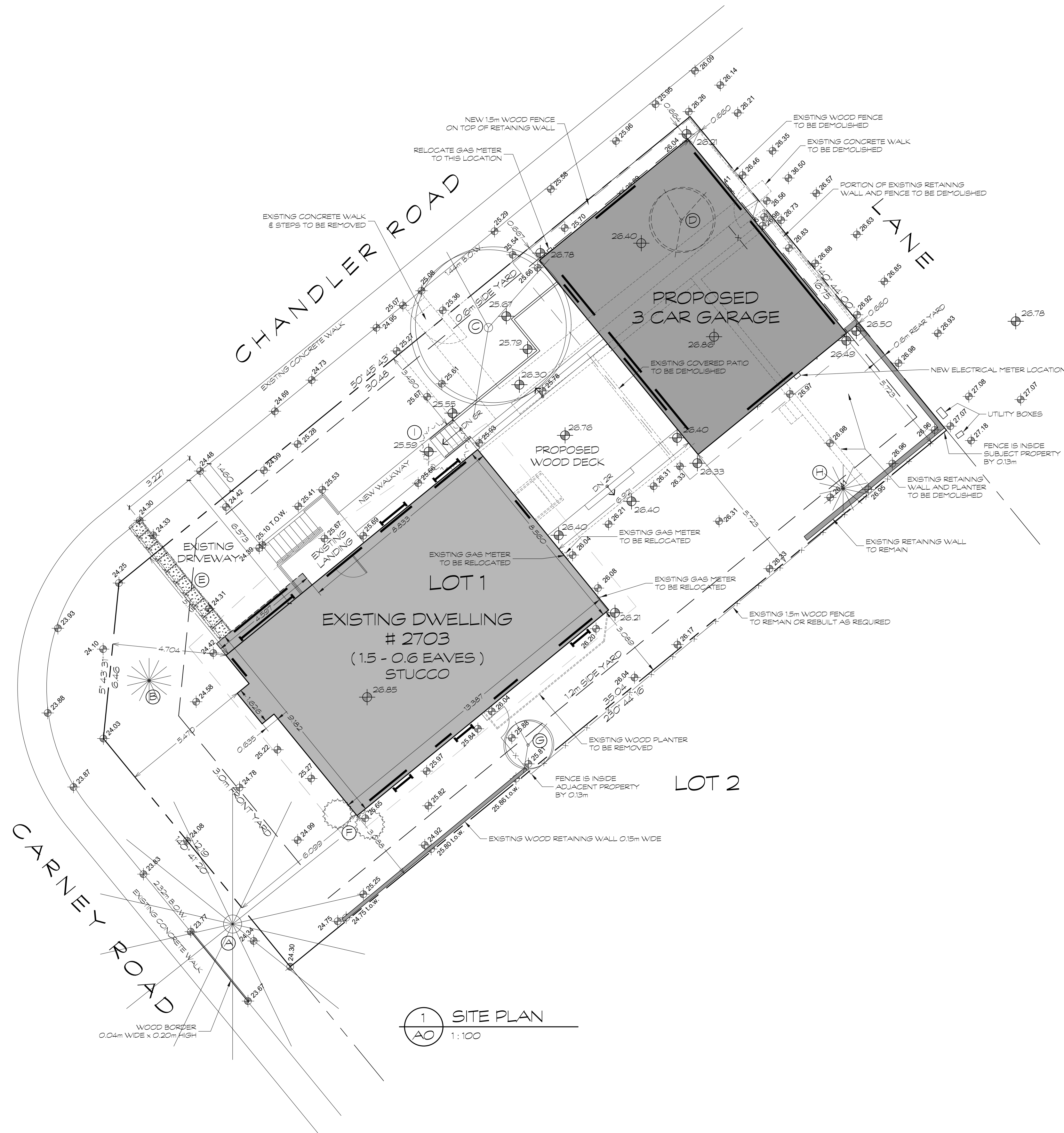




1 SITE PLAN
AO 1:100

SITE INFORMATION

CIVIC ADDRESS : 2703 CHANDLER ROAD NW
CALGARY, AB

LEGAL DESCRIPTION : LOT 1
BLOCK 9
PLAN 1496 JK

COMMUNITY : CHARLESWOOD
LAND USE : R-GG

BYLAW SETBACKS : FRONT YARD = 3.0m
SIDE YARD = 0.6m N.W. & 1.2m S.E.
REAR YARD = 0.6m
MAX. BLDG HGT. = 11.0m

LOT INFORMATION : GLOBAL RAYMAC SURVEYS 403-283-5455
DATED : 15 OCTOBER 2013 FILE No. : 13CR1759

LOT COVERAGE : AREA OF LOT 576.83m² (6209 ft²)
AREA OF EXISTING PRINCIPLE DWELLING 118.912m² (1280 ft²)
AREA OF PROPOSED GARAGE 82.12m² (884 ft²)
TOTAL BUILDING AREA 201.03m² (2164 ft²)
ALLOWABLE LOT COVERAGE 45%
% OF LOT COVERAGE 34.85%

DENOTES EXISTING GRADE 0.000 DENOTES PROPOSED GRADE 0.000
NOTE : TO OBTAIN GEODETIC ELEVATIONS ADD 1100m TO ELEVATIONS SHOWN

WINDOW & DOOR LOCATIONS

UPPER FLOOR WINDOWS
MAIN FLOOR WINDOWS
BASEMENT WINDOWS

EXISTING PLANT SCHEDULE

	A EXISTING SPRUCE - TO REMAIN CALIPER = 75cm DIA DRIFLINE = 18m DIA HEIGHT = 13.7m
	B EXISTING SPRUCE - TO REMAIN CALIPER = 102cm DIA DRIFLINE = 11.0m DIA HEIGHT = 5.0m
	C EXISTING CRABAPPLE - TO REMAIN CALIPER = 0.65cm DIA DRIFLINE = 6.5m DIA HEIGHT = 5.0m
	D EXISTING CHOCKECHERRY - TO BE REMOVED CALIPER = 0.13cm DIA DRIFLINE = 2.5m DIA HEIGHT = 5.0m
	E EXISTING CATTONEASTER - TO REMAIN
	F EXISTING JUNIPER - TO REMAIN
	G EXISTING CHOCKECHERRY - TO REMAIN CALIPER = 0.13cm DIA DRIFLINE = 2.5m DIA HEIGHT = 5.0m
	H EXISTING SPRUCE - TO REMAIN CALIPER = 0.13cm DIA DRIFLINE = 2.5m DIA HEIGHT = 5.0m
	I EXISTING JUNIPER - TO REMAIN

REVISION SCHEDULE

REV #	REV DATE	DESCRIPTION
1	26 / 05 / 27	Revised to appease city DR letter date April 24, 2026
2	26 / 06 / 30	Revised to appease city DR letter date April 24, 2026

client:

-

project: PROPOSED GARAGE AND DECK

2703 CHANDLER ROAD NW
CALGARY, AB.
LOT: 1 BLK: 9 PL: 1496 JK

page title:

SITE PLAN

dn by:

D. B.

file no:

2025-43

date:

June 30, 2026

sheet no:

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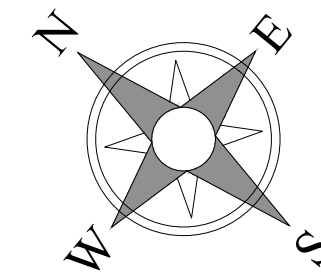
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AS NOTED

CHANDLER ROAD

LANE

CARNEY ROAD



PROPOSED
GARAGE
COMPOSITE SIDING
(0.6 & 1.2 EAVES)
ROOF PEAK = 1131.57
GARAGE SLAB = 1126.86 &
1126.40

EXISTING
GARAGE
WOOD SIDING
(0.40 EAVES)

EXISTING
GARAGE
WOOD SIDING
(0.40 EAVES)

EXISTING
DWELLING # 2703
STUCCO
(1.5 - 0.6 EAVES)
ROOF PEAK = 1131.30
MAIN FLOOR = 1126.25

DWELLING #5124
WOOD SIDING
(0.60 EAVES)
ROOF PEAK = 1130.57
MAIN FLOOR = 1125.39

DWELLING #5120
WOOD SIDING
(0.65 EAVES)
ROOF PEAK = 1131.00
MAIN FLOOR = 1127.05

PROPOSED GARAGE
DWELLING # 2703

DWELLING # 5124

DWELLING # 5120

DWELLING # 5124
NORTH ELEVATION

1
A01 STREET SCAPE
1:100

REVISION SCHEDULE

REV #	REV DATE	DESCRIPTION
1	26 / 05 / 27	Revised to approximate city DR letter date April 24, 2026
2	26 / 06 / 30	Revised to approximate city DR letter date April 24, 2026

client:

project: PROPOSED GARAGE
AND DECK
2703 CHANDLER ROAD NW
CALGARY, AB.
LOT: 1 BLK: 9 PL: 1496 JK

page title:
STREET SCAPE

dn by:

D. B.

file no.
2025-43

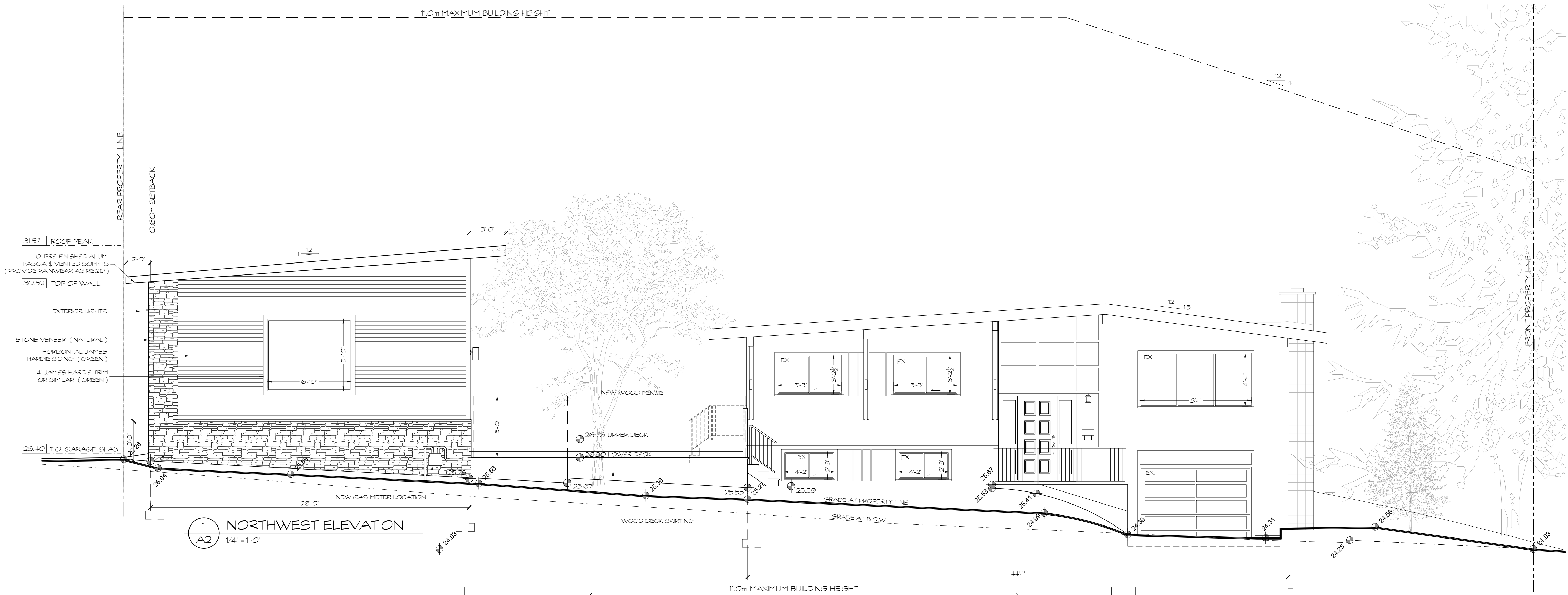
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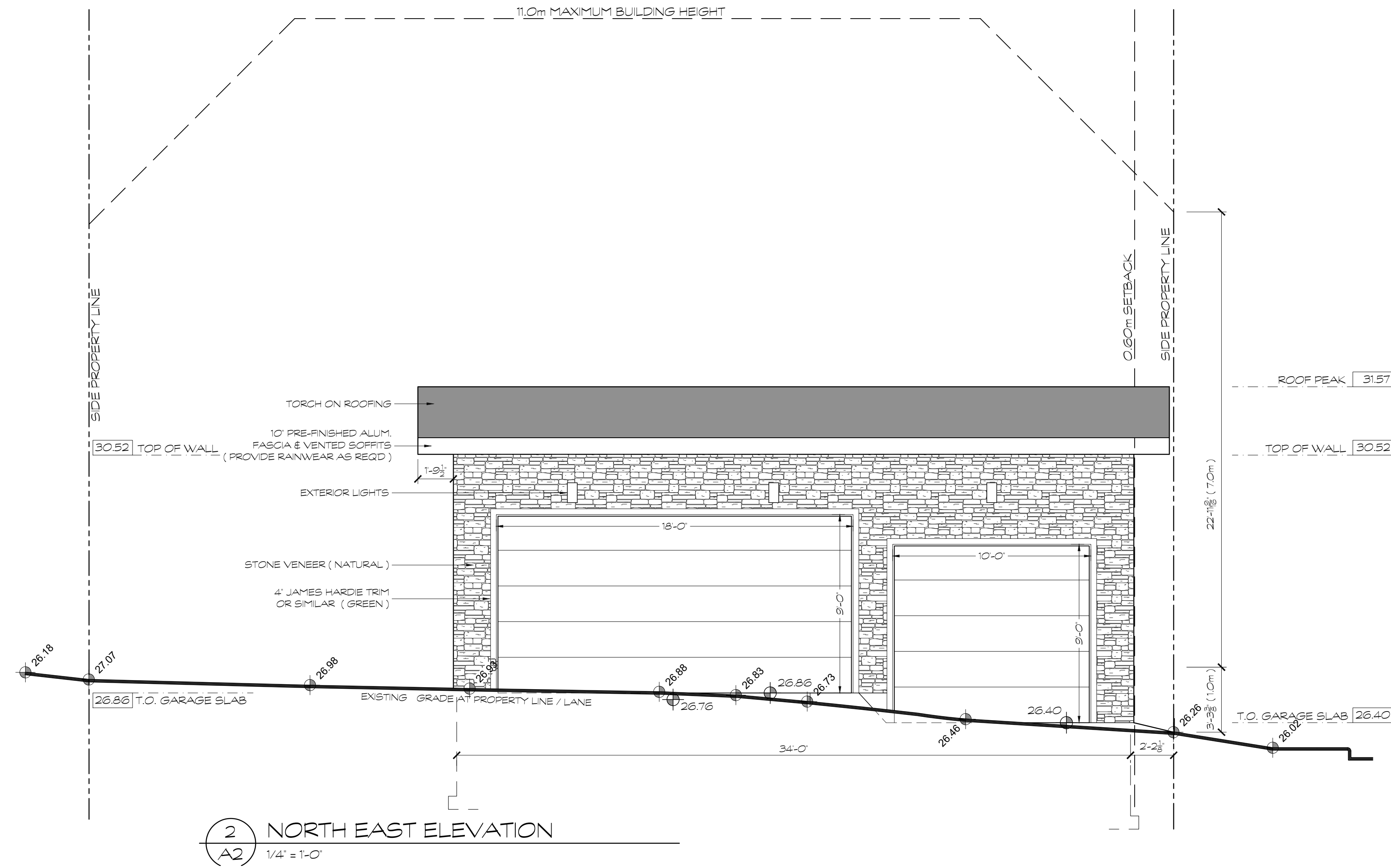
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AS NOTED



1 NORTHWEST ELEVATION
1/4" = 1'-0"



2 NORTH EAST ELEVATION
1/4" = 1'-0"

REVISION SCHEDULE

REV #	REV DATE	DESCRIPTION
1	26 / 05 / 27	Revised to approve city DR letter date April 24, 2026
2	26 / 06 / 30	Revised to approve city DR letter date April 24, 2026

client:

project: **PROPOSED GARAGE AND DECK**
2703 CHANDLER ROAD NW
CALGARY, AB.
LOT: 1 BLK: 9 PL: 1496 JK

page title:
ELEVATIONS

designed by:
D. B.

file no.: 2025-43
date: June 30, 2026

sheet no.: **A2**
diag scale: AS NOTED



1 SOUTHWEST GARAGE ELEVATION
A4 1/4" = 1'-0"

REVISION SCHEDULE

REV #	REV DATE	DESCRIPTION
1	26 / 05 / 27	Revised to approximate city DR letter date April 24, 2026
2	26 / 06 / 30	Deleted backyard suite and addition. Added deck between proposed garage & dwelling.

client:

-

project: **PROPOSED GARAGE AND DECK**
2703 CHANDLER ROAD NW
CALGARY, AB.
LOT: 1 BLK: 9 PL: 1496 JK

page title:
SW GARAGE ELEVATION

dn by:

D. B.

file no:
2025-43

date:
June 30, 2026

sheet no:

A4

dwg scale:

AS NOTED