

PROJECT INFORMATION

- DRAWINGS ARE NOT TO BE SCALED
- ALL CONSTRUCTION METHODS AND SPECIFICATIONS SHALL CONFORM TO THE LATEST LOCAL BUILDING CODE
- BUILDER IS RESPONSIBLE TO CONFIRM ALL DIMENSIONS + INFORMATION ON DRAWINGS
- ANY DISCREPANCIES MUST BE REPORTED TO SDP FOR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
- **ALL LOAD BEARING DOOR AND WINDOW LINTELS ARE 2-2x10 #2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED**
- ALL STRUCTURAL LUMBER IS TO BE #2 SPRUCE OR BETTER OR AS NOTED.
- ALL STUDS TO BE CONSTRUCTION GRADE SPRUCE OR BETTER.
- PROVIDE FULL END BEARING SUPPORT TO STRUCTURAL MEMBERS WHERE REQUIRED
- ALL EXTERIOR WOOD FRAMING, WOOD SLEEPERS, AND WOOD IN CONTACT WITH CONC. TO BE PRESSURE TREATED
- CONTRACTOR TO CALK AND FLASH OVER ALL EXTERIOR DOOR AND WINDOW LINTELS AS REQUIRED
- EXCEPT WHERE OTHERWISE NOTED ALL EXTERIOR DOORS TO BE 1-3/4" THK AND INTERIOR DOORS TO BE 1-3/8" THK

LEGAL ADDRESS:

PLAN: 0213602
BLOCK: 3
LOT: 1

PROPERTY INFORMATION:

LAND-USE DISTRICT = R-G
YEAR OF CONSTRUCTION = N/A
WALK-OUT = ☐ YES / ☒ NO
FLOOD FRINGE = ☐ YES / ☒ NO
*IF YES: DP REQ'D FOR EXTERIOR CHANGES
*IF YES AND ADDITION: CHECK GFA
AVPA = ☐ YES / ☒ NO
*IF YES CHECK NEF FOR SUITES
ZERO LOT LINE = ☐ YES / ☒ NO
LANLESS LOT = ☒ YES / ☐ NO
*IF YES: CHECK SETBACKS
OVERHEAD POWER LINES = ☐ YES / ☒ NO
*IF YES CHECK CLEARANCE ON BACKYARD SUITES

PROPERTY INFORMATION (DEVELOPMENT PERMIT):

EXISTING CONTEXTUAL DWELLING = ☐ YES / ☒ NO
*IF RELAXATION IDENTIFIED CHECK IF DWELLING IS CONTEXTUAL
*RELAXATIONS ARE NOT PERMITTED ON CONTEXTUAL DWELLINGS
PUBLIC TREES = ☒ YES / ☐ NO
*IF YES: TREE PROTECTION PLAN REQUIRED
ESCARPMENT = ☐ YES / ☒ NO
*IF YES: REVIEW TITLE FOR COVENANTS
NEW RETAINING WALLS (> 1.2m) = ☐ YES / ☒ NO
*IF YES: SHOW ON SITE W/ GEODETICS

Drawing List

- A0.0 Cover Sheet
- A0.1 Drawing Legends
- A0.2 Project Specific Notes
- A1.0 Site Plan
- A1.1 Public Tree's
- A2.0 Floor Plan
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A4.0 Sections
- A5.0 Details



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Web: www.sevendaypermits.ca

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• FRAMING: ENGINEERED BEAMS/LINTELS/POSTS/TALL WALLS/ETC.
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• SCREEN ROOMS + SUNROOMS: EXISTING STRUCTURE + CONNECTIONS

EMAIL PHOTOS TO THE ENGINEER THAT HAS STAMPED THESE PLANS
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GENERAL CONTRACTOR

ENGINEER

PROJECT SCOPE

- GARAGE
- NEW DRIVEWAY
- REMOVE PUBLIC TREE

RELAXATIONS

- WALL HEIGHT
- DRIVEWAY WIDTH
- -

5 Taralea Gr NE
Calgary, AB

Garage + Driveway

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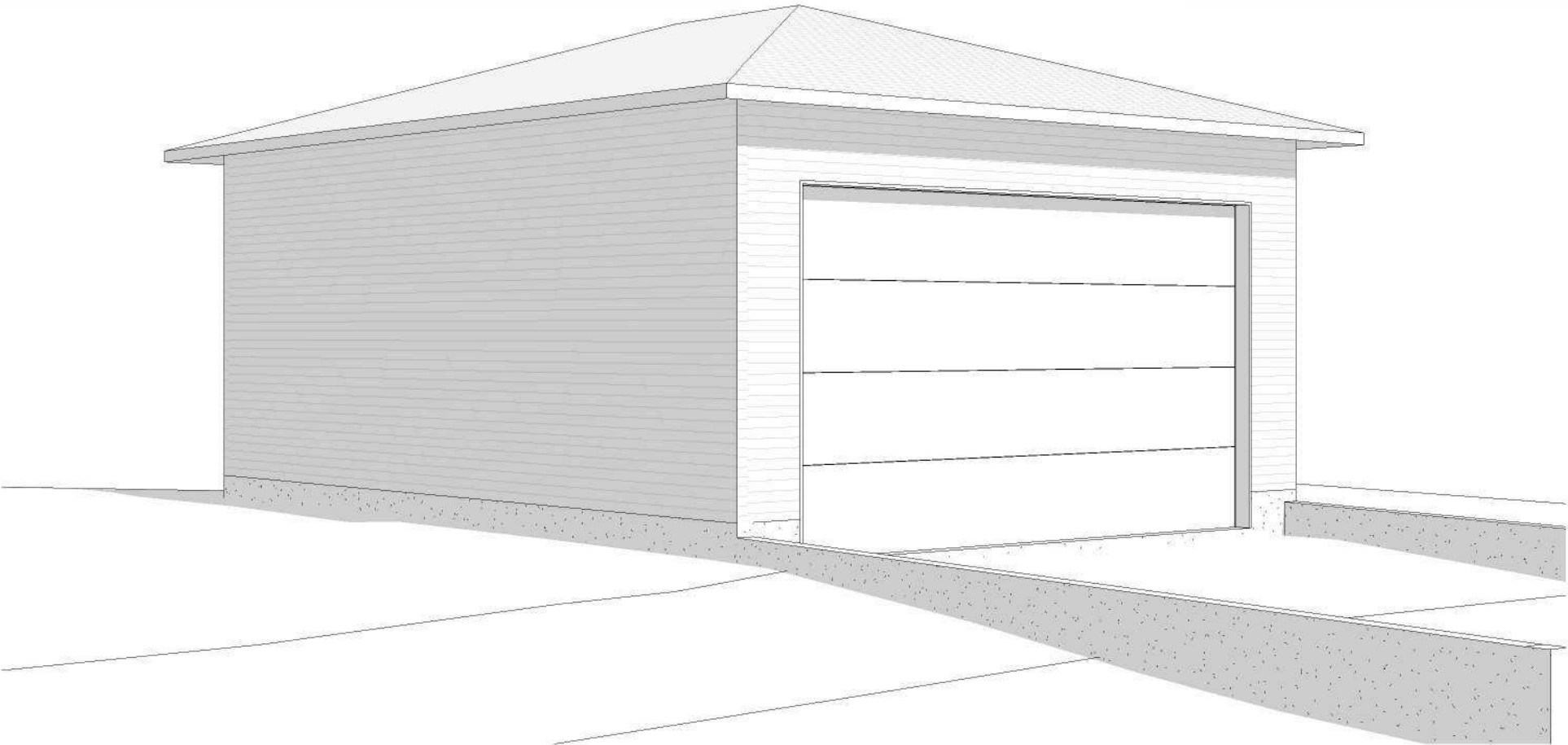
Cover Sheet

Project : 2026-186

Scale:

Drawn By: RFC

A0.0



Stair Type	Rectangular Treads, Tapered Treads and Winders	
	Rise, mm	
	Max.	Min.
Private ⁽¹⁾	200	125
Public ⁽²⁾	180	125

Stair Type	Rectangular Treads	
	Run, mm	
	Max.	Min.
Private ⁽¹⁾	355	255
Public ⁽²⁾	No limit	280

NOTE:
ARCHITECTURAL PLANS INCLUDE COLOR SPECIFIC
NOTES/LEGENDS/HATCHES **PLANS MUST BE PLOTTED IN COLOR**



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SITE PLAN HATCH

EXISTING STRUCTURES

CANTILEVER (MAIN)

CANTILEVER (2nd)

EXISTING DECK

EXISTING BALCONY

EXISTING PORCH

DRIVEWAY / SIDEWALK

PROPOSED (PRIMARY)

PROPOSED (SECONDARY)

PROPOSED NEW OPENING

WALL LEGENDS

EXTERIOR WALL LEGEND:

EXISTING WALL

PROPOSED WALL

RATED WALL

GARAGE COMMON WALL

BACKYARD SUITE COMMON WALL

TALL WALL

SPRAY FOAM WALL

INTERIOR WALL LEGEND:

EXISTING WALL

PROPOSED WALL

BARING WALL

PLUMBING WALL

SUITE SEPARATION WALL

WALL + DOOR TAGS

DOOR TAG

(EXISTING)

32.00"

WIDTH

HEIGHT

(PROPOSED)

2'-8"
6'-5"

WIDTH

HEIGHT

WINDOW TAG

(EXISTING)

48.00"
30.00"

WIDTH

HEIGHT

(PROPOSED)

4'-0"
2'-6"

WIDTH

HEIGHT

LINE STYLES

PROPERTY LINE

SITE SETBACKS

EAVES

ELECTRICAL PLAN

BEAM

FURNITURE

DEMO

ROW'S

REVISIONS

1

PROJECT SCOPE

CALLOUT LEGEND

W1

CONCRETE WALL ASSEMBLY

W2

EXTERIOR WALL ASSEMBLY

W3

INTERIOR WALL ASSEMBLY

W4

DETACHED GARAGE ASSEMBLY

F1

CONCRETE FLOOR ASSEMBLY

F2

ENGINEERED FLOOR ASSEMBLY

F3

BALCONY FLOOR ASSEMBLY

F4

DIMENSIONAL FLOOR ASSEMBLY

F5

SUITE FLOOR ASSEMBLY

R1

ENGINEERED ROOF ASSEMBLY

R2

ENGINEERED FLAT-ROOF ASSEMBLY

R3

DIMENSIONAL FLAT-ROOF ASSEMBLY

R4

ROOF ASSEMBLY (NON 9.36)

TEXT STYLES

TYPICAL NOTES

NEW CHANGES

STRUCTURAL NOTES

P.ENG COMMENTS

DEMOLITION NOTES

ELEVATION CALLOUT

ROOM DESIGNATION

EXISTING GEO

PROPOSED GEO

EXISTING / AS-BUILT NOTES

DIMENSION STYLES

0' - 2"

INTERIOR (EXISTING)

0' - 2"

INTERIOR (PROPOSED)

0.17 m

AS-BUILT MEASUREMENTS

0' - 2"

STRUCTURE

0' - 2"

DEMOLITION

0' - 2"

SITE (EXISTING)

0' - 2"

SITE (PROPOSED)

0' - 2"

SITE (SPATIAL SEPARATION)

0' - 2"

SITE (BYLAW)

Drawing Legends

Project : 2026-186

Scale: As indicated

Drawn By: RFC

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DETACHED GARAGE:

Garage and Carports - Division B 9.3.1.6 Concrete - Garage Concrete Slab compressive strength - The compressive strength of unreinforced concrete after 28 days shall be not less than 32 MPa, with air entrainment of 5% to 8% for concrete floor slabs serving a garage or carport.

Garage and Carports - Division B 9.35.4.3 Anchorage - Garage and carport walls shall be anchored to prevent wind uplift.

Fire Protection - Division B - 9.10.15.5 - Eaves projecting within 1.2m (4'-0") from the property line shall have non-vented soffits, soffit other than aluminum or galvanized steel shall be installed on a minimum ½" wood or gypsum sheath backing. Roof soffits are not permitted within 0.45m (1'-6") of the property line

Garage and Carports - Division B 9.34.2.6 Garages and Carports - A lighting outlet with fixture shall be provided for a detached garage. Please note a separate Electrical Permit is required.

General Conditions - Other - Division B 9.10.15 Exposed Building Face Wall Construction (Detached Garage) - Provide a continuous 45 minute fire separation to detached garages where the limiting distance is less than 0.6 m (2'-0"): 5/8" Type "X" gypsum board, to inside of wall, from top of concrete to underside of roof sheathing.

General Conditions - Other - Division B, 9.10.15.4 - No windows are permitted in a wall where limiting distance is less than 1.2m (4'-0").

General Conditions - Other - Division B, 9.7.2.4 Provide minimum 760mm (2'-6") wide and 1980mm (6'-6") high egress door to detached garage.

General Conditions - Other - Division B 9.27.3.8 Provide flashing over exterior wall openings and at every horizontal junction between finishes and substrates, flashing shall extend upwards not less than 50mm (2") behind sheathing paper and have a minimum 25mm (1") end dam at terminations

General Conditions - Other - Division B, 9.27.3.3 - Sheathing membrane conforming to CAN/CGSB-51.32-M, "Sheathing, Membrane, Breather Type." shall be applied so that joints are lapped not less than 100 mm (4").

General Conditions - Other - Division B, 9.27.4.1. 1) Sealant shall be provided where required to prevent the entry of water into the structure. 2) Sealant shall be provided between masonry, siding or stucco and the adjacent door and window frames or trim, including sills, unless such locations are completely protected from the entry of rain. 3) Sealant shall be provided at vertical joints between different cladding materials unless the joint is suitably lapped or flashed to prevent the entry of rain.



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GENERAL CONTRACTOR

ENGINEER

5 Taralea Gr NE
Calgary, AB

Garage + Driveway

2026-08-25 10:37:36 AM

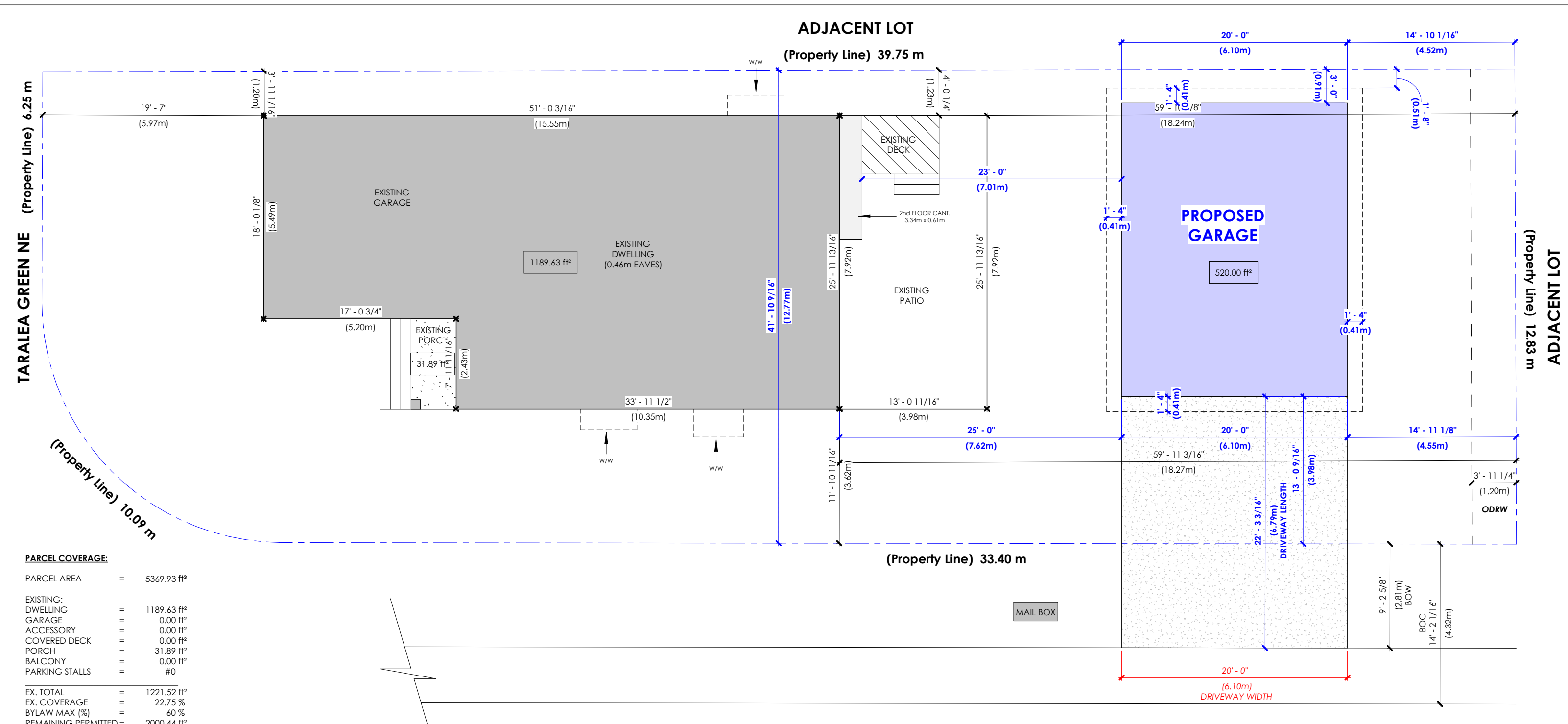
Project Specific Notes

Project : 2026-186

Scale:

Drawn By: RFC

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PARCEL COVERAGE:

PARCEL AREA	=	5369.93 ft²
EXISTING:		
DWELLING	=	1189.63 ft²
GARAGE	=	0.00 ft²
ACCESSORY	=	0.00 ft²
COVERED DECK	=	0.00 ft²
PORCH	=	31.89 ft²
BALCONY	=	0.00 ft²
PARKING STALLS	=	#0
EX. TOTAL	=	1221.52 ft²
EX. COVERAGE	=	22.75 %
BYLAW MAX (%)	=	60 %
REMAINING PERMITTED	=	2000.44 ft²

PROPOSED:

NEW AREA	=	468.00 ft²
NEW PARKING STALLS	=	#0
NEW PARKING AREA	=	0 ft²
NEW TOTAL AREA	=	1689.52 ft²
NEW REMAINING	=	1532.44 ft²
RELAXATION (%)	=	-47.56 %

PARCEL COVERAGE = 31.46 %

- NOTE:
- ALL MATERIAL STORAGE ON SITE
 - SITE ACCESS FROM ROAD OR LANE AS APPLICABLE
 - ALL WINDOWS/DOOR EXISTING UNLESS OTHERWISE NOTED
 - BUILDER TO CONFIRM ALL MEASUREMENTS PRIOR TO CONSTRUCTION
 - BUILDER TO CONFIRM ROOF SLOPE AND HEEL HEIGHT PRIOR TO CONSTRUCTION (IF APPLICABLE)

NOTE:

PROPERTY LINE VALUES AND EXISTING SITE INFORMATION TO BE CONFIRMED PRIOR TO CONSTRUCTION. DIMENSIONS FOR THIS PLAN ACQUIRED FROM SUPPLIED RPR/SURVEY

- TYPICAL GARAGE NOTES:
- Eaves projecting within 1.2m [4'-0"] from the property line shall have non-vented soffits.
 - Roof soffits are not permitted within 0.45m (1'-6") of the property line.
 - No windows are permitted in a wall where limiting distance is less than 1.2m [4'-0"].
 - Provide a continuous 45 minute fire separation to detached garages where the limiting distance is less than 0.6 m [2'-0"]; 5/8" Type "X" gypsum board, to inside of wall, from top of concrete to underside of roof sheathing.



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ENGINEER

GENERAL CONTRACTOR

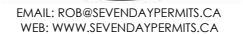
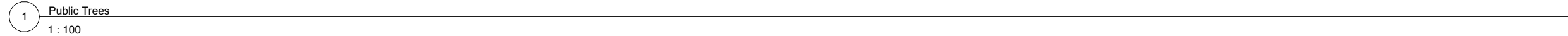
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Garage + Driveway

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Site Plan	
Project :	2026-186
Scale:	1 : 100
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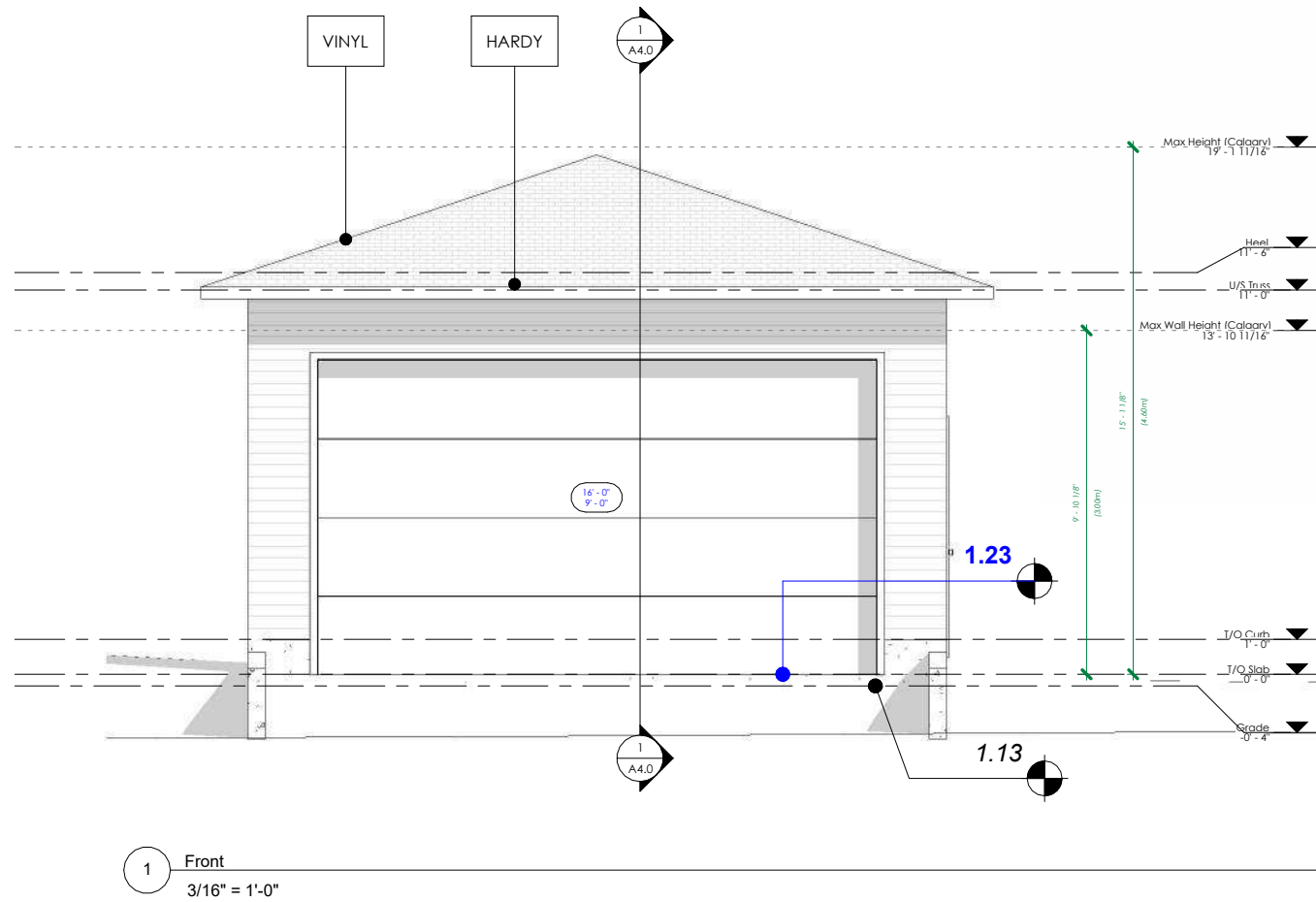
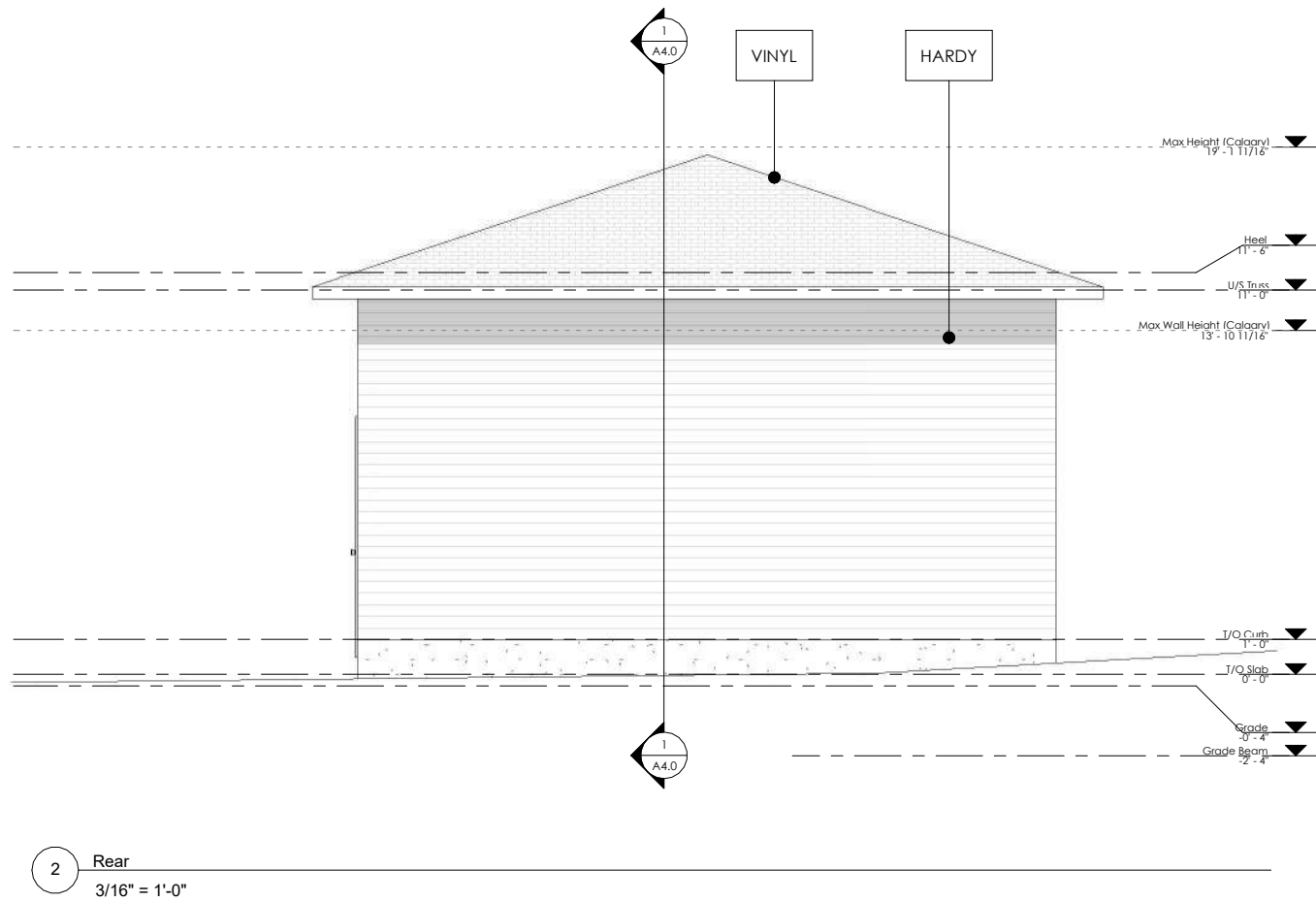
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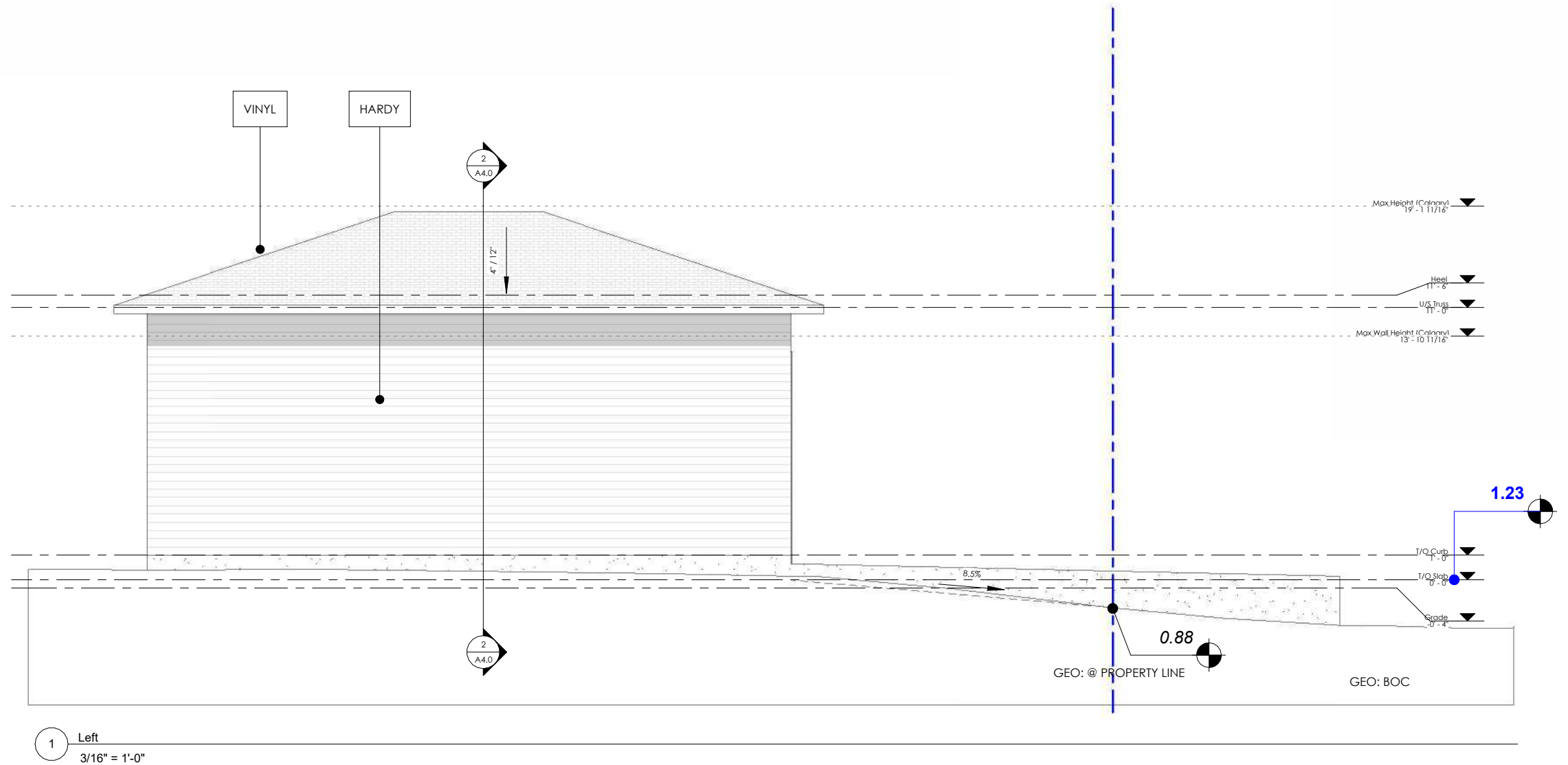
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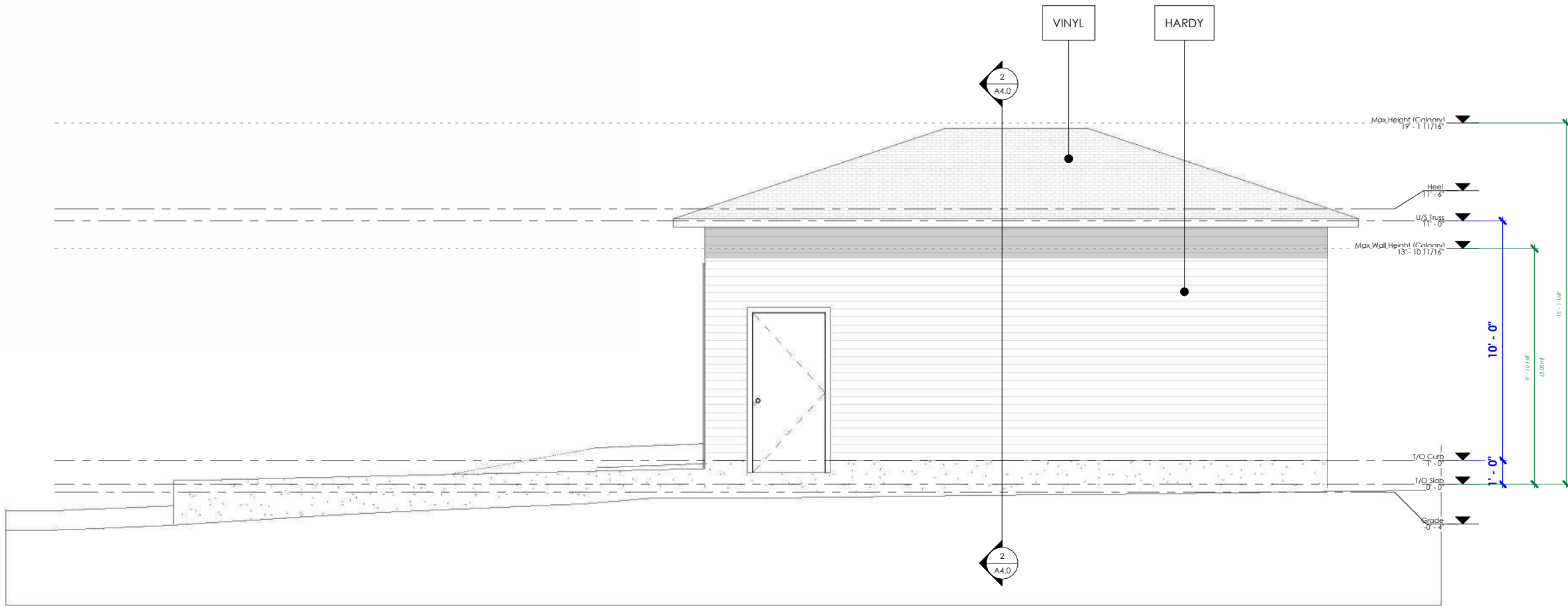
GENERAL CONTRACTOR

5 Taralea Gr NE
Calgary, AB

Garage + Driveway

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Elevations	
Project :	2026-186
Scale:	3/16" = 1'-0"
Drawn By:	RFC
A3.1	



1 Right
3/16" = 1'-0"



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Elevations

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A3.2