

TREE PROTECTION DIAGRAM

TREE PROTECTION DIAGRAM

PROVIDE FENCING SIGNAGE AS PER CITY OF CALGARY REQUIREMENTS

ROOTS EXTEND OUT 2 TO 3 TIMES THE DRIPLINE

MINIMUM 25'

CRITICAL ROOT ZONE AND TREE PROTECTION ZONE

EXTENDS OUT FROM THE TRUNK TO THE DRIPLINE, OR TO A DISTANCE OF 15 FEET PER INCH DBH, WHICHEVER IS GREATER.

DBH = DIAMETER OF TRUNK AT 4.5 FEET ABOVE GROUND

IF THE TREE'S DBH IS 20 INCHES THEN THE CRITICAL ROOT AND TREE PROTECTION ZONE IS A 30 FOOT AREA (RADIUS) AROUND THE TREE.

SIGNIFICANT EXISTING TREE

CONTINUOUS TREE PROTECTION FENCE TO BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OR THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENVICIRCLE TREE(S).

DRIPLINE

DRIPLINE



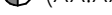
A photograph of a small, white, single-story building with a dark roof, likely a shed or garage, situated in a residential area. The building is surrounded by trees and a paved driveway. A blue recycling bin and a green trash bin are visible in the foreground.

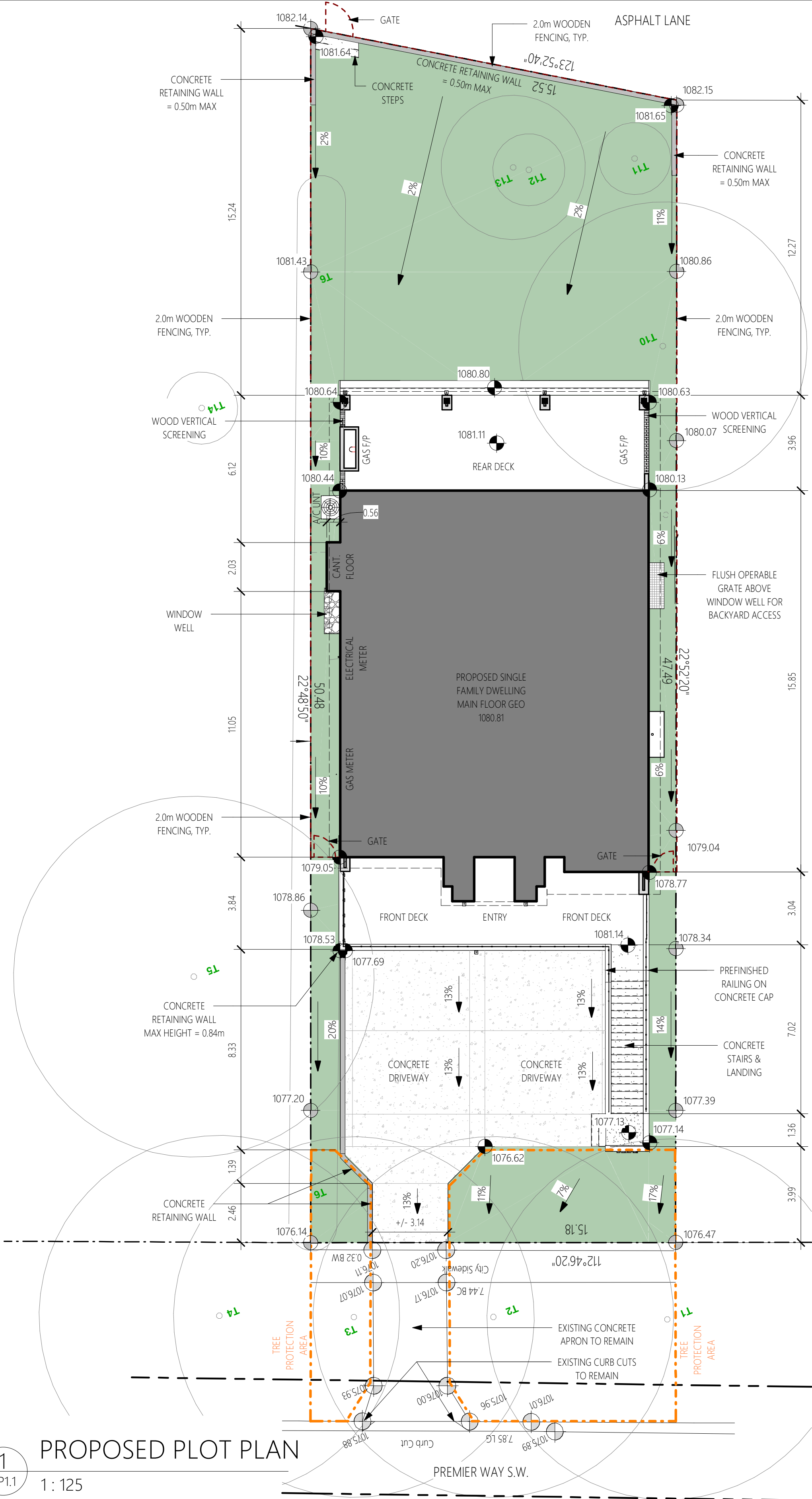
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TREE SCHEDULE						
NO.	VARIETY	CALIPER	CANOPY	HEIGHT	LOCATION	SCOPE
T1	ELM TREE	0.80	15.0	16.0	IN CITY PROPERTY	TO REMAIN
T2	ELM TREE	0.50	15.0	16.0	IN CITY PROPERTY	TO REMAIN
T3	ELM TREE	0.50	15.0	16.0	IN CITY PROPERTY	TO REMAIN
T4	ELM TREE	0.50	15.0	16.0	IN CITY PROPERTY	TO REMAIN
T5	ELM TREE	0.80	15.0	15.0	IN ADICENT'S PROPERTY	TO REMAIN
T6	BUSH	---	2.0	2.5	IN SUBJECT PROPERTY	TO REMAIN
T7	ELM TREE	0.40	9.0	9.0	IN SUBJECT PROPERTY	TO BE REMOVED
T8	DECIDUOUS TREE	0.10	5.0	4.0	IN SUBJECT PROPERTY	TO BE REMOVED
T9	BUSH	---	3.0	4.0	IN SUBJECT PROPERTY	TO BE REMOVED
T10	ELM TREE	0.40	12.0	16.0	IN SUBJECT PROPERTY	TO REMAIN
T11	BUSH	0.10	3.0	4.0	IN SUBJECT PROPERTY	TO REMAIN
T12	BUSH	---	3.0	4.0	IN SUBJECT PROPERTY	TO REMAIN
T13	DECIDUOUS TREE	0.15	6.0	8.0	IN SUBJECT PROPERTY	TO REMAIN
T14	ELM TREE	0.50	14.0	15.0	IN ADICANT'S PROPERTY	TO REMAIN

DP1.1 1:125 PREMIER WAY S.W.

LOT COVERAGE	
DWELLING AREA	202.78 SQ.M.
FRONT PORCH	43.54 SQ.M.
FRONT STEPS	12.30 SQ.M.
REAR DECK	51.00 SQ.M.
TOTAL COVERAGE	309.62 SQ.M
PARCEL AREA	744.53 SQ.M.
TOTAL PARCEL COVERAGE	41.6 %

SITE LEGEND:					
PROPERTY LINES		PROPOSED FENCE		EXISTING GRADE	 (XX.XX)
SETBACK LINES		ROOF LINE ABOVE		PROPOSED GRADE	 (XX.XX)
GAS LINES		F.H. - FIRE HYDRANT		PROPOSED CONC. DRIVEWAY (BROOM FINISH)	
SAN. WATER & STORM		S.L. - STREET LIGHT		ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.	
RETAINING WALL		TRANSFORMER			



GOALDEX BUILDERS
— MANAGE DESIGN CONSTRUCT —



-THESE DRAWINGS REMAIN PROPERTY TO SCHVEN DRAFTING & DESIGN, REPRODUCTION OF THIS DRAWING IS PROHIBITED.
-THE CONTRACTORS AND ENGINEERS ARE RESPONSIBLE FOR CHECKING ALL NOTES AND DIMENSIONS.
-SCHVEN DRAFTING & DESIGN IS NOT RESPONSIBLE FOR ANY MALFUNCTION IN HOME DEVELOPMENT

[illegible]

CALGARY, AB

1413 PREMIER WAY SW

EXISTING & PROPOSED SITE PLANS

DRAWNING BY: ST

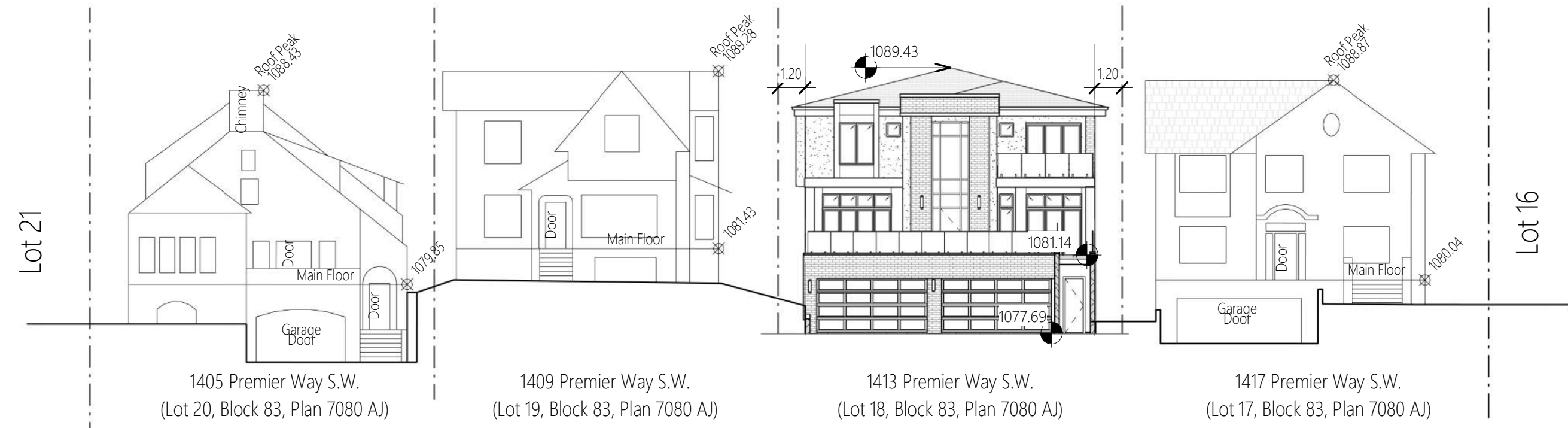
REVIEWED BY:

PROJECT #: _____ JOB # _____

DATE: 2026-06-25

RE ISSUE #: SHEET #:

DP1.1



Streetscape Facing Premier Way S.W.



CLIENT



GOALDEX BUILDERS
MANAGE DESIGN CONSTRUCT

STATUS



schvenDrafting
& DESIGN

DRAFTER
STEVE TURCOTT
403.507.1446
WWW.SCHVENDRAFTING.COM

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ARROW

Issue No.	Date	Description
1	2026-06-25	ISSUED FOR DEVELOPMENT PERMIT

PROJECT TITLE / LEGAL ADDRESS

LOT 18, BLOCK 83, PLAN 7080 AJ

CALGARY, AB

PROPERTY ADDRESS

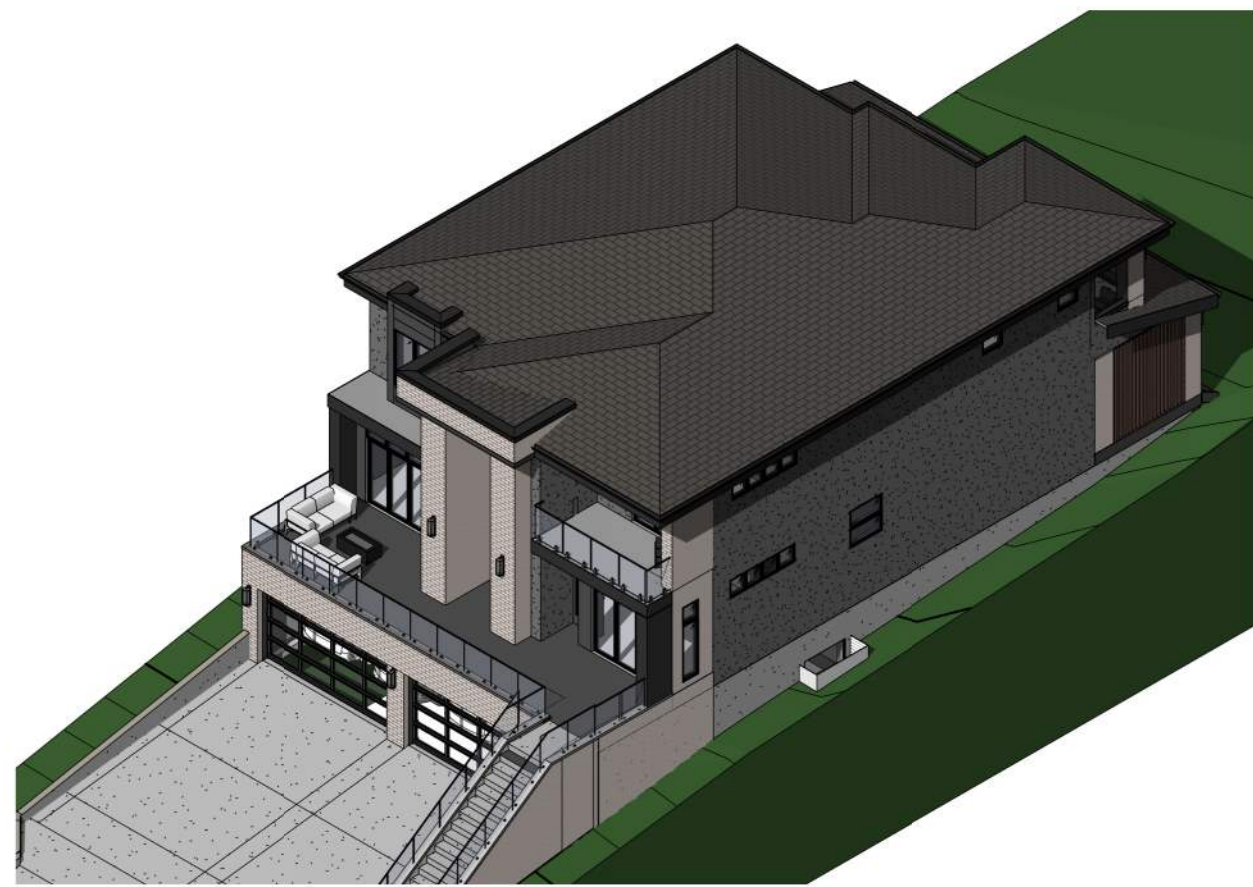
1413 PREMIER WAY SW

DRAWING TITLE

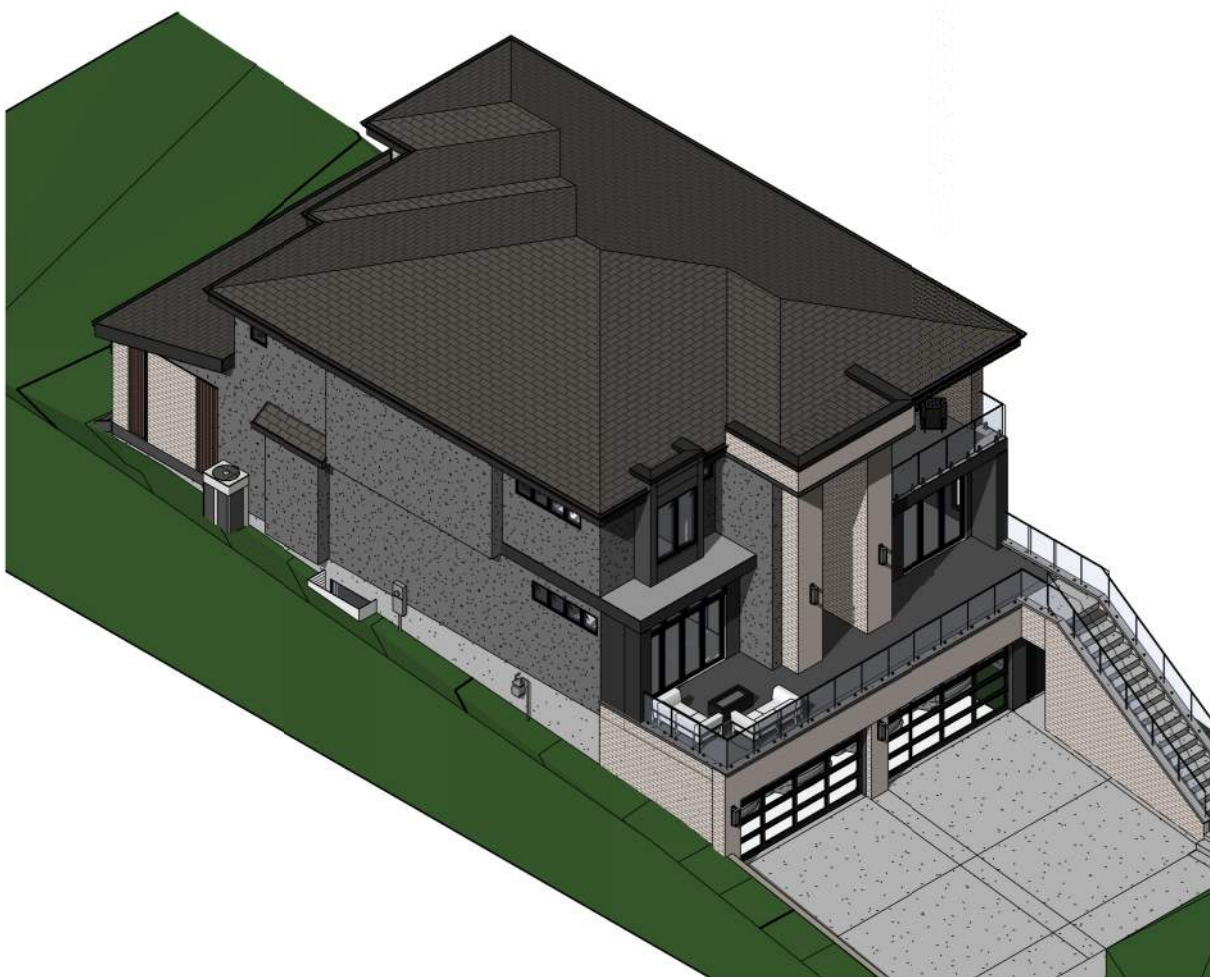
BLOCK PLAN & STREETSCAPE

SCALE:	1 : 200
DRAWNING BY:	ST
REVIEWED BY:	
PROJECT #:	JOB # _____
DATE:	2026-06-25

RE ISSUE #:	SHEET #:
	DP1.2



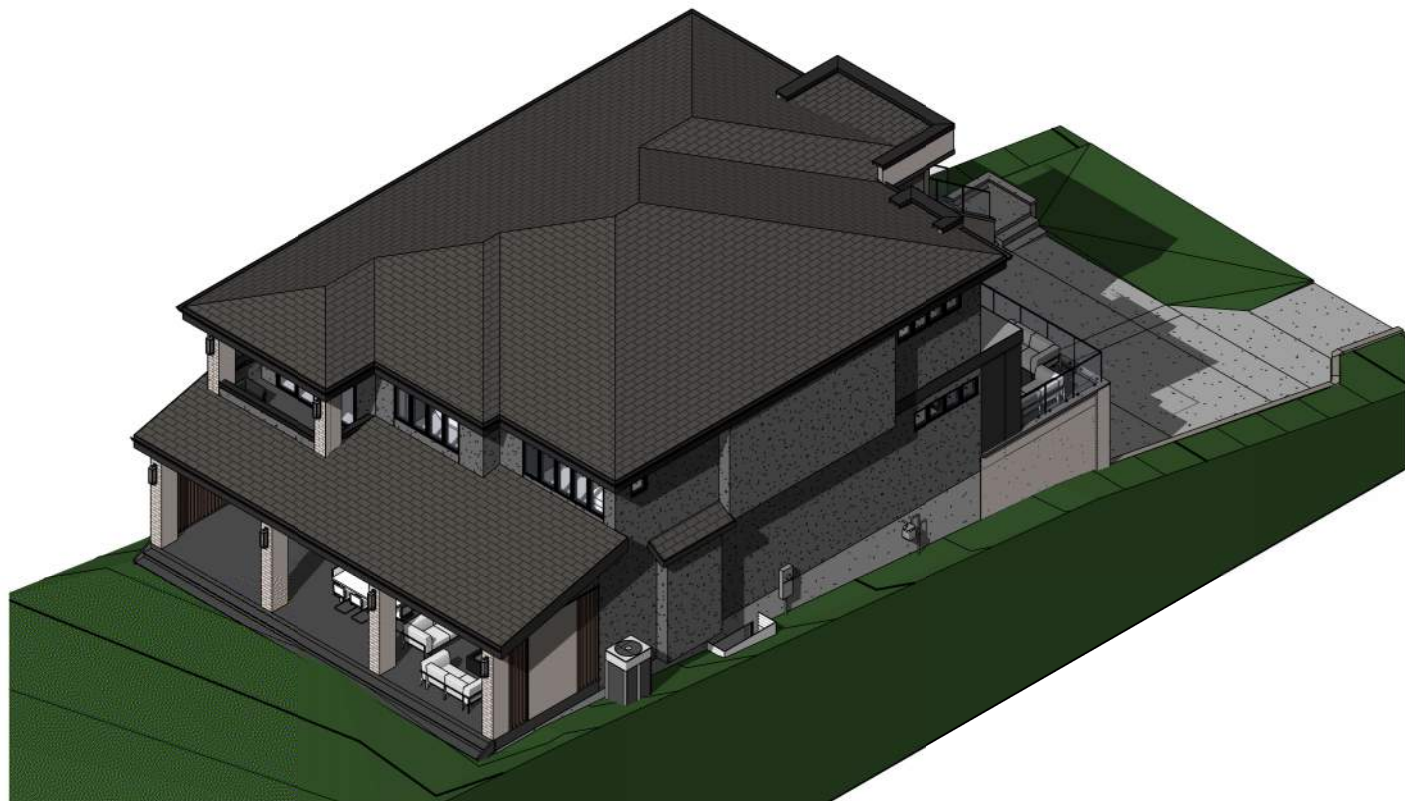
3 NORTHWEST PERSPECTIVE
DP3.1



4 NORTHEAST PERSPECTIVE
DP3.1



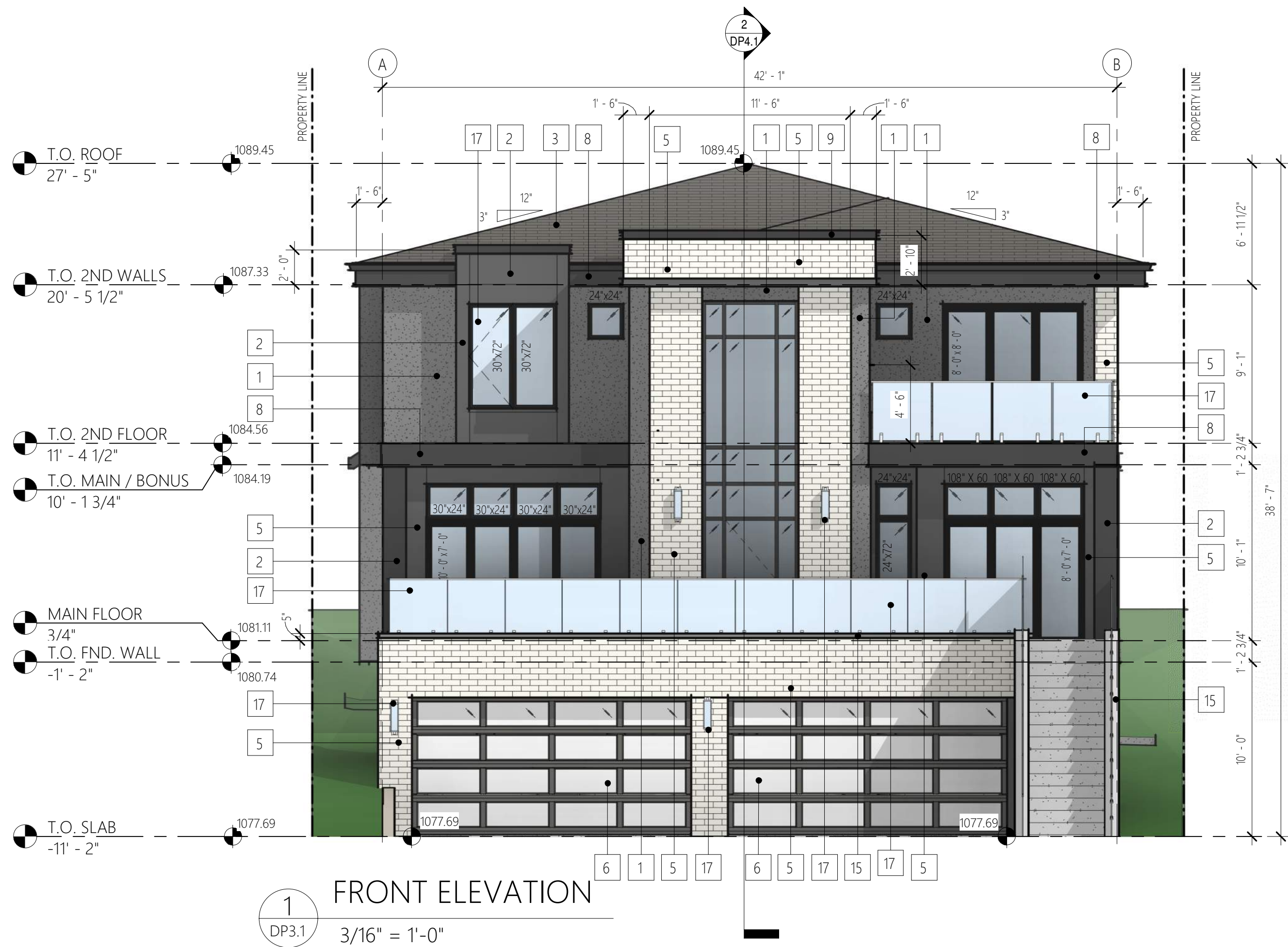
5 SOUTHEAST PERSPECTIVE
DP3.1



6 SOUTHWEST PERSPECTIVE
DP3.1

MATERIAL LIST	
1	ARCYLIC STUCCO COLOUR: GREY
2	COMPOSITE PANEL COLOUR: DARK GREY
3	ASPHALT SHINGLES COLOUR: AS PER CLIENT
4	PREFINISHED STANDING SEAM ROOFING COLOUR: DARK GREY
5	MANUFACTURED MASONRY VENEER TYPE: AS PER CLIENT
6	GARAGE DOOR w/ WINDOWS COLOUR: CHARCOAL
7	ALUMINIUM CLAD PVC WINDOWS / MEET EGRESS COLOUR: BLACK FRAMES
8	PREFINISHED METAL FASCIA - 2X14 COLOUR: BLACK
9	PRE-FINISHED METAL FLASHING CAP COLOUR: BLACK
10	PRE-FINISHED RAIN GUTTERS & DOWNSPOUT COLOUR: BLACK
11	PARGING ON EXPOSED CONCRETE FOUNDATION
12	PREFINISHED GLASS RAILING COLOUR: CLEAR
13	COMPOSITE DECKING / STAIRS COLOUR: TO BE DETERMINED BY CLIENT
14	FIBRE CEMENT TRIM BOARD COLOUR: DARK GREY
15	PRECAST CONCRETE CAP NOTES: w/ 1" DRIP EDGE ON BOTH SIDES
16	VERTICAL WOOD SCREENING COLOUR: WOOD TONE
17	EXTERIOR LIGHTING NOTES: FIXTURES BY CLIENT

NOTE: ALL MATERIALS MUST BE CONFIRMED BY CLIENT TO DETERMINE WHICH MANUFACTURER AND COLOURS USED. CONTRACTOR TO INSTALL MATERIALS AS PER MANUFACTURERS TO INSTRUCTIONS.



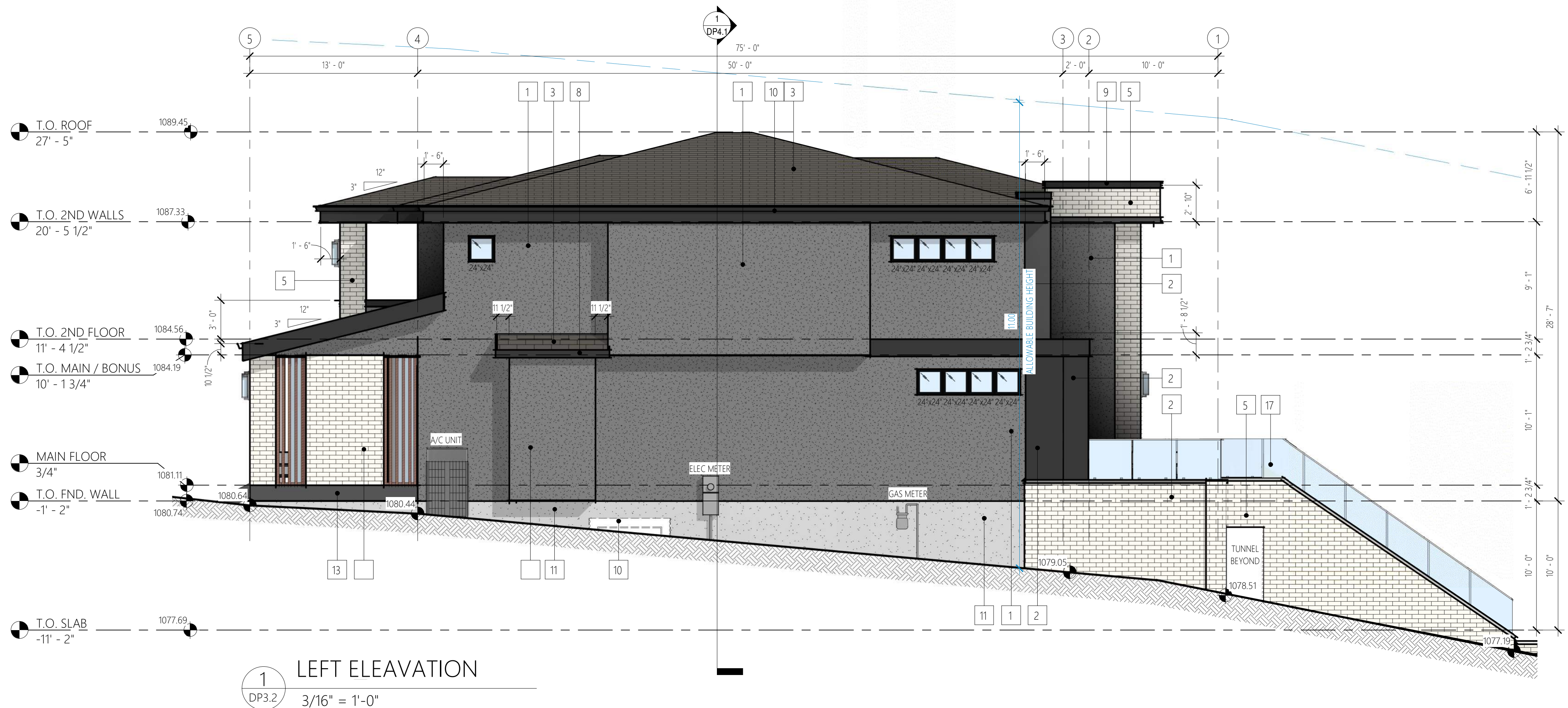
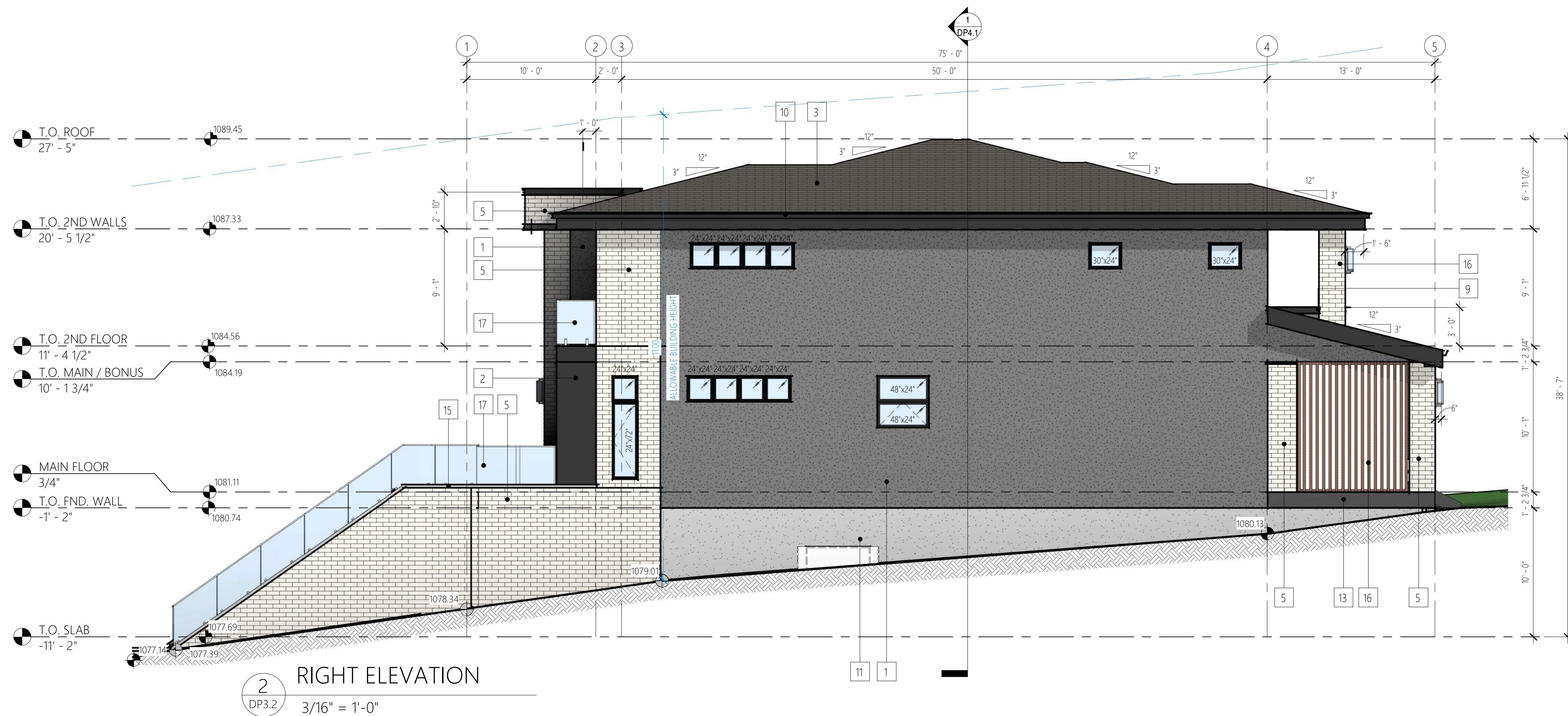
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LOT 18, BLOCK 83, PLAN 7080 AJ	
CALGARY, AB	
PROPERTY ADDRESS	
1413 PREMIER WAY SW	

DRAWING TITLE	
BUILDING ELEVATIONS	
SCALE:	3/16" = 1'-0"
DRAWING BY:	ST
REVIEWED BY:	
PROJECT #:	JOB #
DATE:	2026-06-25
RE ISSUE #:	SHEET #:
DP3.1	

MATERIAL LIST

- | | |
|----|--|
| 1 | ARCLIC STUCCO |
| 2 | COMPOSITE PANEL |
| 3 | ASPHALT SHINGLES |
| 4 | PREFINISHED STANDING SEAM ROOFING |
| 5 | MANUFACTURED MASONRY VENEER |
| 6 | GARAGE DOOR w/ WINDOWS |
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| 12 | PREFINISHED GLASS RAILING |
| 13 | COMPOSITE DECKING / STAIRS |
| 14 | FIBRE CEMENT TRIM BOARD |
| 15 | PRECAST CONCRETE CAP |
| 16 | VERTICAL WOOD SCREENING |
| 17 | EXTERIOR LIGHTING |
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LOT 18, BLOCK 83, PLAN 7080 AJ

CALGARY, AB

PROPERTY ADDRESS

1413 PREMIER WAY SW

DRAWING TITLE

BUILDING ELEVATIONS

SCALE: 3/16" = 1'-0"

DRAWING BY: ST

REVIEWED BY:

PROJECT #: JOB #

DATE: 2026-06-25

RE ISSUE #: SHEET #:

DP3.2