIGHT ELEVATION - EAST

SCALE: 3/16"= 1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

ROOF	ASPHALT - DUAL GREY-IKO	BATTENS	SMARTBOARD - N/A
WALLS	STUCCO 1 - WHITE	SIDING	SMARTBOARD - N/A
	STUCCO 2 - GREY	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE COBLE FIELD - N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

UNPROTECTED OPENINGS

WALL AREA :	1 099.51 sq.ft.
GLAZING AREA ALLOWED (7.00%) :	76.97 sq.ft.
CURRENT GLAZING AREA :	42.00 sq.ft.

UNPROTECTED OPENINGS OPEN TO BELOW AREA

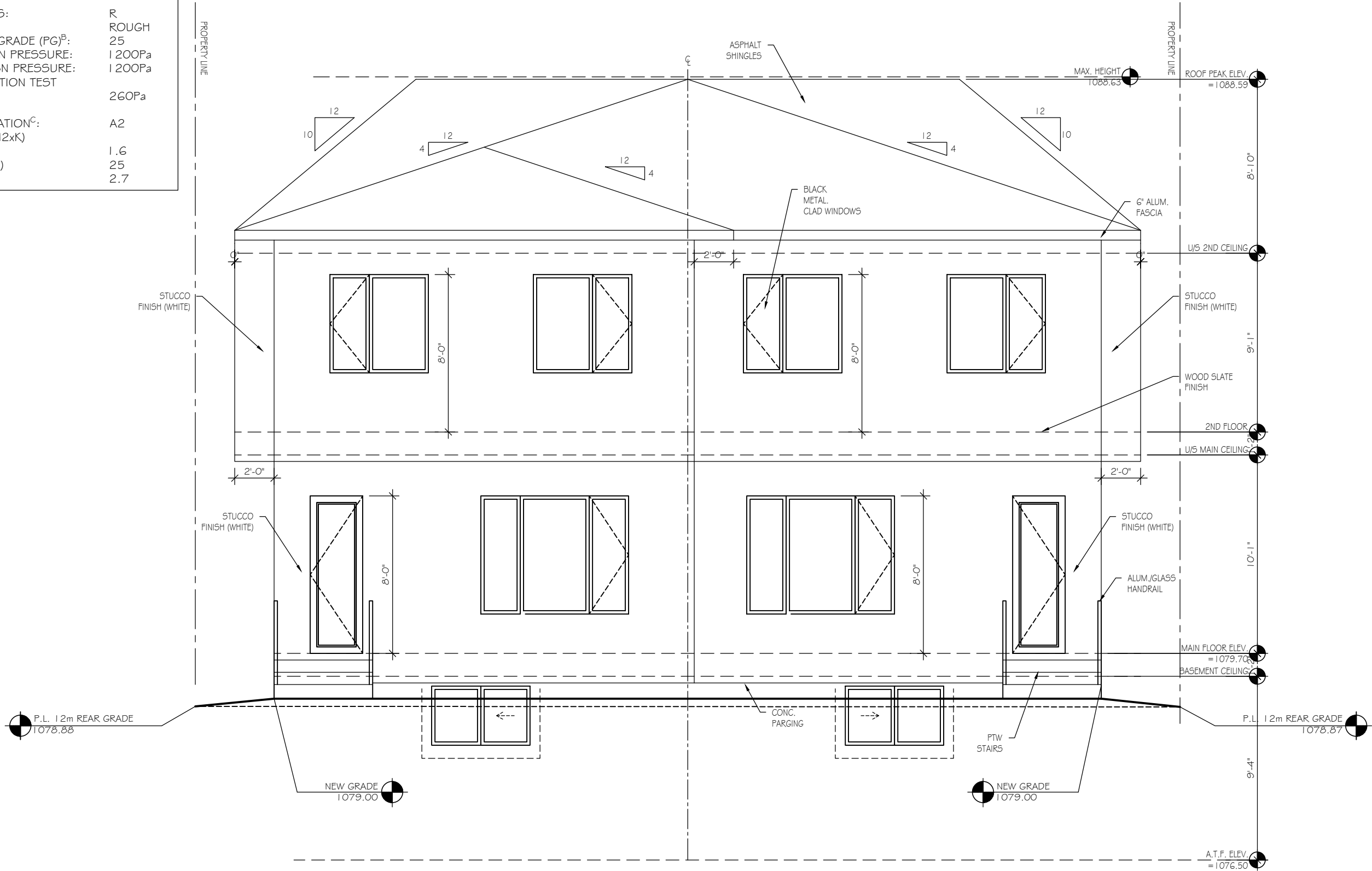
TOTAL GLAZING ALLOWED :	76.97 SQ.FT.
GLAZING AREA ALLOWED (50%) :	38.49 SQ.FT.
CURRENT GLAZING AREA :	16.00 SQ.FT.

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CLIENT:	PRIVATE RESIDENCE
LOT:	3
BLOCK:	7
PLAN:	2660AP
ADDRESS:	7937 & 7939 47 N.W.

WINDOW, DOOR & SKYLIGHT REQUIREMENTS

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REAR ELEVATION - SOUTH

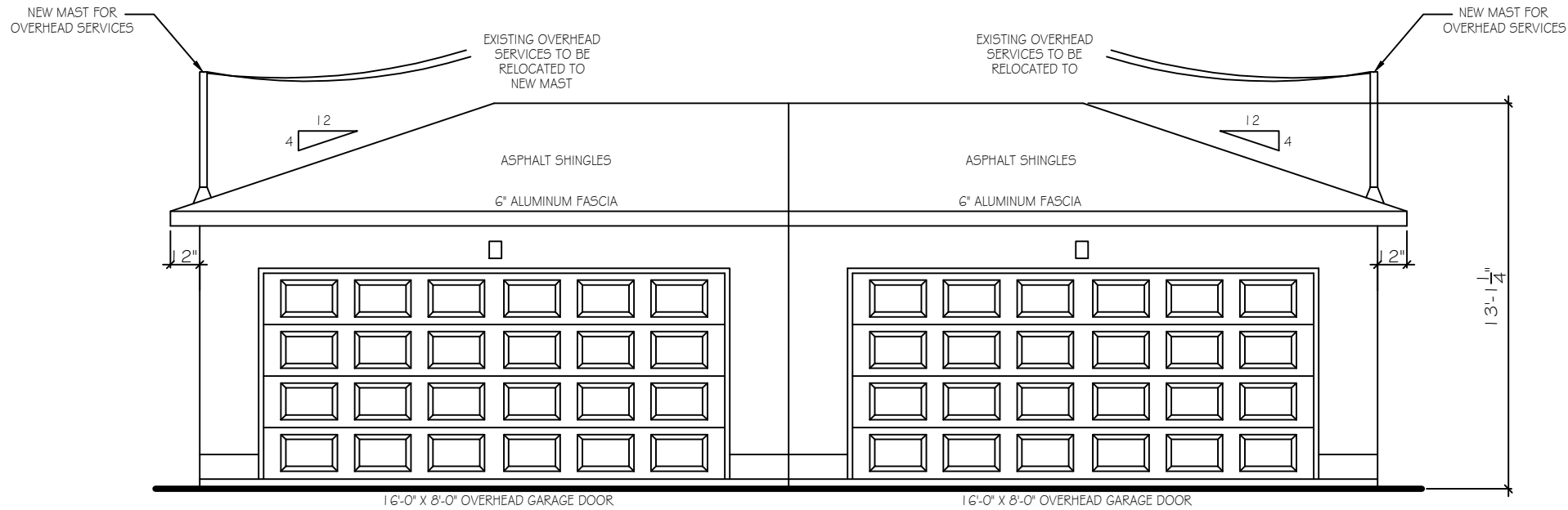
SCALE: 3/16"=1'-0"

EXTERIOR COLOURS - TYPICAL ON ALL ELEVATIONS

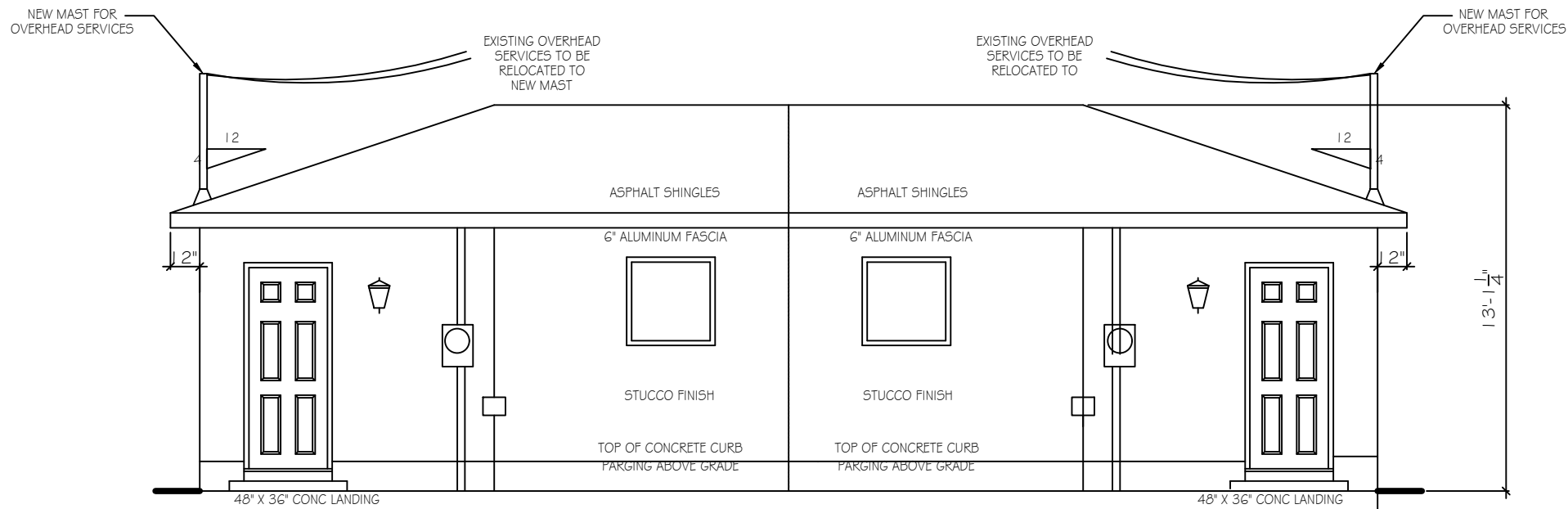
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WALLS	STUCCO 1 - WHITE	SIDING	SMARTBOARD - N/A
	STUCCO 2 - GREY	WINDOWS	ALUMINUM - BLACK
FASCIA	ALUMINUM - BLACK	MANU.	STONE COBLE FIELD - N/A
SOFFIT	ALUMINUM - BLACK	FRONT DOOR	METAL CLAD - BLACK
RAINWARE	ALUMINUM - BLACK	RAILING	ALUMINUM - BLACK

DRAWN BY:	MEA	SPECIFICATION:	CUSTOM
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MODEL:	CUSTOM SEMI-DETACHED DWELLING
CLIENT:	PRIVATE RESIDENCE
LOT:	3
BLOCK:	7
ADDRESS:	7937 & 7939 47 N.W.

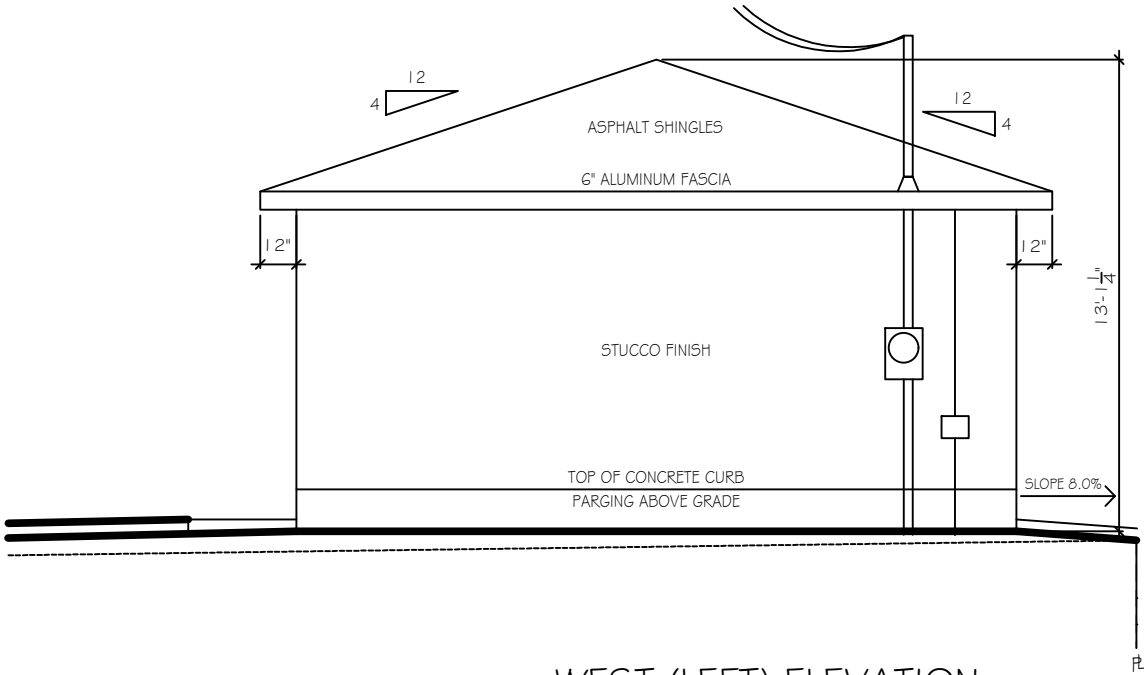


SOUTH (FRONT) ELEVATION

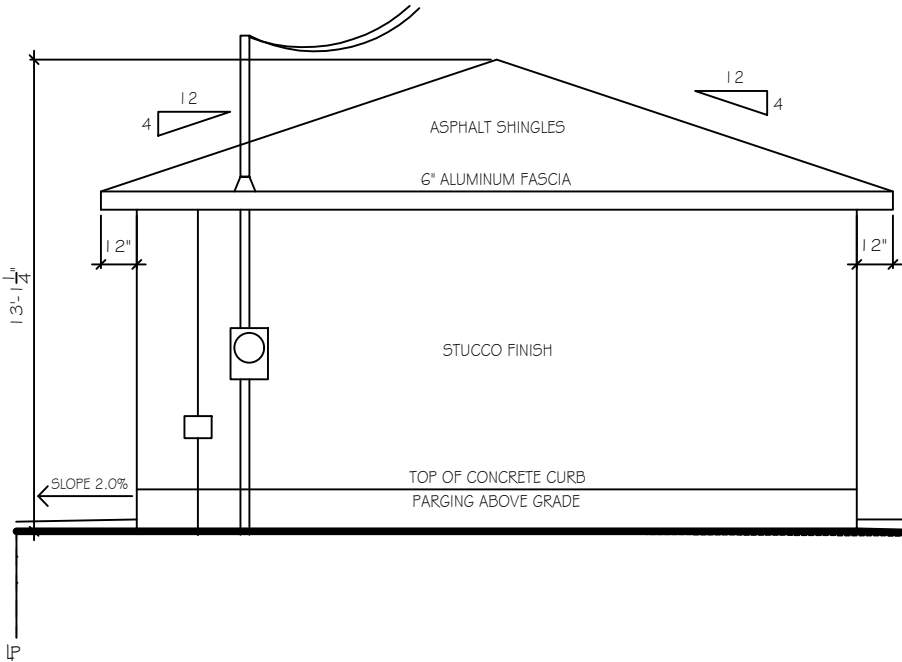


NORTH (REAR) ELEVATION

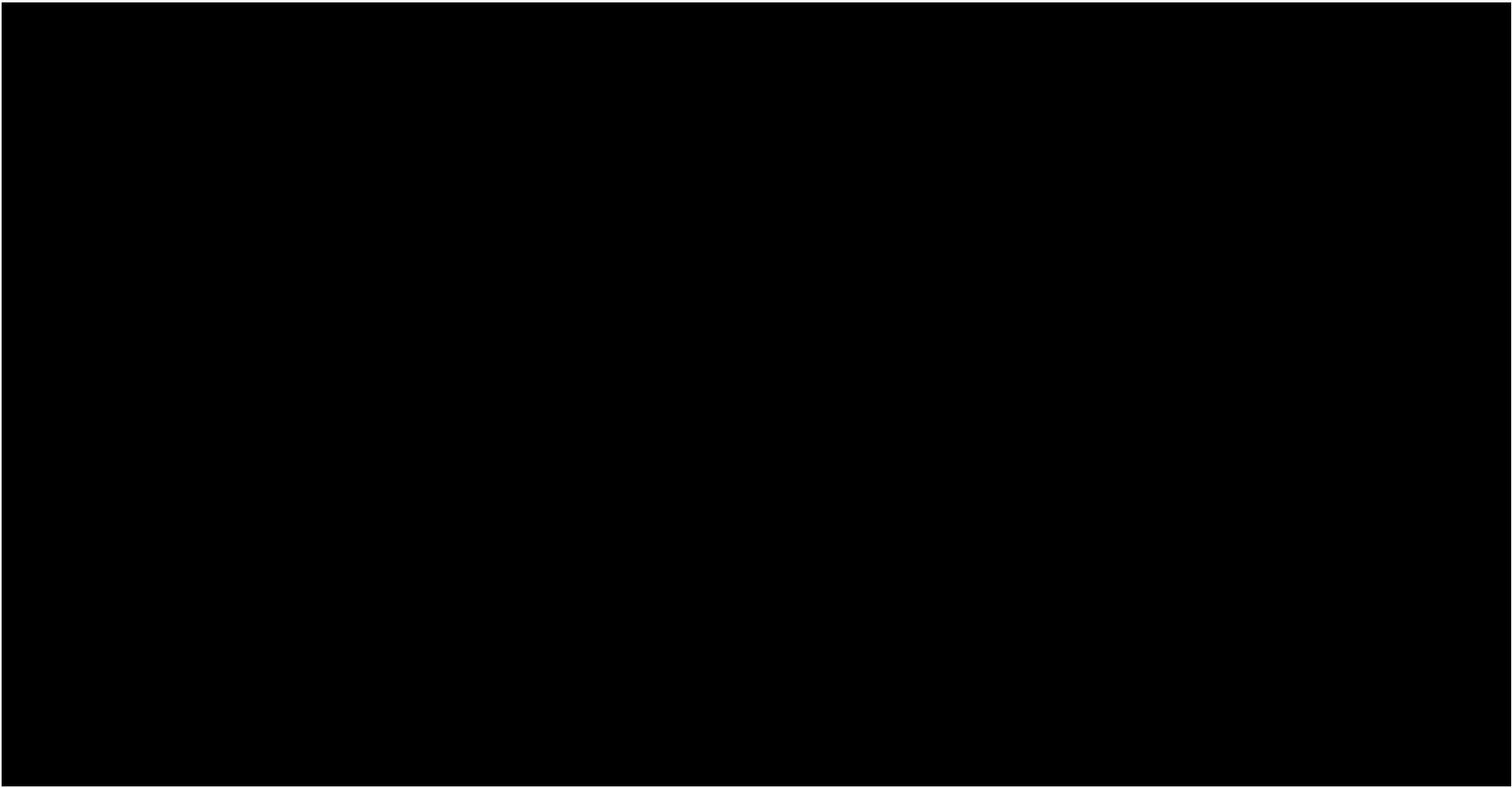
16 OF 17	MODEL: CUSTOM SEMI-DETACHED DWELLING			DRAWN BY: MEA	SPECIFICATION:	CUSTOM	CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.	ENGINEER STAMP
	CLIENT: PRIVATE RESIDENCE			DATE: JULY/26	MAIN AREA:	1842 SQ.FT.		
	LOT: 3 BLOCK: 7 PLAN: 2660AP			SCALE: 3/16"=1'-0"	SECOND AREA:	2040 SQ.FT.		
	ADDRESS: 7937 & 7939 47 N.W.			REVISED: N/A	DEV. BASEMENT:	1530 SQ.FT.		
				JOB NO.: N/A	TOTAL AREA:	3880 SQ.FT.		
SEVEN DESIGN LTD								



WEST (LEFT) ELEVATION

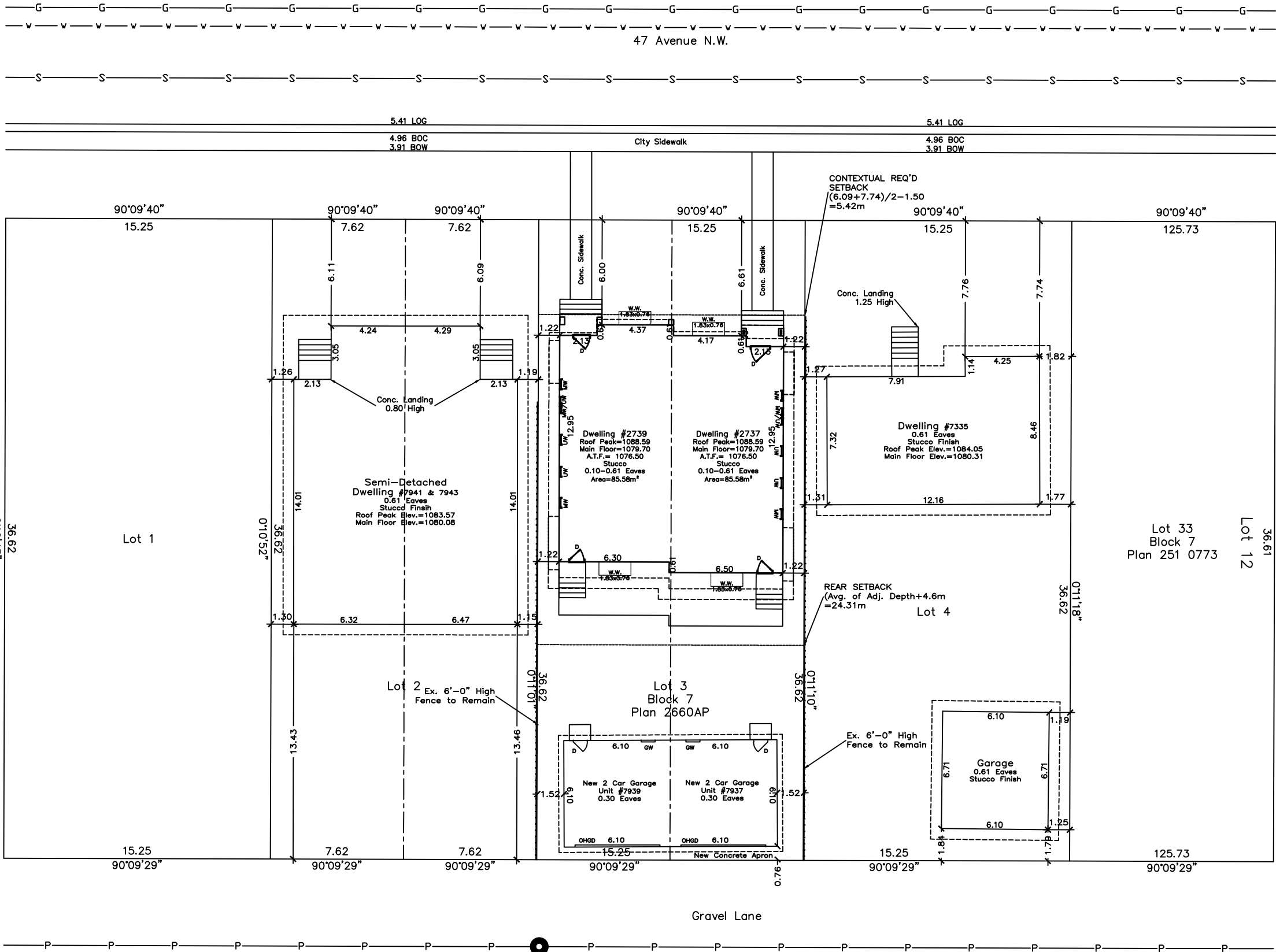


EAST (RIGTH) ELEVATION



17	MODEL: CUSTOM SEMI-DETACHED DWELLING				DRAWN BY: MEA	SPECIFICATION:		CUSTOM	ENGINEER STAMP		SEVEN DESIGN LTD	
OF	CLIENT: PRIVATE RESIDENCE				DATE: JULY/26	MAIN AREA:		1842 SQ.FT.	CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START AND REPORT ERRORS TO DESIGNER FOR CORRECTION.			
17	LOT: 3 BLOCK: 7				SCALE: 3/16"=1'-0"	SECOND AREA:		2040 SQ.FT.				
	PLAN: 2660AP				REVISED: N/A	DEV. BASEMENT:		1530 SQ.FT.				
	ADDRESS: 7937 & 7939 47 N.W.				JOB NO.: N/A	TOTAL AREA:		3880 SQ.FT.				

79 Street N.W.



1 BLOCK PLAN
SCALE: 1:250



SEVEN DESIGN LTD

ENGINEER STAMP

CONTRACTOR TO VERIFY
ALL DIMENSIONS PRIOR
TO START AND REPORT
ERRORS TO DESIGNER
FOR CORRECTION.

MODEL:	CUSTOM SEMI-DETACHED DWELLING
CLIENT:	PRIVATE RESIDENCE
LOT:	3
BLOCK:	7
PLAN:	2660AP
ADDRESS:	7937 & 7939 47 AVENUE N.W.

DRAWN BY:	MET	SPECIFICATION:	CUSTOM
DATE:	JULY/26	MAIN AREA:	1842 SQ.FT.
SCALE:	AS SHOWN	UPPER AREA:	2040 SQ.FT.
REVISED:	N/A	DEV. BASEMENT:	1530 SQ.FT.
JOB NO.:	N/A	TOTAL AREA:	3880 SQ.FT.

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