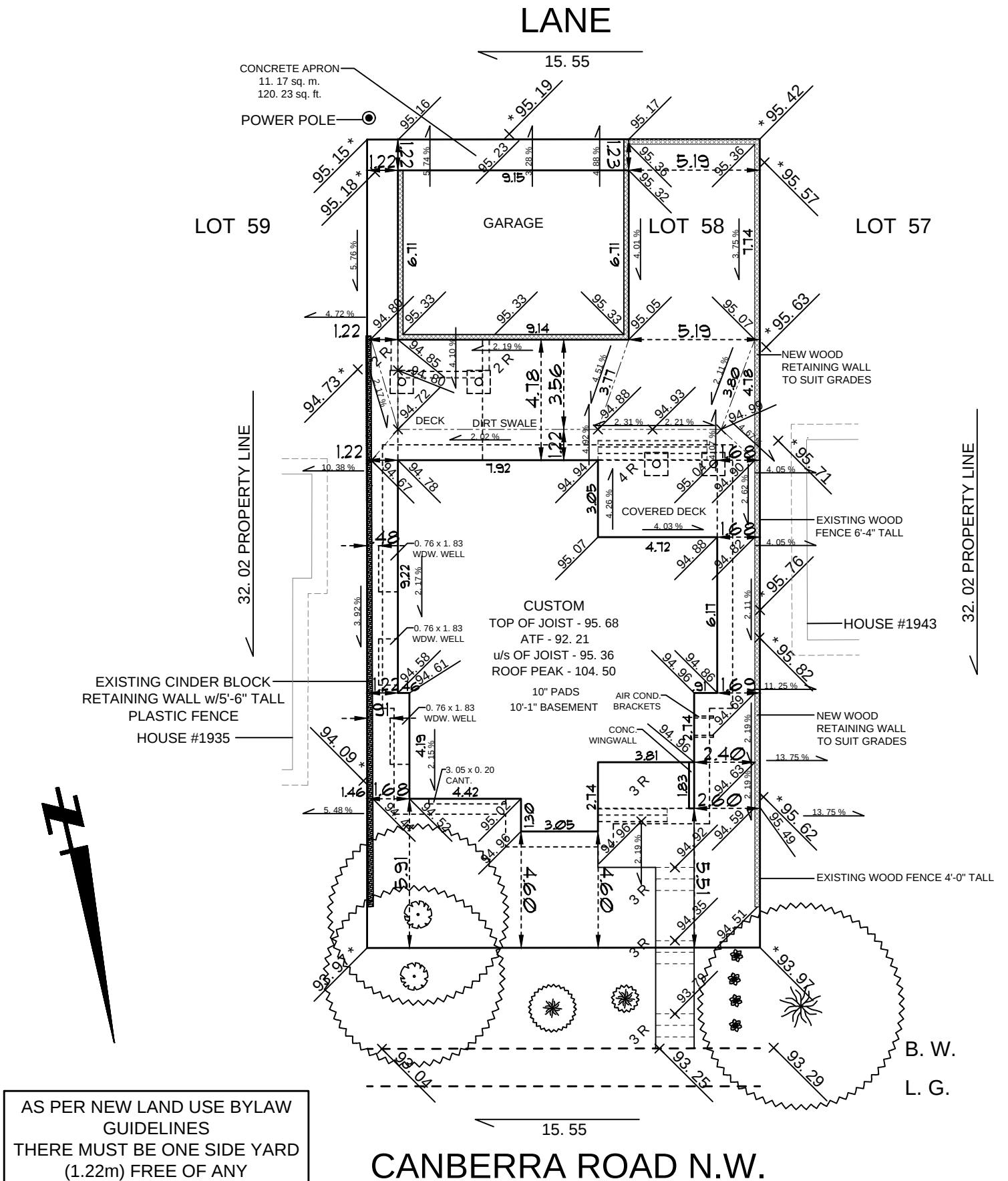




AS PER NEW LAND USE BYLAW GUIDELINES THERE MUST BE ONE SIDE YARD (1.22m) FREE OF ANY OBSTRUCTION. THIS INCLUDES WINDOW WELLS & CANTILEVERS. EXISTING LOCATIONS MAY NOT MEET THE BYLAW AND MAY NEED TO BE CHANGED.

ALL ITEMS PROVIDED BY DEVELOPER, MUNICIPALITY OR UTILITY PROVIDER ARE SUBJECT TO CHANGE, RELOCATION, OR REMOVAL AT THE SOLE DISCRETION OF THE THIRD PARTY WITHOUT NOTICE, AND ARE NOT THE RESPONSIBILITY OF HOMES BY FIFTY6 LTD. THIS INCLUDES BUT IS NOT LIMITED TO UTILITY BOXES, FENCES, LANDSCAPING AND TREES.

FINAL SIGN OFF

** NO CHANGES **

AC APPROVAL PENDING

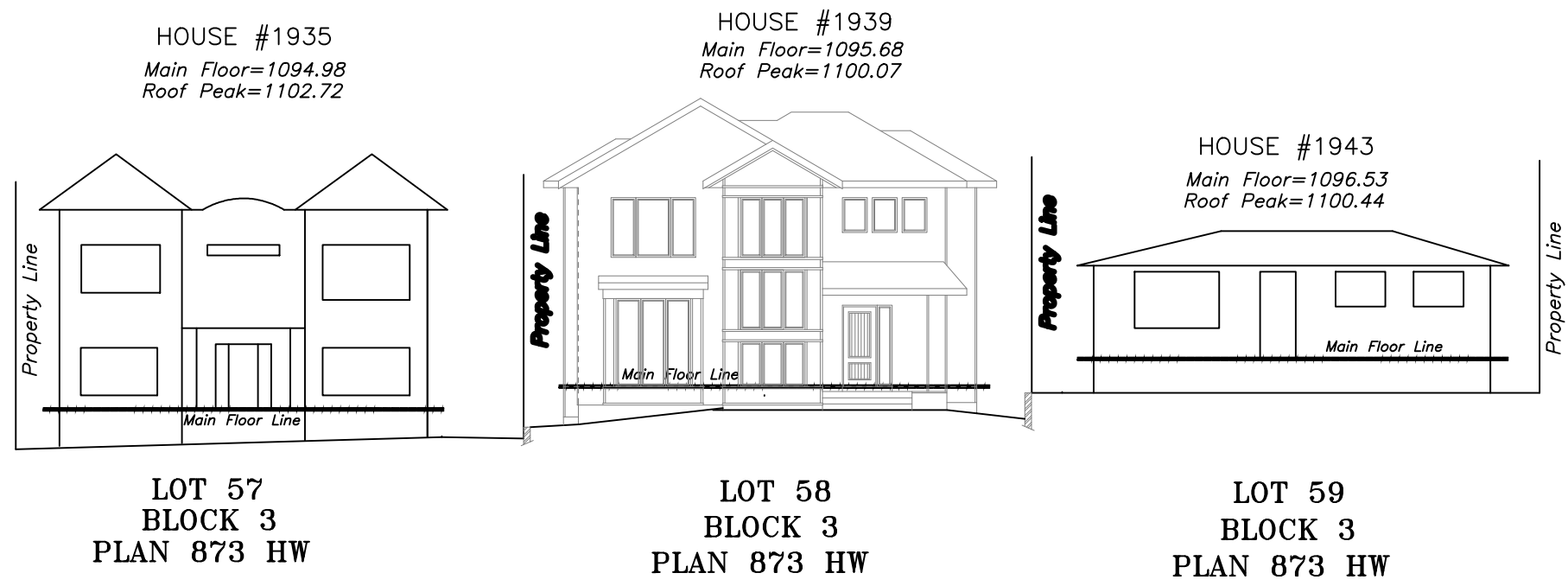
AC APPROVAL RECEIVED

X

X

DATE

56	ADDRESS				JOB #
	1939 CANBERRA ROAD N.W.				---
	LOT	BLOCK	PHASE	PLAN	MODEL
	58	3	--	873 HW	CUSTOM
	LOWEST TOP OF FOOTING		xxx	TOTAL LOT	498.09 SQM.
	ACTUAL TOP OF FOOTING		xxx	TOTAL HOUSE	151.42 SQM.
	FINISHED GRADE		xxx	TOTAL GARAGE	61.32 SQM.
SANITARY SEWER		--			DRAWN BY
STORM SEWER		--			JC
		% LOT COVERED		42.71 %	SCALE
					1:200
					DATE
					JUNE 30 / 26



STREETSCAPE ALONG CANBERRA ROAD N.W.
SCALE 1:200

56	ADDRESS				JOB #
	1939 CANBERRA ROAD N.W.				---
	LOT 58	BLOCK 3	PHASE --	PLAN 873 HW	MODEL CUSTOM
	LOWEST TOP OF FOOTING xxx		TOTAL LOT 498.09 SQM.		DRAWN BY JC
	ACTUAL TOP OF FOOTING xxx		TOTAL HOUSE 151.42 SQM.		
	FINISHED GRADE xxx		TOTAL GARAGE 61.32 SQM.		SCALE 1:200
	SANITARY SEWER --				DATE JUNE 30 / 26
	STORM SEWER --		% LOT COVERED 42.71 %		

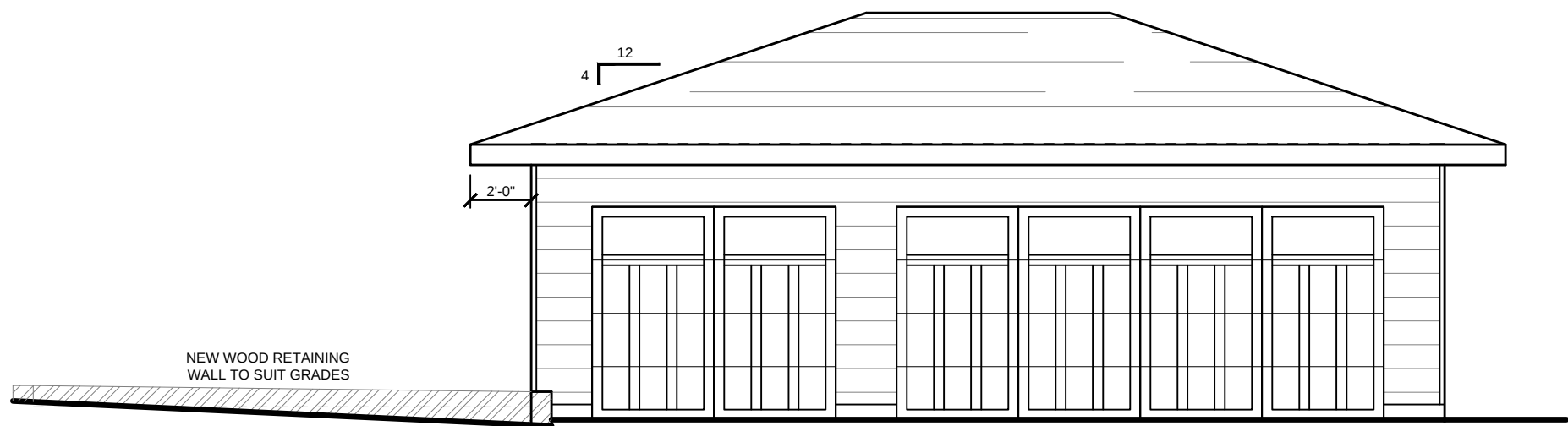


FRONT ELEVATION

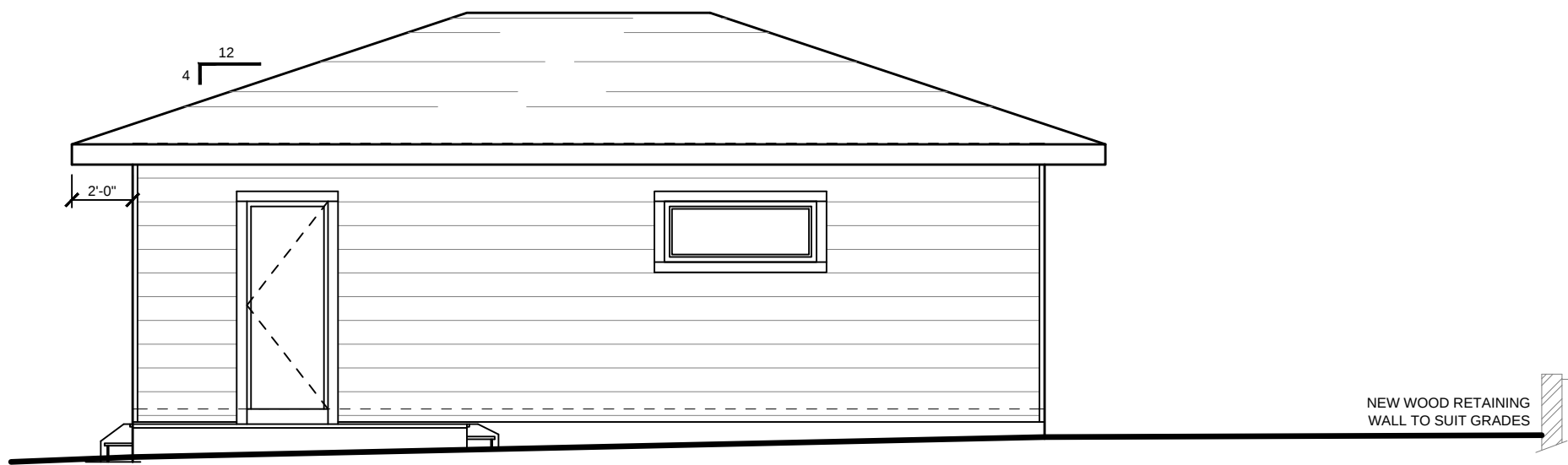


REAR ELEVATION

- EXTERIOR COLORS
- MASONRY - LIGHT GREY
 - VERTICAL METAL SIDING - LIGHT WOOD
 - FIBER CEMENT SIDING - JAMES HARDI COBBLESTONE
 - PANELS & BATTENS - COBBLESTONE

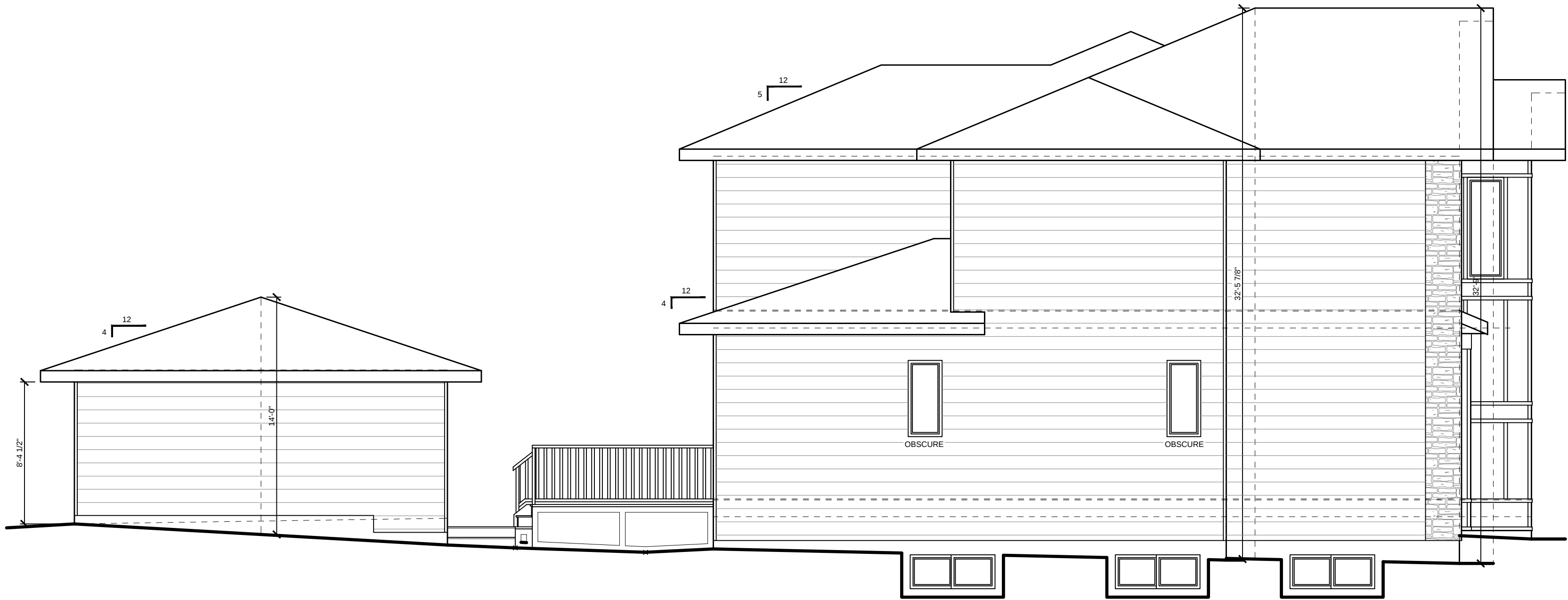


FRONT ELEVATION

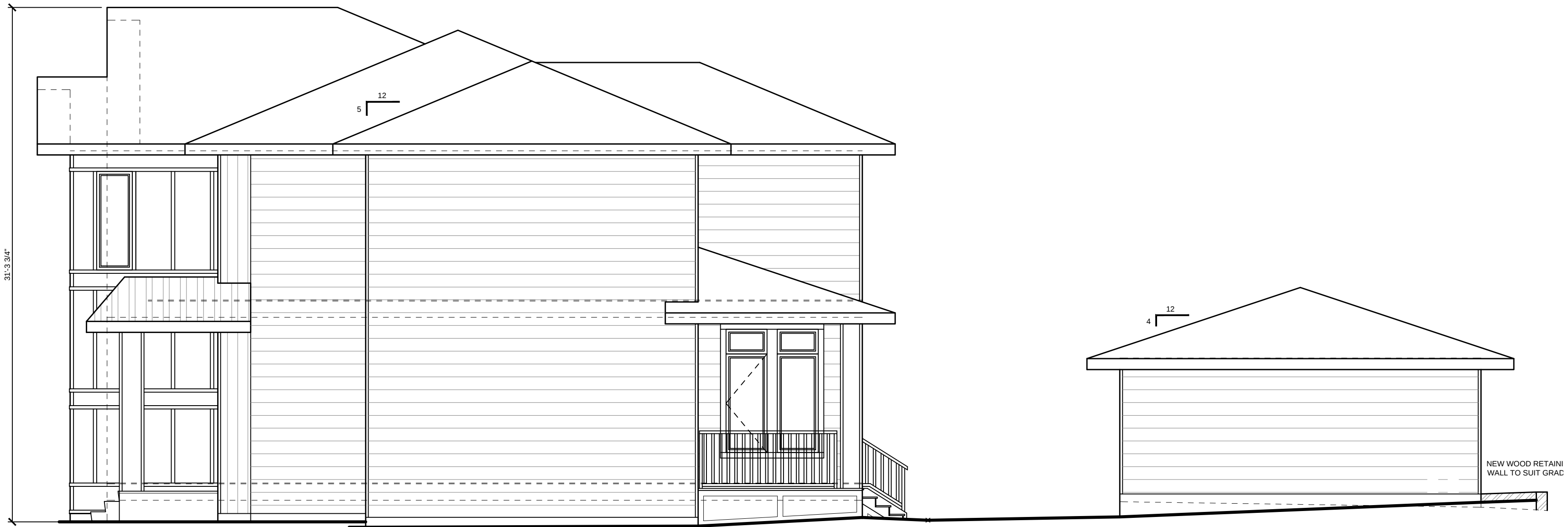


REAR ELEVATION

56	GENERAL NOTES		DRAFTER	PLANNER	REVISION	D.P. REVIEW MEETING - JUNE 30 / 26	HOMEOWNER	SCALE	SHEET	
	ALL DRAWINGS AND DESIGNS ARE COPYRIGHT PROPERTY OF HOMES BY FIFTYE LTD. AND SHALL NOT BE REPRODUCED IN ANY WAY. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. CONTRACTOR / TRADES MUST VERIFY ALL DIMENSIONS, DETAILS, SPECS BEFORE STARTING WORK. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO HOMES BY FIFTYE LTD. PRIOR TO STARTING WORK.		JC	JS				3/16"=1'-0"	1 / XX	
	CREB FOOTAGE		BILD FOOTAGE	REVISION	XXX	ADDRESS	LOT / BLOCK / PLAN		X	
	MAIN 1599		MAIN 1599	REVISION	XXX	1939 CANBERRA ROAD N.W.	58 / 3 / 873 HW		X	
	UPPER 1410		UPPER 1410			DRAWING	MODEL	DATE		
	TOTAL 3009		TOTAL 3009	REVISION	XXX	FRONT & REAR ELEVATIONS	CUSTOM	XXX		
GARAGE 660		GARAGE 660								



LEFT ELEVATION



RIGHT ELEVATION

56	GENERAL NOTES		DRAFTER	PLANNER	REVISION	D.P. REVIEW MEETING - JUNE 30 / 26	HOMEOWNER	SCALE	SHEET	
	ALL DRAWINGS AND DESIGNS ARE COPYRIGHT PROPERTY OF HOMES BY FIFTY6 LTD. AND SHALL NOT BE REPRODUCED IN ANY WAY. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED. CONTRACTOR / TRADES MUST VERIFY ALL DIMENSIONS, DETAILS, SPECS BEFORE STARTING WORK. ANY DISCREPANCIES, ERRORS OR OMISSIONS ARE TO BE REPORTED TO HOMES BY FIFTY6 LTD. PRIOR TO STARTING WORK.		JC	JS				3/16"=1'-0"	2 / XX	
	CREB FOOTAGE		BILD FOOTAGE	REVISION	XXX	ADDRESS	LOT / BLOCK / PLAN		X	
	MAIN 1599		MAIN 1599	REVISION		1939 CANBERRA ROAD N.W.	58 / 3 / 873 HW		X	
	UPPER 1410		UPPER 1410	REVISION	XXX					
	TOTAL 3009		TOTAL 3009	REVISION		DRAWING	MODEL			
	GARAGE 660		GARAGE 660	REVISION	XXX	LEFT & RIGHT ELEVATIONS		CUSTOM	DATE	XXX