

PROJECT SUMMARY

MUNICIPAL ADDRESS:	#2 - 2111 CENTRE ST NW, CALGARY, AB
LEGAL DESCRIPTION:	Plan 21290, Block 21, LOT 3
LAND USE:	DC: DIRECT CONTROL 6Z2000
PROJECT DESCRIPTION:	RESTUARANT - A2 INTERIOR
SCOPE OF WORK:	PARTITIONING
AREA OF CONSTRUCTION:	161.8 sq.m. (1,742 s.f.)
PUBLIC AREA:	95.7 sq.m. (1,030 s.f.)

BUILDING CODE ANALYSIS

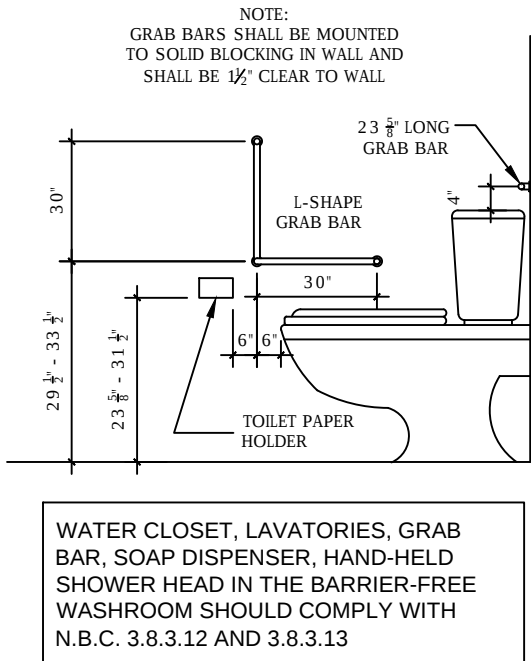
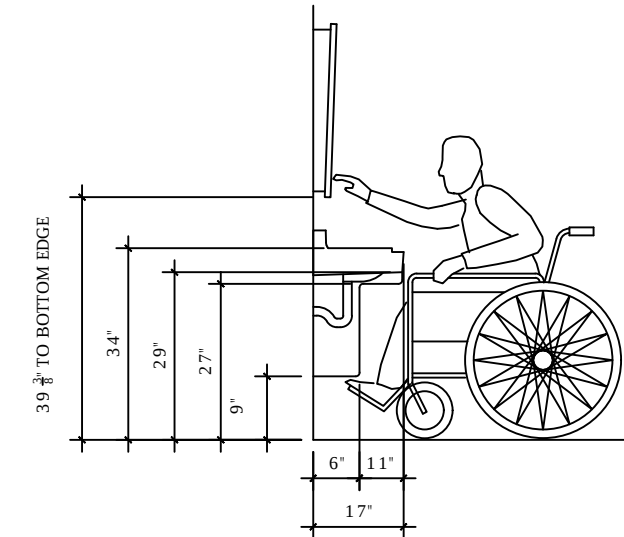
MAJOR OCCUPANCY CLASSIFICATION:	GROUP A2 - ASSEMBLY
BUILDING FOOTPRINT:	872.82 sq.m. (9,395 s.f.)
CONSTRUCTION AREA	161.8 sq.m. (1,742 s.f.)
BUILDING HEIGHT:	1 STOREY
FACING STREET:	1 STREET
BUILDING CODE CLASSIFICATION:	2023 N.B.C. AB ED., 3.2.2.25. GROUP A, DIVISION 2, UP TO 2 STOREYS
TOTAL OCCUPANT LOAD:	50 PERSONS
FIRE ALARM:	NO
SPRINKLERS:	NO
EMERGENCY LIGHTING:	YES
EXIT SIGNS:	YES

PLUMBING FIXTURE REQUIREMENTS

TOTAL OCCUPANT LOAD = 50 PERSONS

AS PER 2023 N.B.C. AB ED. TABLE 3.7.2.2. - A
REQ'D 2 WATER CLOSET FOR 50 OCCUPANCY

WATER CLOSET PROVIDE: (2)
1 NON-HANDICAP WATER CLOSET
1 HANDICAP WATER CLOSET



CONSTRUCTION ASSEMBLY

EW1	EXISTING EXTERIOR WALL - STUCCO / FIBRE CEMENT SIDING / STONE VENEER - EXISTING WALL STRUCTURE REMAIN UNCHANGED - 1 LAYER OF 1/2" G.W.B. - FINISH AS PER ROOM FINISH SCHEDULE
EW2	EXISTING DEMISING WALL 2 HR F.R.R. ULC DES: W453 - 2 LAYERS OF 5/8" TYPE "X" G.W.B. - 6" STEEL STUD @ 16" O.C. - 2 LAYERS OF 5/8" TYPE "X" G.W.B - FINISH AS PER ROOM FINISH SCHEDULE
W1	NEW INTERIOR WALL FULL HEIGHT - 1 LAYER OF 1/2" G.W.B - 3 5/8" STEEL STUD @ 16" O.C. C/W - ACOUSTIC INSULATION - 1 LAYER OF 1/2" G.W.B.
W2	NEW INTERIOR WALL 1 HOUR F.R.R. ULC DES: W453 FULL HEIGHT - 1 LAYER OF 5/8" G.W.B - 3 5/8" STEEL STUD @ 16" O.C. - 1 LAYER OF 5/8" G.W.B. - FINISH AS PER ROOM FINISH SCHEDULE
W3	FURRING WALL - 1 1/2" STEEL FURRING CHANNELS - 1 LAYERS OF 5/8" G.W.B - FINISH AS PER ROOM FINISH SCHEDULE
W4	NEW PONY WALL (DECORATIVE) 1 LAYER OF 1/2" G.W.B 2"x4" WOOD STUD @ 16" O.C. 1 LAYER OF 1/2" G.W.B

ROOM FINISH SCHEDULE

DINNING AREA
FLOOR - VINYL
BASE - RUBBER
WALL - PAINTED GWB
CEILING - SUSPENDED T-BAR CEILING

WASHROOM
FLOOR - VINYL
BASE - RUBBER
WALL - PAINTED GWB
CEILING - SUSPENDED T-BAR CEILING

KITCHEN
FLOOR - NON-SLIP CERAMIC TILE
BASE - TILE
WALL - PAINTED GWB
CEILING - WASHABLE SUSPENDED T-BAR CEILING

MOP SINK
FLOOR - NON-SLIP CERAMIC TILE
BASE - TILE
WALL - PAINTED GWB
CEILING - 1 HR F.R. DRYWALL CEILING

CEILING ASSEMBLY

C1	SUSPENDED WASHABLE T-BAR CEILING AT 9'-0" A.F.F.
C2	DRYWALL CEILING - 1 HR F.R. AT 9'-0" A.F.F.
C3	OPEN CEILING

LEGEND

	ELECT. PANEL
	EMERGENCY BATTERY PACK -12V c/w 2X12S QUARTZ HALOGEN LAMP
	EMERGENCY LIGHT REMOTE HEAD WALL MOUNTED
	EMERGENCY LIGHT REMOTE HEAD CEILING MOUNTED
	EXIT SIGN
	SUSPENDED T-BAR
	LED TRACK LIGHT
	48X24 LED LIGHT PANEL
	LED DECESSED DOWN LIGHT

GENERAL NOTES

1) THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED DRAWINGS.
2) ALL WORK CARRIED OUT SHALL CONFORM TO NATIONAL BUILDING CODE LATEST EDITION
3) CONTRACTOR AND SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LINES, EXISTING SERVICES AND OTHER INFORMATION PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER.
4) DO NOT SCALE DRAWINGS
5) CONTRACTOR SHALL ENSURE THAT ALL WORK CARRIED OUT CONFORMS TO MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND IS PERFORMED WITH CARE AND DILIGENCE ACCORDING TO GOOD BUILDING PRACTICES.
6) WHERE ALTERNATE PRODUCTS, MATERIALS OR METHODS ARE PROPOSED; COMPLETE AND APPROPRIATE DETAILS, LITERATURE AND SAMPLES SHALL BE SUBMITTED TO THE DESIGNER FOR REVIEW AND APPROVAL PRIOR TO ORDERING OR FABRICATION.
7) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE AND WCB PAYMENT.
8) OPENING SIZES FOR MANUFACTURED COMPONENTS ARE NOMINAL SIZES ONLY. VERIFY WITH SUPPLIER OR MANUFACTURER.
9) CONTRACTOR SHALL PROVIDE AND PAY FOR 'X-RAY' OR OTHER TESTS WHICH ARE NECESSARY TO DETERMINE EXISTING EMBEDDED AND HIDDEN BUILDING COMPONENTS PRIOR TO CUTTING THROUGH WALLS AND FLOORS. CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE ARISING FROM CUTTING AND FOR THE COST OF REPAIRS.
10) CONTRACTOR TO INFORM BUILDING SUPERINTENDENT OF THE WORK AND TO OBTAIN OWNER'S APPROVAL AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
11) WORK TO BE CARRIED OUT WITH MINIMAL DISRUPTIONS TO NORMAL BUILDING OPERATIONS- AND TO OTHER TENANTS.
12) ANY WORK REQUIRING CONNECTIONS TO EXISTING BUILDING SYSTEM SHALL BE CO-ORDINATED WITH THE BUILDING SUPERINTENDENT.
13) ALL WORK AND PROCEDURES TO BE PERFORMED IN ACCORDANCE WITH THE 'LEASE AGREEMENT'.
14) CONTRACTOR SHALL PROVIDE, MAINTAIN, AND PAY FOR INSURANCE COVERAGE FOR 'GENERAL LIABILITY AND PROPERTY' AS SET FORTH BY THE LANDLORD AND TENANT UNLESS OTHERWISE STIPULATED BUT NOT RESTRICTED TO THE ABOVE.
15) REPORT ANY DISCREPANCIES IN DRAWINGS TO THE DESIGNER.
16) REPORT ANY DISCREPANCIES AND INCONSISTENCIES BETWEEN DRAWINGS AND SITE CONDITIONS TO THE DESIGNER.
17) DOCUMENT ALL CHANGES TO DRAWINGS AND PROVIDE 'AS-BUILT' DRAWINGS TO THE TENANT AT COMPLETION OF CONSTRUCTION.
18) ALL MODIFICATION WORK ON EXISTING BUILDING SPRINKLER SYSTEM SHALL CONFORM TO NFPA 13.

DOOR SCHEDULE

DOOR						FRAME			REMARKS
#	FIRE RATEING	SIZE	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	
D1		3'-0"X 7'-0"		AL/ GL	AN		AL/ GL	AN	STORE FRONT DOOR, AUTO POWER OPERATOR, WEATHER-STRIPPED, KEYED LOCK (NEWX1)
D2		3'-0"X 7'-0"		HM	PT		HM	PT	STORE BACK DOOR, WEATHER-STRIPPED, PANIC BAR, KEYED LOCK (NEWX1)
D3		3'-0"X 7'-0"		WD	PT		WD	PT	HALLWAY DOOR, S/S HARDWARE AND HANDEL, PASSAGE LOCK (NEWX2)
D4		3'-0"X 7'-0"		AL	AN		AL	AN	VESTIBULE DOOR, AUTO POWER OPERATOR,SS HANDLE AND HARDWARE (NEW X1)
D5		3'-0"X 7'-0"		WD	PT		WD	PT	BARRIER FREE WASHROOM DOOR, AUTO POWER OPERATOR,SS HANDLE AND HARDWARE, UNDERCUT, PRIVACY LOCK (NEW X1)
D6		2'-8"X 7'-0"		WD	PT		WD	PT	WASHROOM DOOR, UNDERCUT, S/S HARDWARE AND HANDEL, PASSAGE LOCK (NEWX1)
D7	45 MINS	1'-10"X 7'-0"		WD	PT		WD	PT	MOP ROOM DOOR, S/S HARDWARE AND HANDEL, KEYED LOCK (NEWX1)

ABBREVIATIONS
AL ALUMINUM
AN CLEAR ANODIZED
GL GLAZED
HM HOLLOW METAL
PL PLASTIC LAMINATE
PT PAINT
SF STEEL FRAME
SWC SOLID WOOD CORE
WD WOOD
TG TEMPERED GLASS
ST STEEL

STANDARD NOTES

1) ONE SET OF LANDLORD APPROVED DRAWINGS TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
2) ALL MATERIALS TO MEET FLAME SPREAD RATING REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
3) DEMISING WALLS ARE NOT DESIGNED TO ACCOMMODATE LOADING. ALL FIXTURES MUST BE FLOOR SUPPORTED.
4) ALL QUARRY TILE FLOORS MUST HAVE CONTROL JOINTS ALIGNING WITH BASE BUILDING FLOOR JOINTS.
5) DRYWALL CEILING MUST HAVE ACCESS PANELS TO ALLOW ACCESS FOR BUT NOT LIMITED TO REHEAT COILS, V.A.V. BOXES, ELECTRICAL JUNCTION BOXES OR PLUMBING CLEAN OUTS. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS.
6) MALL FLOOR FINISH TO BE EXTENDED TO CLOSURE LINE, BY TENANT. ALL JOINTS IN THE TENANT'S FLOORING PATTERN MUST BE CONSISTENT WITH THE LANDLORD'S FLOORING PATTERN.
7) TENANT CONTRACTOR MUST APPLY FOR AND PICK UP BUILDING PERMIT FROM CITY AUTHORITIES AND PAY FOR SAME PRIOR TO COMMENCING WORK.
8) PRIOR TO CUTTING OR CORING CONCRETE FLOORING, THE TENANT'S CONTRACTOR MUST CHECK FLOOR FOR ANY ELECTRICAL, MECHANICAL OR EQUIPMENT LOCATIONS. ANY PENETRATION THROUGH FLOOR MUST BE WATERTIGHT.
9) TENANT CONTRACTOR MUST CHECK WITH TENANT COORDINATOR AND PICK UP RULES AND REGULATIONS PRIOR TO ANY CONSTRUCTION.
10) TENANT CONTRACTOR MUST ENSURE THAT THE SPRINKLER COVERAGE COMPLIES WITH NFP 13. PROOF OF ACCEPTANCE OF COVERAGE TO BE PROVIDED TO TENANT COORDINATOR.
11) TENANT CONTRACTOR SHALL OBTAIN ALL REQUIRED BUILDING PERMITS (BUILDING, ELECTRICAL, PLUMBING, HVAC) PRIOR TO COMMENCEMENT OF WORK AND PROVIDE PROOF TO TENANT COORDINATOR. CONTRACTOR SHALL ALSO FURNISH TO TENANT COORDINATOR FOR APPROVAL PRIOR TO CONSTRUCTION THE FOLLOWING:
- CONSTRUCTION SCHEDULES
- LIST OF ALL SUB-CONTRACTORS
- CERTIFICATE OF INSURANCE
- SIGN DETAILS



SUBJECT SITE

SITE PLAN

SCALE: N.T.S.



Notes
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DO NOT SCALE THIS DRAWING.
THE CONSTRUCTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS.
ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO VISTA DRAFTING & CONSULTING INC. WITHOUT DELAY.

ISSUED ON
AUG 21, 2024
FOR BP

PLAN 21290
BLOCK 21
LOT 3

No.	Description	Date
0	ISSUE FOR BP	AUG 21, 2024
1	REVISED	AUG 11, 2025
2	REVISED	NOV 20, 2025

Project

CHAOSHAN BEEF
HOTPOT CENTRE ST

#1&2- 2111 CENTRE ST NW,
CALGARY, AB

Drawing Title

PROJECT SUMMARY,
SITE PLAN

Drawn By: B.W.	Date: AUG 2024
Designed By: B.W.	Scale: As Shown
Job Number 00000	
Drawing Number	Rev. No.
A - 0	2